

WorkplaceNL
2024-74-T
First and Third Floor Renovations – St. John’s Office 146-148 Forest Road



Tender: 2024 74-T

First and Third Floor Renovations – St. John’s Office 146-148 Forest Road

Issue Date: Friday, November 22, 2024

Tender Closing Date: Friday, December 6, 2024 before 2:00pm (NL Time)

MANDATORY SITE VISIT REQUIRED on Wednesday, November 27, 2024

WorkplaceNL
2024-74-T
First and Third Floor Renovations – St. John’s Office 146-148 Forest Road

SECTION 1 – SCOPE OF WORK AND SPECIFICATIONS

1.1 INTENT

The Workplace Health, Safety and Compensation Commission (WorkplaceNL) invites submission on the tender call for the provision of all equipment, labour, disposals, materials and incidentals required to complete renovation work consisting of installation of interior walls and finishes, electrical and mechanical updates and upgrades, kitchenette upgrades, floor coverings, ceiling panels and lighting for two office areas located on the first floor, and one office area located on the third floor of WorkplaceNL’s building located at 146-148 Forest Road, St. John’s, NL

1.2 OVERVIEW

WorkplaceNL provides services to employers, injured workers and their dependents, and the public through the administration of the **Workplace Health, Safety and Compensation Act, 2022**. These services include promoting workplace health and safety in order to prevent and reduce workplace injury and illness. WorkplaceNL strives to ensure injured workers receive the best care possible and the benefits to which they are entitled. WorkplaceNL facilitates injured workers’ recovery, and early and safe return to work. In addition, WorkplaceNL administers an employer classification and assessment system and ensures adequate funding for services through sound financial management.

WorkplaceNL is organized along two main functional areas: 1) prevention and workplace services; and 2) corporate and financial services. These functional areas support the organization’s three main lines of business:

1. Education on the prevention of workplace injuries, illnesses, and occupational disease;
2. Claims management for injured workers; and
3. Employer assessments (no-fault compensation coverage).

1.3 SCOPE OF WORK

1.3.1 The successful Applicant will provide WorkplaceNL all equipment, labour, disposals, materials and incidentals required to complete renovation work on two office areas located on the first floor, and one office area located on the third floor of WorkplaceNL’s property located on 146-148 Forest Road, St. John’s, NL as described in these Tender documents.

The general components of the work include, but are not limited to:

- Removal of existing floor coverings and baseboard trims
- Supply and installation of floor coverings and baseboard trims

WorkplaceNL

2024-74-T

First and Third Floor Renovations – St. John’s Office 146-148 Forest Road

- Demolition of a kitchenette
- Supply and installation of new kitchenette millwork
- Supply and installation of wall and floor coverings in kitchenette
- Replacement of plumbing fixtures in kitchenette
- Supply and installation of all piping including drains and water lines to relocate kitchenette sink
- Supply and installation of interior office walls for new office additions
- Supply and installation of interior office doors for new office additions
- Supply and installation of wall, floor coverings and baseboard trims in new office additions
- Supply and installation of thermostats for ventilation and heating in new offices
- Supply and installation of interior wall located in the mailroom with opening for mail cabinet
- Removal, cleaning, refurbishment and reinstallation of mail cabinet into new wall in mailroom
- Repair, plastering and painting of walls, doors
- Repair, plastering and painting of perimeter hard ceilings located in the third floor office area
- Ceilings and Walls to be painted 1 coat primer, 2 latex finish coats
- Door frames are to be painted both sides of the frame for any doors in the identified common areas and doors leading from the common areas into offices and office areas
- Removal and replacement and/or upgrade (as identified by WorkplaceNL) of ceiling tiles and grids. All grids to be 2’X2’ with 2’X2’ ceiling tiles
- Replacement of doors and related door hardware and equipment
- Replacement and/or upgrade of lighting fixtures
- Installation of any and all necessary electrical equipment as it relates to fixture upgrades and tie back into nearest existing electrical panels
- Existing 2’X4’ lights located in tiled ceiling is to be replaced to 2’X2’ LED panels.
- Supply and installation of three commercial grade metal handrails in first floor hallway (1 – 16 ft in length and 2 – 9 ft in length). Handrails to be painted matching existing handrail.
- Supply and installation of transition carpets to indicate two separate sloped inclines in first floor hallway.
- Disposal of waste

Refer to the project drawings and specifications in **Appendix “A”** for a complete description of the scope of work and services required.

1.3.2 Material Specifications

- Ceiling Types:
 - 2’x2’ Mineral Fiber, USG, Radar Basic R2110 Acoustic Ceiling, White (Currently estimated 684 2’x2’ tiles)

WorkplaceNL

2024-74-T

First and Third Floor Renovations – St. John’s Office 146-148 Forest Road

- Suspension system: USG Donn® Brand DX®/DXL™ 15/16" Acoustical Suspension System in Flat White
- Lighting Types:
 - 2' X 2' LED Panel, Standard, Model #: 67216 (estimated 46 units)
- Flooring Types
 - Carpet tiles (estimated 3700 ft²)
 - Tarkett (Tandus Centiva), GeoKnit 10887 - Shadow Gris 42710, ER3 Modular 24" x 24" laid in the vertical Ashlar Pattern
 - Vinyl Base (estimated 610 linear ft)
 - Tarkett, Perceptions Contour base in 63 Burnt Umber, 4.25" Vinyl Cove Toe Base installed with premium quality wall base adhesives, DTC40 4" Vinyl Corners, 4.25" height helps hide old adhesive and paint lines
 - Porcelain tiles (estimated 200 ft²)
 - Azteca, Sweet Home Natural Elements Stone Collection Soft Dry 60 B48 in Graphite, 60cm x 60cm tile

All counts and measurements are approximations and Contractor must confirm on site as part of the bid preparation and submission.

Refer to the project drawings and specifications in **Appendix "A"** for a complete description of the scope of work and services required.

The expectation of this work is to be completed during regular WorkplaceNL operational hours, 8:30 a.m. to 4:30 p.m. Monday to Friday with the exception of scheduled Statutory holidays. The work is expected to be completed as per the Tender Bid amount. Any hours that are deemed necessary and exceptional, and required outside regular work day hours and must be approved and coordinated with WorkplaceNL.

The successful Bidder will be required to attend weekly meetings with WorkplaceNL to provide progress and status updates and address any concerns or issues that may exist.

The work is required to begin in **January 2025** and be completed within three months from the start date. WorkplaceNL will work with the successful Bidder to determine an appropriate work schedule.

1.3.3 Foreperson and Supervision

While the work is ongoing, the successful Bidder shall assign a competent foreperson and any necessary assistants to the work, who are satisfactory to WorkplaceNL. The foreperson shall represent the successful Bidder in their absence, and all directions provided to the foreperson shall be held to be given to the successful Bidder. The

WorkplaceNL

2024-74-T

First and Third Floor Renovations – St. John’s Office 146-148 Forest Road

successful Bidder shall give efficient and appropriate supervision to the work, in a professional, skillful and safe manner.

1.3.4 Inspection and Quality of Work

1.3.4.1 All plumbing, electrical and construction work must meet the most current requirements of the National Plumbing Code of Canada, Canadian Electrical Code and be in strict compliance with the National Building Code and all applicable rules and regulations that may be imposed by the Municipal and Provincial Governments, Fire Commissioner and WorkplaceNL.

1.3.4.2 If the specifications, instructions, laws, ordinances or any public authority require any work to be specifically carried out, tested or approved, the successful Bidder shall give WorkplaceNL timely notice of its readiness for inspection and if the inspection is by an authority other than WorkplaceNL, the date and time must be fixed for such inspection.

1.3.4.3 Re-examination of questioned work may be ordered by WorkplaceNL. If such work is in accordance with the agreement, WorkplaceNL shall pay the cost of re-examination. If such work is not in accordance with the agreement, through the fault of the successful Bidder, the successful Bidder shall pay such costs.

1.3.5 Quality of Goods

1.3.5.1 Unless otherwise stated in the Tender, all material included in the Bid must be new, first quality goods. Used, refurbished, second, obsolete, discontinued or demonstrator items must only be proposed if the Tender specifically request or otherwise states that such goods will be allowed.

1.3.5.2 Where applicable, the end user must be provided with complete operation manuals, warranty registration forms, user licenses/authentications and/or other associated documentation normally provided by the manufacturer, reseller, installer and/or consultants.

1.3.6 Safety

1.3.6.1 The successful Bidder is responsible for the safety of its employees while on the job site and must abide by WorkplaceNL’s safety procedures as well as the requirements of the **Occupational Health and Safety Act**, RSNL 1990, c. O-3, and the Regulations thereto, as amended.

WorkplaceNL

2024-74-T

First and Third Floor Renovations – St. John’s Office 146-148 Forest Road

- 1.3.6.2 The successful Bidder must submit its Safety Policy Manual to WorkplaceNL within fourteen (14) days of award. The Safety Policy Manual must be acceptable to WorkplaceNL.
- 1.3.6.3 The successful Bidder must be COR certified through the Newfoundland and Labrador Construction Safety Association and must maintain their good standing throughout the duration of the agreement. A Certificate of Recognition program “letter of good standing” must accompany the Bid documents.
- 1.3.6.4 The successful Bidder and all persons assigned to perform services shall attend a safety meeting held by the Building Superintendent or his designate and shall complete WorkplaceNL’s contractor orientation prior to the commencement of the services.
- 1.3.6.5 The successful Bidder shall ensure that its employees wear proper protection for the work; including but not limited to safety hats, safety shoes, eye or face protection, and other safety equipment at all times.

1.3.7 Cleaning Up

The successful Bidder shall at all times keep the premises free from accumulations of surplus materials caused by work. At the completion of the work, the successful Bidder shall remove all materials from and about the premises and all equipment, tools and surplus materials unless specifically outlined herein. In case of dispute, WorkplaceNL, in its sole discretion, may remove surplus materials and charge the cost to the successful Bidder.

1.3.8 Changes and Extra Work

WorkplaceNL may, at any time, without invalidating the agreement, make changes in the scope of work and may require the successful Bidder to perform changes and/or extra services. Changes may also include reduced servicing due to floor plan changes, period of renovation, and/or changes made due to technology innovations as determined by WorkplaceNL. Before any changes in the scope of work is instituted, such changes and/or extra work shall be authorized by a written change order specifying the basis of compensation to be paid to the successful Bidder. The value of any changes shall be determined in one or more of the following ways:

- by the successful Bidder’s estimate in lump sum subject to acceptance by WorkplaceNL. The estimate must be submitted with a breakdown estimate for equipment, materials and labour, and signed quotations for any sub-contractors and supplies;
- by unit prices agreed upon; or

WorkplaceNL

2024-74-T

First and Third Floor Renovations – St. John’s Office 146-148 Forest Road

- by cost and percentages or by cost and a fixed sum as agreed between WorkplaceNL and the successful Bidder.

1.3.9 Hazardous or Controlled Products

- 1.3.9.1** The successful Bidder shall not use or deliver a hazardous or controlled product, as defined by the **Hazardous Products Act**, R.S.C. 1985, c. H-3, as amended, for the purposes of the agreement without the prior approval of WorkplaceNL. If such products are approved by WorkplaceNL, the successful Bidder shall be familiar with and fully comply with the **Hazardous Products Act**, and the **Workplace Hazardous Materials Information System (WHMIS) Regulation** 1149/96 under the **Occupational Health and Safety Act**, RSNL 1990, c. O-3, as amended.
- 1.3.9.2** The successful Bidder shall ensure that a hazardous or controlled product is not used, stored or handled in the performance of services unless all of the requirements of the aforesaid **Act** and regulations in respect of labels, identifiers, material safety data sheets and worker education are complied with.
- 1.3.9.3** The successful Bidder shall ensure that each product has a MSDS sheet and is provided in a binder to WorkplaceNL. It is the responsibility of the successful Bidder to ensure these binders are updated when any new product had been added or any changes to existing products.
- 1.3.9.4** The successful Bidder shall ensure that all persons who work with a hazardous or controlled product or work in proximity to a hazardous or controlled product are informed about all hazard information received from the supplier of the said product as well as any other hazard information of which the successful Bidder is aware of, or ought to be aware of, concerning the use, storage and handling of the hazardous or controlled product.
- 1.3.9.5** The successful Bidder shall ensure that, prior to delivery of the hazardous or controlled product to the job site; it is labeled with the supplier’s label in accordance with requirements of the aforesaid **Act** and regulations. The successful Bidder shall provide WorkplaceNL with all such information prior to delivery of the hazardous or controlled product to the job site.

1.3.10 Insurance and Bonding

- 1.3.10.1** In addition to the insurance requirements outlined in the WorkplaceNL Standard Terms and Conditions, the successful Bidder shall, without limiting its obligation or liabilities and at its own expense, provide and

WorkplaceNL

2024-74-T

First and Third Floor Renovations – St. John’s Office 146-148 Forest Road

maintain the following insurance in the forms and amounts acceptable to WorkplaceNL:

- Products and Completed Operations insurance in an amount not less than \$5,000,000 insuring its liability resulting from errors and omissions in the performance of professional services under this Agreement; and
- Automobile Liability Insurance in an amount not less than \$2,000,000 per occurrence, including insurance against accidents while at the WorkplaceNL premises. The deductibles applicable to this insurance shall not exceed Five Thousand Dollars (\$5,000) per occurrence.

1.3.10.2 The successful Bidder hereby warrants that it shall provide only bonded employees and shall have Dishonesty coverage in the amount of \$10,000 for each employee. The successful Bidder shall provide satisfactory written confirmation of such bonding throughout the term of this Agreement upon request by WorkplaceNL.

1.3.10.3 Prior to commencing performance of this Agreement and annually thereafter, the successful Bidder shall supply a Criminal Records Screening Certificate, which is acceptable to WorkplaceNL, in relation to all of the successful Bidder’s employees, officers, directors, associates, and/or approved sub-contractors who will perform Services under the within Agreement from the Royal Newfoundland Constabulary and any other police force having jurisdiction over the area(s) in which the said employees, officers, directors, associates, and/or approved sub-contractors have resided in the past 5 years.

1.3.11 Performance Bond and Failure to Complete Work

1.3.11.1 The successful Bidder shall, within fourteen (14) days from the receipt of notification of acceptance of its Tender, furnish at its expense:

- A Performance Bond in the amount of fifty (50) percent of the contract price (see **Appendix “E”, Performance Bond**); or
- An irrevocable Letter of Credit from a chartered Canadian bank, in a form acceptable to WorkplaceNL, for an amount of not less than fifty (50) percent of the contract price. Such Letter of Credit shall expire forty-five (45) days following the date set herein for completion of the agreement and drafts drawn upon the Letter of Credit shall be exercised by advice to the Royal Bank of Canada, Main Branch, Water Street, St. John’s, Newfoundland, Canada

WorkplaceNL

2024-74-T

First and Third Floor Renovations – St. John’s Office 146-148 Forest Road

- 1.3.11.2** The Performance Security in the form of a letter of credit, subject to any adjustments as provided for in this document will be returned to the successful Bidder immediately following satisfactory completion of the agreement.
- 1.3.11.3** Where, in the opinion of WorkplaceNL, the successful Bidder has failed to perform its duties and obligations under the agreement, WorkplaceNL, shall use the Performance Security to provide for completion of the work, to the limits of the Performance Security as follows:
- Where, the Performance Security has been provided in the form of a Performance Bond, the work shall be completed in accordance with the terms and conditions stipulated in the Bond.
 - Where the Performance Security has been provided in the form of a letter of credit, WorkplaceNL shall use sufficient funds obtained from the Performance Security to the limit of the Performance Security, to complete the work, including for any other costs and damages that WorkplaceNL may suffer.
 - Any use of the Performance Security to secure completion of the work shall not invalidate any recourse WorkplaceNL may have under the agreement for damages for failure of the successful Bidder to perform under the agreement.

SECTION 2 – INSTRUCTIONS TO BIDDERS

2.1 MANDATORY SITE ASSESSMENT/EXAMINATION

Bidders must visit the project site at **9:00 am** on **Wednesday, November 27, 2024** and become familiar with the surroundings and scope of work prior to submitting a Bid. Upon arrival for site assessment, please ask for the Manager, Purchasing and Facilities. A “Declaration of Confidentiality/Conflict of Interest” in the form attached hereto must be completed upon visit to the site for the assessment/examination.

2.2 QUALIFICATIONS AND EXPERIENCE

2.2.1 The successful Bidder must possess the necessary knowledge, skill and experience to perform renovation work in an industrial environment and must meet the following mandatory criteria:

WorkplaceNL
2024-74-T
First and Third Floor Renovations – St. John’s Office 146-148 Forest Road

- The successful Bidder must have a proven record of performing renovation work of a similar size and scope with a minimum of five (5) years’ experience.
- The Bid must include a Certificate of Recognition program “letter of good standing” which confirms that the Bidder is COR certified through the Newfoundland and Labrador Construction Safety Association.

2.3 ELECTRONIC COPY OF DOCUMENT

- 2.3.1** WorkplaceNL reserves the right to modify the terms of the Tender by issuance of addenda at any time prior to the Tender Closing Date. It is the responsibility of the Bidder to monitor WorkplaceNL’s website (<http://www.workplacnl.ca>) or the Tender posting at www.merx.com for any addendum to the Tender issued up to and including the Tender Closing Date.
- 2.3.2** It is the Bidder’s responsibility to ensure that they have received a complete set of documents. By submitting a Bid, the Bidder verifies that they have received a complete set of Tender documents including any and all addenda. All terms, conditions, and/or specifications stated or referenced in the Tender are assumed to be accepted by the Bidder and incorporated in the Bid.
- 2.3.3** Bidders who have obtained the Tender electronically must not alter any portion of the document, with the exception of applying any addendum issued by WorkplaceNL.

2.4 QUESTIONS AND CLARIFICATION

- 2.4.1** All questions related to this Tender must be directed in writing by email to purchasing@workplacnl.ca or through the Tender posting on www.merx.com and received by WorkplaceNL before **4:30PM** Newfoundland Time on **Friday, November 29, 2024**.
- 2.4.2** All questions should include the Bidder’s name and address, contact person’s name, telephone number, and email address, and the reference to the specific section and page number of the Tender in question. All email questions must include the Tender number and title in the email subject line.
- 2.4.3** To the extent that WorkplaceNL considers that the answer to the question may assist in the preparation of a Bid, WorkplaceNL will post an addendum on its website and through the Tender posting on www.merx.com which will be part of the Tender. WorkplaceNL may not answer a question where WorkplaceNL considers the information requested is not required to prepare a Bid, or where the answer to the question posed may be found in the Tender. No responses shall be binding upon

WorkplaceNL
2024-74-T
First and Third Floor Renovations – St. John’s Office 146-148 Forest Road

WorkplaceNL unless made in writing. Information obtained from any other source is not official and may be inaccurate and it is not binding.

2.5 CONFIDENTIALITY AND OWNERSHIP OF INFORMATION

- 2.5.1** Information pertaining to WorkplaceNL obtained by the Bidder as a result of participation in this Tender and/or negotiations with WorkplaceNL, if any, is confidential and shall not be disclosed without prior written authorization from WorkplaceNL.
- 2.5.2** The Tender and any supplementary document or portion thereof is proprietary information, and must not be used by the Bidder without the permission of WorkplaceNL, other than for the submission of Bids.
- 2.5.3** All Bids submitted become the property of WorkplaceNL. By submitting a Bid, the Bidder hereby grants WorkplaceNL a license to distribute, copy, print, or translate the Bid for the purposes of the Tender. Any attempt to limit WorkplaceNL’s right in this area may result in rejection of the Bid.
- 2.5.4** The procurement process is subject to the **Access to Information and Protection of Privacy Act, 2015**, SNL 2015 c. A-1.2, as amended (**ATIPPA**). The Bidder’s Bid package may be subject to disclosure under the **ATIPPA**. By submitting a Bid, the Bidder agrees to the appropriate disclosure of the information supplied, subject to the provisions of the governing law. WorkplaceNL cannot guarantee the confidentiality of the content of any Bid after the Tender Closing Date. WorkplaceNL shall not be liable to any Bidder for any claim, direct or indirect, whether for costs, expenses, losses or damages, or loss of anticipated profits, or for any other matter whatsoever incurred by the Bidder as a result of disclosure pursuant to the **ATIPPA**.
- 2.5.5** By submitting a Bid, the Bidder agrees that it has identified any specific information in its Bid that may qualify for an exemption from disclosure under subsection 39(1) of the **ATIPPA**. If no specific information has been identified it is assumed that, in the opinion of the Bidder, there is no specific information that qualifies for an exemption under subsection 39(1) of the **ATIPPA** and information may be released without further notice.
- 2.5.6** The financial value of a contract resulting from this procurement process will be publically released as part of the award notification process.

2.6 NO CLAIMS BY BIDDER

- 2.6.1** By participating in the process outlined in this Tender document, the Bidder consents to the procedures as described in this Tender.

**WorkplaceNL
2024-74-T**

First and Third Floor Renovations – St. John’s Office 146-148 Forest Road

2.6.2 By submitting a Bid, each Bidder irrevocably waives any claim, action or proceeding against WorkplaceNL, including without limitation any judicial review or injunction application, or against any of WorkplaceNL’s employees, advisors or representatives for damages, expenses or costs including costs of Bid preparation, loss of profits, loss of opportunity or any consequential loss for any reason including: any actual or alleged unfairness on the part of WorkplaceNL at any stage of the procurement process; if WorkplaceNL does not award or execute a contract; or if WorkplaceNL is subsequently determined to have accepted a noncompliant Bid or otherwise breached or fundamentally breached the terms of this procurement.

2.7 CONFLICT OF INTEREST

2.7.1 For the purposes of this Tender, the term “conflict of interest” includes, but is not limited to, any situation or circumstance where:

- in relation to the Tender process, the Bidder has an unfair advantage or engages in conduct, directly or indirectly, that may give it an unfair advantage, including but not limited to:
 - (i) having or having access to confidential information of WorkplaceNL in the preparation of its response that is not available to other Bidders;
 - (ii) having been involved in the development of the Tender, including having provided advice or assistance in the development of the Tender;
 - (iii) receiving advice or assistance in the preparation of its response from any individual or entity that was involved in the development of the Tender;
 - (iv) communicating with any person with a view to influencing preferred treatment in the Tender process (including but not limited to the lobbying of decision makers involved in the Tender process); or
 - (v) engaging in conduct that compromises, or could be seen to compromise, the integrity of the open and competitive Tender process or render that process non-competitive or unfair;
- in relation to the performance of its contractual obligations under an agreement for services, the Bidder’s other commitments, relationships, or financial interests:
 - (i) could, or could be seen to, exercise an improper influence over the objective, unbiased, and impartial exercise of its independent judgement; or
 - (ii) could, or could be seen to, compromise, impair, or be incompatible with the effective performance of its contractual obligations.

2.7.2 The Bidder, its employees, officers, directors, associates and/or approved sub-contractors shall not and will not have any conflict of interest (actual or potential) in submitting its Bid or, if selected, in providing services under the agreement. Where applicable, the Bidder must declare in its Bid any situation that may be a conflict of interest in submitting its Bid or, if selected, with the contractual obligations under the agreement.

WorkplaceNL
2024-74-T

First and Third Floor Renovations – St. John’s Office 146-148 Forest Road

- 2.7.3** If, at the sole and absolute discretion of WorkplaceNL, the Bidder, its employees, officers, directors, associates and/or approved sub-contractors is found by WorkplaceNL to be in an actual or perceived conflict of interest either during the Tender or after award of the contract, WorkplaceNL may, in addition to any other remedies available at law or in equity, disqualify the Bid submitted by the Bidder or terminate the agreement.
- 2.7.4** Sub-contracting to any firm or individual whose current or past corporate or other interests may, in WorkplaceNL’s opinion, give rise to an actual or perceived conflict of interest in connection with this Tender will not be permitted. This includes, but is not limited to, any firm or individual involved in the preparation of the Tender.

2.8 AGREEMENT

- 2.8.1** The successful Bidder shall comply with the WorkplaceNL Standard Terms and Conditions attached hereto. To be eligible to provide services to WorkplaceNL, the successful Bidder shall initial all 5 pages of the WorkplaceNL Standard Terms and Conditions within the time frame established by WorkplaceNL.
- 2.8.2** Any awards made pursuant to this Tender process are subject to receipt by WorkplaceNL of the initialed WorkplaceNL Standard Terms and Conditions.
- 2.8.3** Claims made by the Bidder in the Bid will constitute Contractual warranties.

2.9 TENDER CLOSING

- 2.9.1** Bids must be received in their entirety before **2:00 p.m.** Newfoundland Time on **Friday, December 6, 2024** (“Tender Closing Date”). Bids, or any portion thereof, received after the Tender Closing Date will not be accepted.
- 2.9.2** Bidders are solely responsible to ensure receipt of their Bid by WorkplaceNL in its entirety, in the manner and time prescribed. Bidders must submit their Bid via www.merx.com (see **Appendix “C” – Electronic Bid Submission Instructions**). Hard copy paper Bids or Bids submitted by facsimile or email will not be accepted.

2.10 BID INSTRUCTIONS

- 2.10.1** The Bidder must submit the Bid and related documentation, including **Appendix “B”, Check List**.
- 2.10.2** The Bidder must submit the attached **Appendix “C”, Bid Form**, which must be signed by the Bidder or an authorized representative of the Bidder. If the Bidder is a

WorkplaceNL
2024-74-T
First and Third Floor Renovations – St. John’s Office 146-148 Forest Road

corporation, the Bid must be signed by the authorized signing officer of the corporation.

- 2.10.3** It is essential that the Bid is complete and thoroughly addresses each requirement identified in the Tender, as incomplete Bids may be declared “non-responsive”. Bids that are improperly signed, conditional, illegible, obscure, or contain arithmetical errors, erasures, alterations, or irregularities of any kind may be considered invalid.
- 2.10.4** The Bid must include a written statement of the company history, including, but not limited to, the length of time in business, and the length of time completing renovation work of a similar size and scope and describing how the Bidder meets the mandatory criteria listed in paragraph 2.2.1.
- 2.10.5** The Bid must include a Certificate of Recognition program “letter of good standing” which confirms that the Bidder is COR certified through the Newfoundland and Labrador Construction Safety Association.
- 2.10.6** The Bid shall be accompanied by a list with a minimum of three (3) client references with appropriate contact information who can provide evidence of previous experience providing similar services with comparable scope and tender value. This list shall include the name of a contact person for reference purposes. References may be contacted as part of the review process. The list of references should exclude any potential references from WorkplaceNL.
- 2.10.7** The successful Bidder must provide bonded employees and Dishonesty coverage in the amount of \$10,000 for each employee. Proof of bonding must be provided to WorkplaceNL for any and all employees working under the agreement within 14 days from the receipt of notification of acceptance of its tender. Notice of cancellation of bonding must be immediately provided to WorkplaceNL.
- 2.10.8** The Bidder must describe the duration, type (e.g. on site, depot, ship-in or carry-in) and terms of the manufacturer’s warranty on all goods. If the Bidder provides any additional/supplementary warranty coverage, the Bidder must describe this as well.
- 2.10.9** If warranties can be upgraded or extended, the Bidder must identify the upgrade costs separately. Do not include warranty upgrade or extension costs in the Bid price unless the Tender specifically states that the upgrade is a mandatory requirement.
- 2.10.10** The Bidder must acknowledge that they have read and understood any and all addenda in both the **Appendix “B”, Check List** and the **Appendix “C”, Bid Form**.
- 2.10.11** Travel costs are not to be included in the Bid. WorkplaceNL will discuss travel arrangements with the successful Bidder prior to scheduling work. Unless otherwise specified in writing, all travel must be pre-approved by WorkplaceNL. The Contractor shall comply with WorkplaceNL’s Procedure 100.00: “Travel Procedures” for all travel

WorkplaceNL
2024-74-T
First and Third Floor Renovations – St. John’s Office 146-148 Forest Road

expenses. The requirement for approval of out of province travel by the Chief Executive Officer and the Chair of the Board of Directors does not apply to the Contractor.

- 2.10.12** Shipping, cartage, lading, insurance, duties, levies, and handling charges must be included in the total price. If these charges have not been stated specifically, it will be assumed that they have been included in the Bid price.
- 2.10.13** By submitting a Bid, the Bidder guarantees that, unless the Tender specifies otherwise, all components required to make the required equipment or system operable or to deliver the required services have been included in the Bid, or will be provided at no additional charge to WorkplaceNL.
- 2.10.14** While WorkplaceNL has tried to ensure the accuracy of the Tender, it is not guaranteed or warranted by WorkplaceNL to be accurate, nor is it necessarily comprehensive or exhaustive. WorkplaceNL will assume that all Bidders have resolved any questions they might have about the Tender and have informed themselves as to the existing conditions and limitations, site restrictions, etc. before submitting their Bids. Nothing in the invitation is intended to relieve Bidders from forming their own opinions and conclusions with respect to the matters addressed in the Tender.
- 2.10.15** Any error in the Bid is the responsibility of the Bidder.
- 2.10.16** A Bid cannot be withdrawn, altered or changed in any way after the Tender Closing Date.

2.11 BID EVALUATION

- 2.11.1** Tender evaluation and award of contract will be done in accordance with the **Public Procurement Act**, SNL 2016, c. P-41.001, as amended, and WorkplaceNL’s procedures.
- 2.11.2** Tenders will be opened publicly immediately following the Tender closing in accordance with the Public Procurement Regulations, as amended. The names of all Bidders will be provided at public opening. Bidders may email purchasing@workplacnl.ca to request a Webex meeting invite to attend the public opening. Bidders must include their name, email address, and tender number in the request. Meeting requests must be received by WorkplaceNL before **4:30 p.m.** Newfoundland Time on **Monday, December 2, 2024.**
- 2.11.3** WorkplaceNL reserves the right to non-disclosure of pricing submitted by Bidders during the public opening. All Bidders will be notified electronically of the Bidder names and Bid prices within two (2) business days of the public opening. This

WorkplaceNL
2024-74-T
First and Third Floor Renovations – St. John’s Office 146-148 Forest Road

information is for reference purposes only, and a full Bid evaluation will be conducted to determine the preferred supplier.

- 2.11.4** The Bid shall remain open for acceptance and is irrevocable for a period of ninety (90) days after the Tender Closing Date.
- 2.11.5** WorkplaceNL reserves the right to waive any minor irregularity or non-compliance where such irregularity or non-compliance is not of a material nature in its sole and absolute discretion. Such minor irregularity or non-compliance will be deemed substantial compliance and capable of acceptance. WorkplaceNL will be the sole judge of whether a Bid is accepted or rejected.
- 2.11.6** WorkplaceNL, in its sole discretion, reserves the right to cancel the Tender without award. WorkplaceNL reserves the right to accept or reject any or all Bids in whole or in part. WorkplaceNL is not bound to accept the lowest or any Bid.
- 2.11.7** The Bidder may be required to demonstrate financial stability, authorization to provide the good/services being acquired, and/or regulatory agency approval, licensing or registration as needed, or otherwise clarify Bidder’s capability to satisfy the Tender requirements. WorkplaceNL reserves the right to reject Bids from any Bidder that it feels is incapable of providing the necessary labour, materials, equipment, financing or management resources to perform the work or supply the goods in a satisfactory and timely manner.
- 2.11.8** WorkplaceNL, in its sole discretion, may assess the Bidders’ experience and/or ability to provide the goods and/or services required and described in this Tender by checking the Bidders’ references. A contract will not be awarded to any Bidder whose references, in the opinion of WorkplaceNL, are found to be unsatisfactory. WorkplaceNL reserves the right to obtain references from sources other than those provided in the Bid. WorkplaceNL reserves the sole discretion to determine whether the Bidder and its professional staff have the appropriate qualifications.
- 2.11.9** WorkplaceNL reserves the right to disqualify any Bidder if the Bidder has either breached an agreement and/or failed to provide satisfactory service and/or deliveries under any prior agreement with WorkplaceNL, in the sole opinion of WorkplaceNL.
- 2.11.10** WorkplaceNL reserves the right to determine equivalency, and may require demonstrator or sample items in order to be able to evaluate the items proposed. WorkplaceNL will be the sole judge of equivalence.
- 2.11.11** Where applicable, all equipment must be certified by the appropriate regulatory agencies and/or must be approved by the appropriate Provincial agency.
- 2.11.12** Upon acceptance by WorkplaceNL, a written Bid acceptance will be forwarded to the successful Bidder.

**WorkplaceNL
2024-74-T**

First and Third Floor Renovations – St. John’s Office 146-148 Forest Road

2.11.13 In the event that the selected Bid(s) is higher than the budget approved by WorkplaceNL’s Board of Directors, any awards made pursuant to this Tender process are subject to approval of the Board of Directors. In addition to any other rights of cancellation contained herein, WorkplaceNL, in its sole discretion, reserves the right to cancel this Tender without award should the Board of Directors not approve the award.

2.11.14 As required by the **Public Procurement Regulations**, a ten percent (10%) reduction will be applied to the pricing submitted by provincial suppliers for the purposes of evaluating pricing. A “provincial supplier” is defined in the Public Procurement Regulations as a supplier of goods, services or public works that has a place of business in the province of Newfoundland and Labrador. A “place of business” is defined in the **Public Procurement Regulations** as an establishment where a supplier regularly conducts its activities on a permanent basis. WorkplaceNL may require a Bidder to provide information and/or documentation to confirm whether it is a provincial supplier, as defined above. In the event of a tie between a provincial and non-provincial supplier, the selected Bidder shall be the provincial supplier.

SECTION 3: GENERAL

- 3.1** Payment of invoices will be through direct deposit. The successful Bidder is required to meet WorkplaceNL’s billing and accounting requirements. The successful Bidder shall invoice WorkplaceNL electronically on a monthly basis. Invoices must be legible and clearly labeled with the successful Bidder’s invoice number. The Bidder must acknowledge in the Appendix “B”, Bid Form that the Bidder agrees to direct deposit and electronic invoicing.
- 3.2** The successful Bidder must provide a proposed invoicing milestone invoicing schedule upon award to be approved by WorkplaceNL.
- 3.3** All invoices must include detail costs for materials, personal, and all incidentals charged to WorkplaceNL including any percentage mark-ups.
- 3.4** This Tender, all Bids, and any agreement will be construed and interpreted in accordance with the laws of the Province of Newfoundland and Labrador.
- 3.5** The Bidder shall not use WorkplaceNL’s name or logo or make reference to this Tender in any advertising copy or other promotional materials or messages without WorkplaceNL’s prior written consent.

WorkplaceNL
2024-74-T
First and Third Floor Renovations – St. John’s Office 146-148 Forest Road

- 3.6** WorkplaceNL reserves the right to tender any services by invited tender or public tender, as deemed necessary.

**WorkplaceNL
2024-74-T
First and Third Floor Renovations – St. John’s Office 146-148 Forest Road**

APPENDIX “A”

Design Plan, Drawings and Specifications

WORKPLACE NL - INTERIOR FIT-OUT

148 FOREST ROAD
ST. JOHN'S, NL A1A 1E6

ARCHITECTS PROJECT # 243034

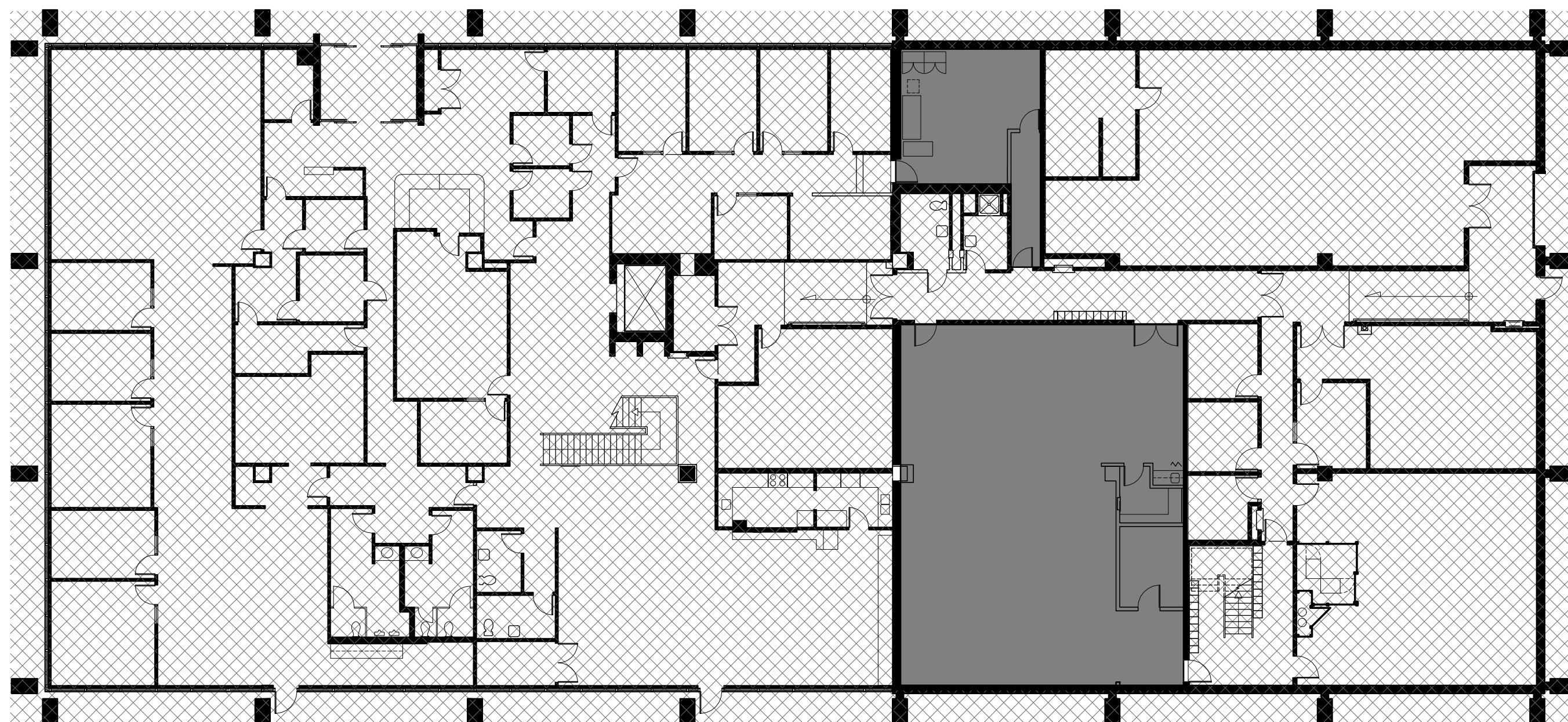
A PROJECT FOR

WORKPLACE NL

BUILDING KEY PLAN

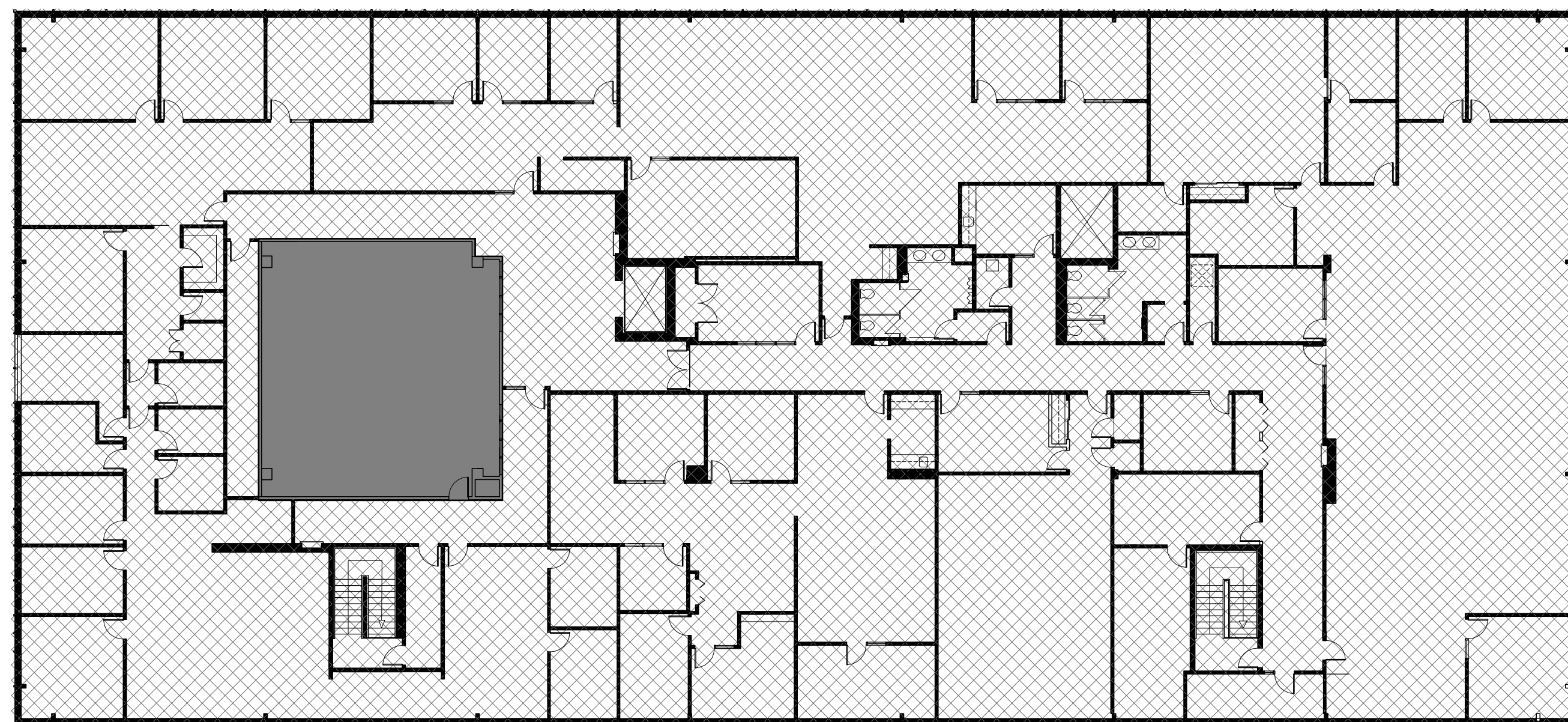
SCALE: 1/8" = 1'-0"

HATCHED AREA REPRESENTS EXTENT OF WORK



OVERALL LEVEL 1 FLOOR PLAN

SCALE: 1/16" = 1'-0"



OVERALL LEVEL 3 FLOOR PLAN

SCALE: 1/16" = 1'-0"

DRAWING INDEX

Future Issue (12)	Future Issue (11)	Future Issue (10)	Future Issue (09)	Future Issue (08)	Future Issue (07)	Future Issue (06)	Future Issue (05)	Future Issue (04)	Future Issue (03)	Issue for Tender	Issue for Permit	Sheet Number	Sheet Name

DRAWING INDEX - GENERAL

Issue Number	Issue Name
G001	DRAWING INDEX, SYMBOL LEGEND & ABBREVIATION INDEX
G001.1	DRAWING INDEX - FULL SHEET
G003	ENLARGED EGRESS AND FIRE EXTINGUISHER PLAN
G006	ACCESSIBILITY CODE SHEET (CSA)

DRAWING INDEX - MECHANICAL

Issue Number	Issue Name
M-1	MECHANICAL SPECIFICATION AND LEGEND
M-2	MECHANICAL DEMOLITION LAYOUTS - 1ST FLOOR AND 3RD FLOOR
M-3	MECHANICAL REVISED LAYOUTS - 1ST AND 3RD FLOOR
M-4	MECHANICAL DETAILS

DRAWING INDEX - ELECTRICAL

Issue Number	Issue Name
E-1	ELECTRICAL LEGEND AND OVERALL PLAN
E-2	ELECTRICAL NEW FLOOR PLAN
E-3	ELECTRICAL NEW FLOOR PLANS
E-4	ELECTRICAL NEW FLOOR PLANS
E-5	ELECTRICAL SCHEDULES
E-6	ELECTRICAL SPECIFICATION PAGE 1
E-7	ELECTRICAL SPECIFICATION PAGE 2

DRAWING INDEX - ARCHITECTURAL

Issue Number	Issue Name
AD101	TYPICAL DEMOLITION PLANS
AD121	TYPICAL DEMOLITION CEILING PLANS
A101	TYPICAL SERVICE CENTER PLANS
A102	TYPICAL MAIL ROOM PLANS
A103	TYPICAL IMAGING ROOM PLANS
A501	INTERIOR ELEVATIONS, MILLWORK SECTIONS & DETAILS
A601	PARTITION TYPES
A602	SCHEDULES

PROJECT TEAM

OWNER

WORKPLACE NL
148 FOREST ROAD
ST. JOHN'S, NL A1A 1E6
709.778.1112
DEAN.WHALEN@WORKPLACENL.CA
DEAN WHALEN

ARCHITECT

POWERS BROWN ARCHITECTURE
354 WATER STREET, SUITE 402
ST. JOHN'S, NL A1C 1C4
709.726.3941 ext. 218
SANABRIA@POWERSBROWN.COM
SMALLWOOD@POWERSBROWN.COM
AMANDA SANABRIA
CURTIS SMALLWOOD

MEP

ROWSSELL APPELBY NEWTON ENGINEERING
1 CENTENNIAL STREET
MOUNT PEARL, NL A1N 0C9
709.754.9135
MAPPLEBY@RANENGINEERING.CA
JSMITH@RANENGINEERING.CA
MATTHEW APPELBY
JASON SMITH

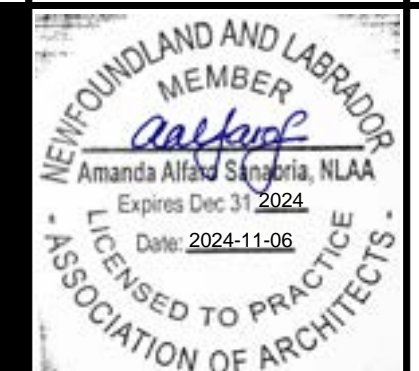
SHEET TITLE

COVER SHEET

SEAL

SHEET NUMBER

powers
brown
archi
ecture



G000

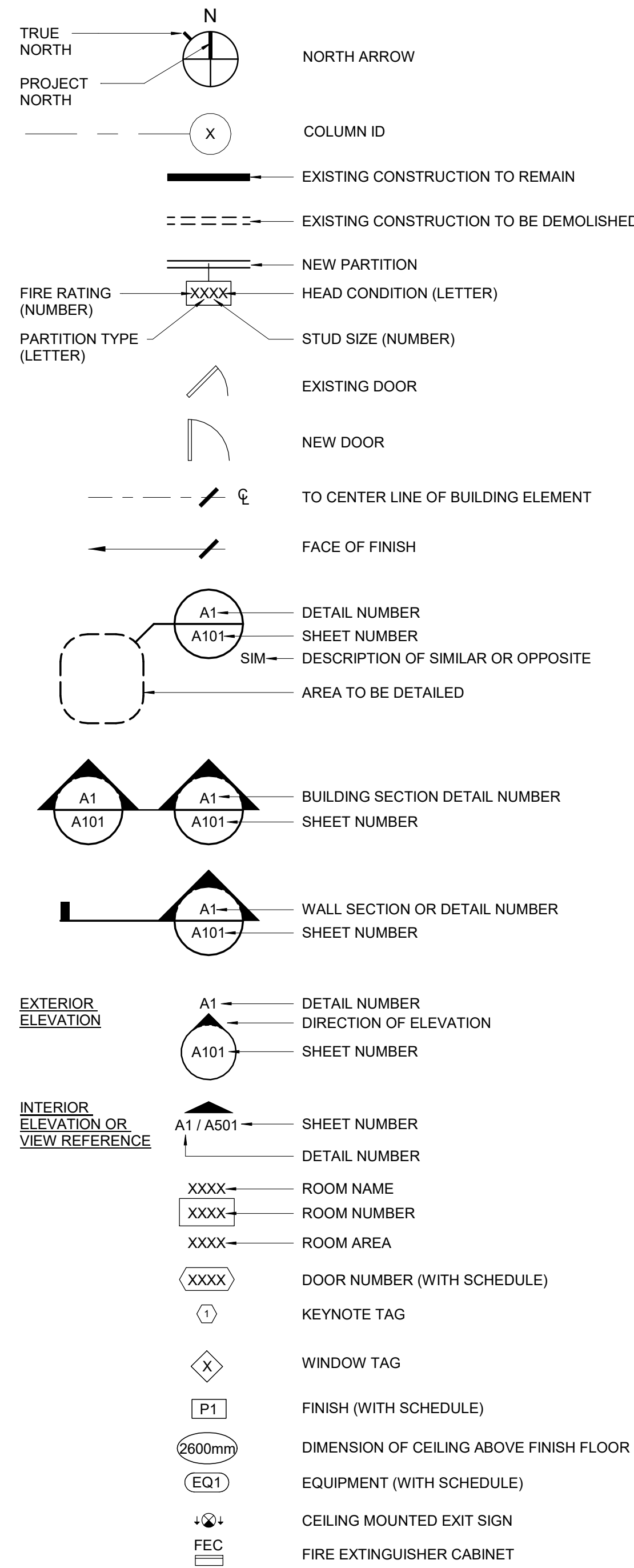
243034

WORKPLACE NL - INTERIOR FIT-OUT - ISSUE FOR PERMIT

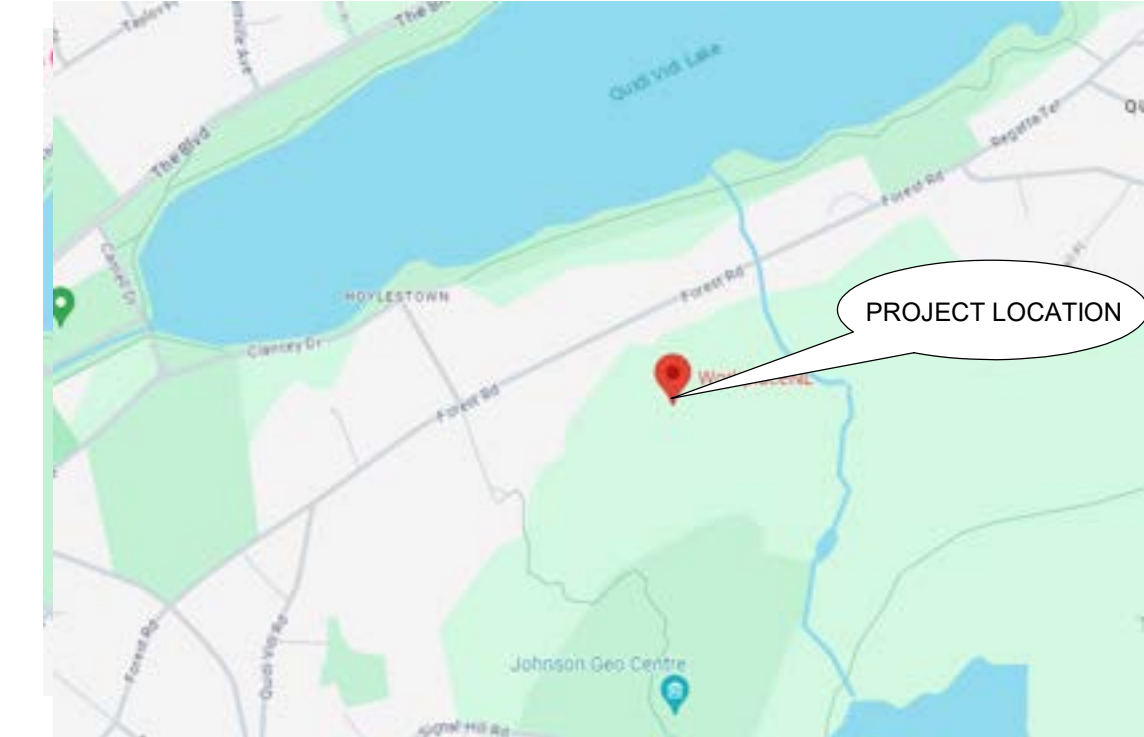
ABBREVIATIONS

Ø	DIAMETER	PTD	PAINTED
#	CENTER LINE	R	RADIUS, RISER OR RISERS
&	POUND/ NUMBER	RD	ROOF DRAINS
@	AND	REV	REVISION
	AT	REQD	REQUIRED
A/C	AIR CONDITIONING	RM	ROOM
ACT	ACOUSTICAL CEILING TILE	RO	ROUGH OPENING
ADA	AMERICANS WITH DISABILITIES ACT	ROR	RIGHT OF REVEAL
ADDL	ADDITIONAL	RTU	ROOF TOP UNIT
AFF	ABOVE FINISH FLOOR	SCWD	SOLID CORE WOOD DOOR
AFG	ABOVE FINISH GRADE	SECT	SECTION
AHU	AIR HANDLING UNIT	SIM	SIMILAR
ALT	ALTERNATE	SPEC	SPECIFIED
ALUM	ALUMINUM	SQ	SQUARE
ARCH	ARCHITECT	SST	STAINLESS STEEL
		STO	STORAGE
		STRUCT	STRUCTURAL
BD	BOARD	TOC	TOP OF CURB
BFF	BELOW FINISH FLOOR	TOM	TOP OF MULLION
BLDG	BUILDING	TOP	TOP OF PARAPET
BOM	BOTTOM OF MULLION	TOR	TOP OF REVEAL
BOR	BOTTOM OF REVEAL	TOS	TOP OF SLAB
CAB	CABINET	TW	TILT WALL
CJ	CONTROL JOINT/ CONSTRUCTION JOINT	TYP	TYPICAL
CLG	CEILING	UNO	UNLESS NOTED OTHERWISE
CIP	CAST-IN-PLACE	VCT	VINYL COMPOSITION TILE
CLR	CLEAR	VERT	VERTICAL
CMU	CONCRETE MASONRY UNIT	VEST	VESTIBULE
COL	COLUMN	W/	WITH
CONC	CONCRETE	W/O	WITHOUT
CONSTR	CONSTRUCTION	WDW	WOOD
CONT	CONTINUE	WDW	WINDOW
CORR	CORRIDOR		
CT	CERAMIC TILE		
DF	DRINKING FOUNTAIN		
DIM	DIMENSION		
DIST	DISTANCE		
DS	DOWNSPOUT		
DWG	DRAWING		
EIFS	EXTERIOR INSULATED FINISH SYSTEM		
EJ	EXPANSION JOINT		
ELEC	ELECTRIC		
ELEV	ELEVATOR		
EQ	EQUAL		
EXIST	EXISTING		
EXP	EXPANSION		
EXT	EXTERIOR		
FD	FLOOR DRAIN		
FE	FIRE EXTINGUISHER		
FEC	FIRE EXTINGUISHER CABINET		
FLR	FLOOR OR FLOORING		
FLUOR	FLUORESCENT		
FIN	FINISH		
FIXT	FIXTURE		
FV	FIELD VERIFY		
GA	GAUGE		
GALV	GALVANIZED		
GYP	GYP SUM		
HB	HOSE BIB		
HDW	HARDWARE		
HM	HOLLOW METAL		
HNDRL	HANDRAIL		
HORIZ	HORIZONTAL		
HT	HEIGHT		
INSUL	INSULATION		
INFO	INFORMATION		
INT	INTERIOR		
JAN	JANITOR		
LAV	LAVATORY		
LDG	LANDING		
LOR	LEFT OF REVEAL		
LT	LIGHT		
LWC	LIGHTWEIGHT CONCRETE		
MAX	MAXIMUM		
MFR	MANUFACTURER		
MIN	MINIMUM		
MO	MASONRY OPENING		
MTD	MOUNTED		
MTL	METAL		
MULL	MULLION		
NIC	NOT IN CONTRACT		
NTS	NOT TO SCALE		
OC	ON CENTER		
OF/CI	OWNER FURNISHED/ CONTRACTOR INSTALLED		
OF/OI	OWNER FURNISHED/ OWNER INSTALLED		
OPH	OPPOSITE HAND		
PLAM	PLASTIC LAMINATE		
PLYWD	PLYWOOD		
PR	PAIR		

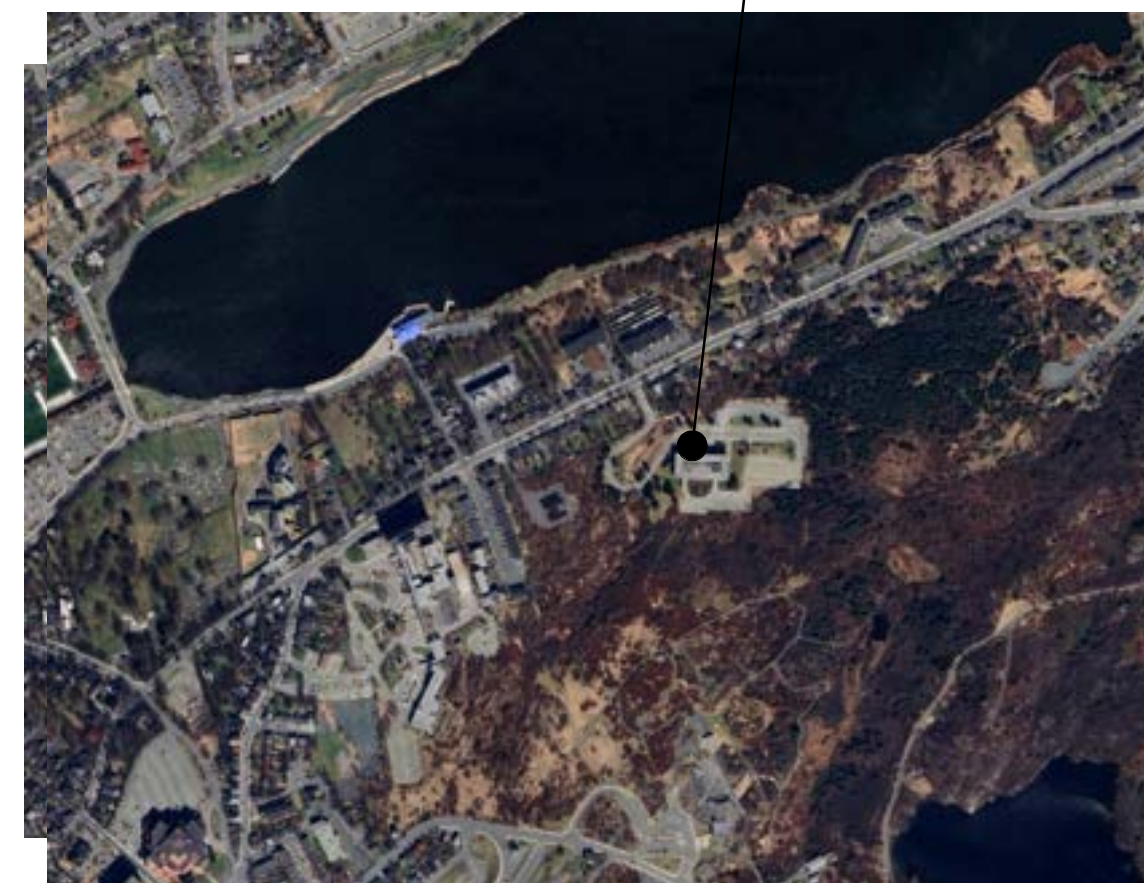
SYMBOL LEGEND



VICINITY MAP



PROJECT LOCATION



powers brown architecture
 Architectural Consultant:
 Powers Brown Architecture
 354 Water Street,
 Suite 402
 St. John's, NL A1C 1C4
 709.726.3941
 www.powersbrown.com

PROJECT TITLE

WORKPLACE NL - INTERIOR FIT-OUT

148 FOREST ROAD
 ST. JOHN'S, NL A1A 1E6

A PROJECT FOR
WORKPLACE NL

GENERAL NOTES

- A. ALL MATERIALS ON JOB TO COMPLY WITH FEDERAL AND FEDERAL AND PROVINCIAL / AIM REGULATIONS.
- B. ALL CONSTRUCTION TO COMPLY WITH LOCAL ACCESSIBILITY CODES, CURRENT ENERGY CODE AND LOCAL AMMENDMENTS OR REQUIREMENTS. ALL FIRE WALL PENETRATIONS SHALL BE SEALED WITH FIRE RATED FOAM SEALANT (BOTH SIDES OF WALL). SEALANT TYPE SHALL BE A COMPATIBLE RATING TO THE WALL SYSTEMS.
- C. MAXIMUM CLEAR SPAN HEIGHTS FOR INTERIOR METAL STUDS SHALL BE SUCH THAT DEFLECTION SHALL NOT EXCEED L/360 UNDER A 5 PSF LOAD (CERAMIC TILE FINISHES AND / OR WALLS TO DECK) AND L/120 AT ALL OTHER AREAS.
- D. ALL WOOD FRAMING, BLOCKING, SHEATHING OR BRACING SHALL BE FIRE RETARDANT TREATED.
- E. DO NOT SCALE THESE DRAWINGS FOR DIMENSIONAL INFORMATION. REFER TO DIMENSIONS ON THE FLOOR PLAN AND ENLARGED PLANS. IF THERE IS A CONFLICT WITH THE PLAN DIMENSIONS OR AN EXISTING FIELD CONDITION, CONTACT THE ARCHITECT. DIMENSIONS ARE GIVEN TO FACE OF FINISH UNO.
- F. ALL GYPSUM BOARD THROUGHOUT THE PROJECT SHALL BE 5/8" THICK UNO. (TYPE 'X' IF REQUIRED) USE WATER RESISTANT GYPSUM BOARD AT ALL WET LOCATIONS AND 5/8" FIBER REINFORCED CEMENT BOARD BEHIND ALL WALL TILE.

Δ	DATE	REVISION
	2024-08-06	ISSUE FOR PERMIT
	2024-11-06	ISSUE FOR TENDER

PROJECT NO: 243034

DRAWN BY: PBA

CHECKED BY: PBA

SHEET NAME

DRAWING INDEX, SYMBOL LEGEND & ABBREVIATION INDEX

SEAL	SHEET NUMBER
	G001





PROJECT TITLE

**WORKPLACE NL - INTERIOR
FIT-OUT**




148 FOREST ROAD
ST. JOHN'S, NL A1A 1E6

A PROJECT FOR
WORKPLACE NL

PLAN LEGEND

-  BUSINESS
-  INDICATES MILLWORK
-  BUILDING CORE ELEMENTS
-  NOT IN CONTRACT

EGRESS PLAN LEGEND

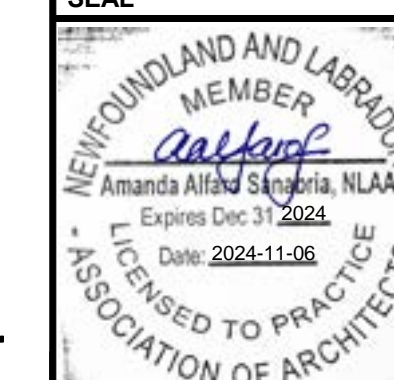
-  TRAVEL DISTANCE
-  COMMON PATH OF TRAVEL
-  EXIT SIGN

DATE	REVISION
2024-08-06	ISSUE FOR PERMIT
2024-11-06	ISSUE FOR TENDER

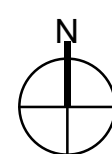
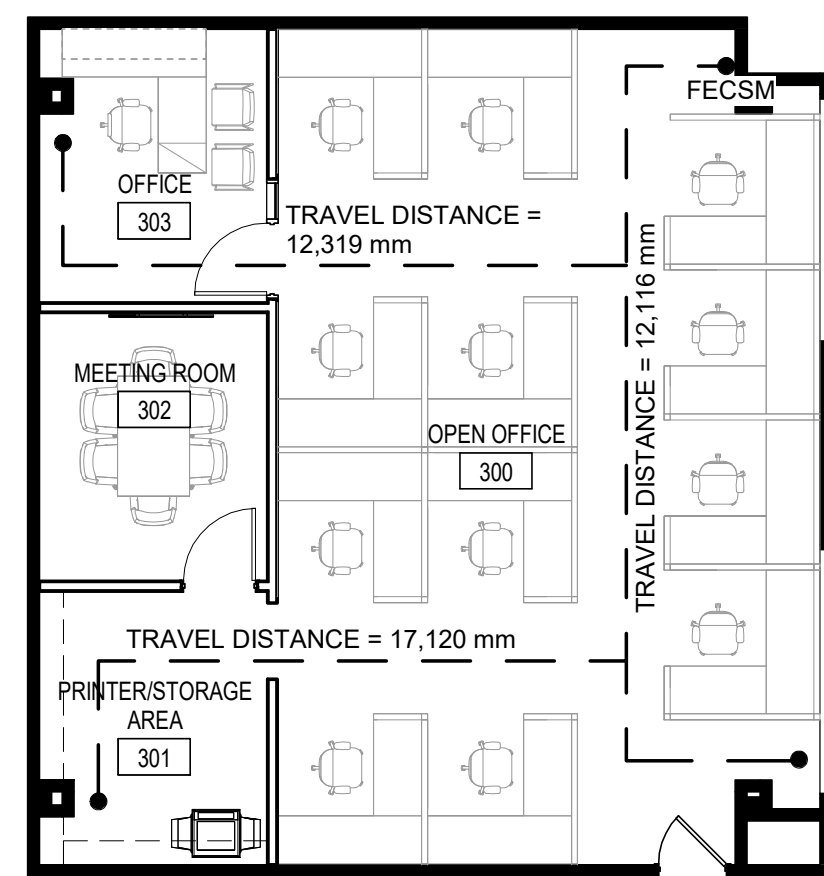
PROJECT NO: 243034
DRAWN BY: CP, RH
CHECKED BY: CS AK

**ENLARGED EGRESS AND
FIRE EXTINGUISHER PLAN**

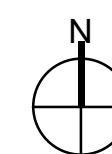
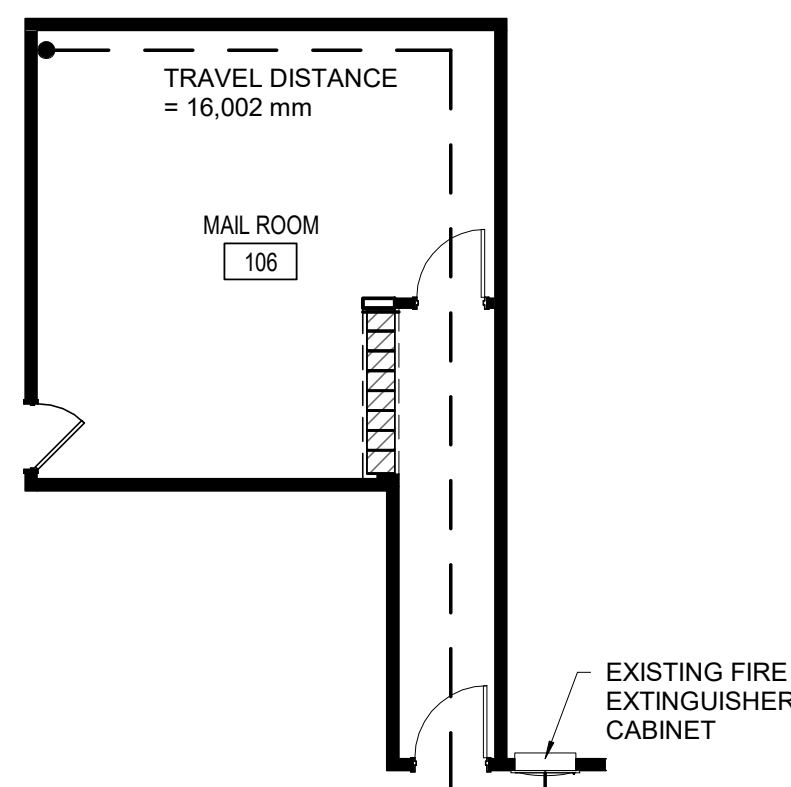
SEAL SHEET NUMBER



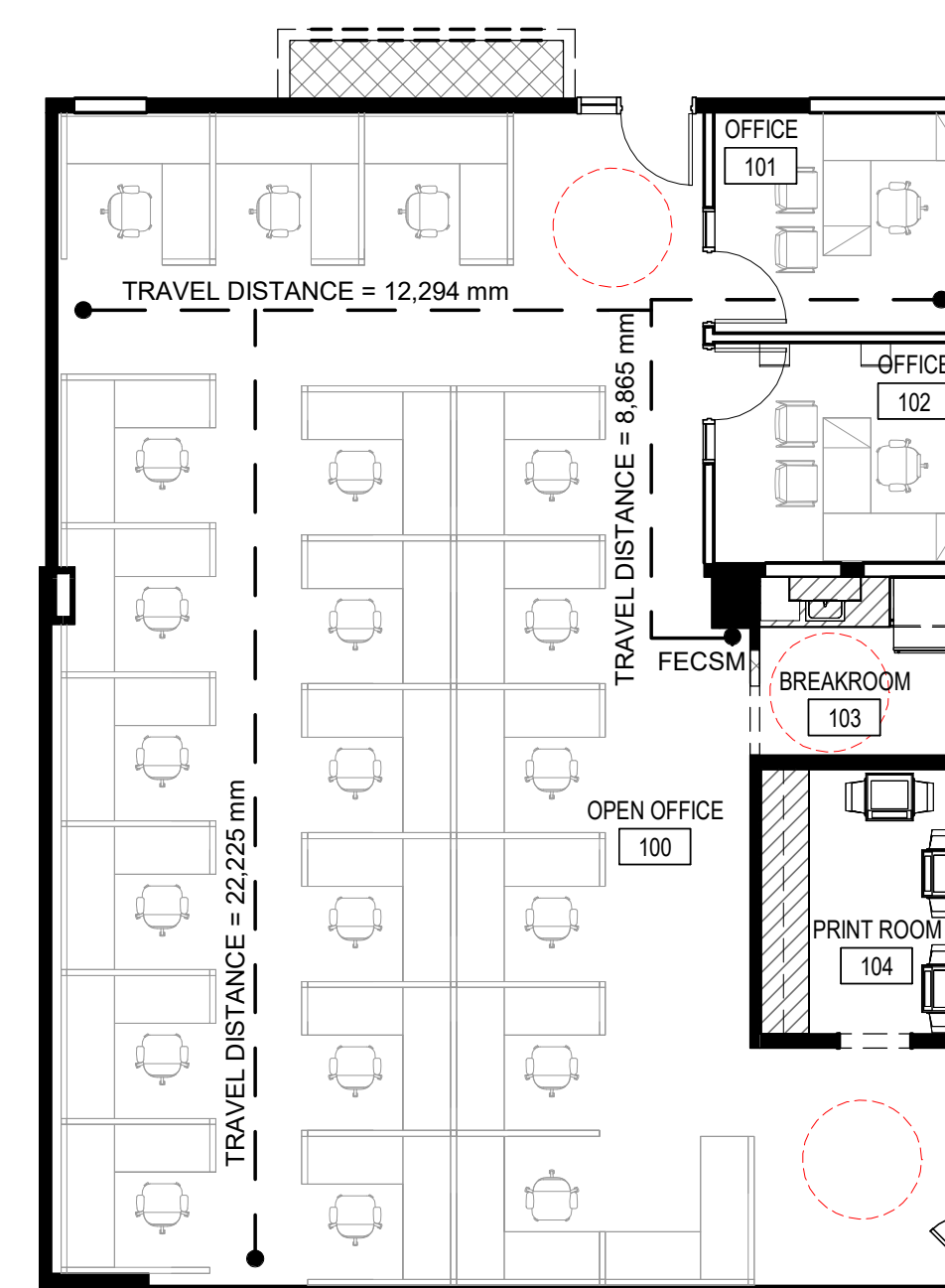
G003



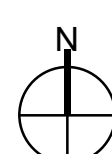
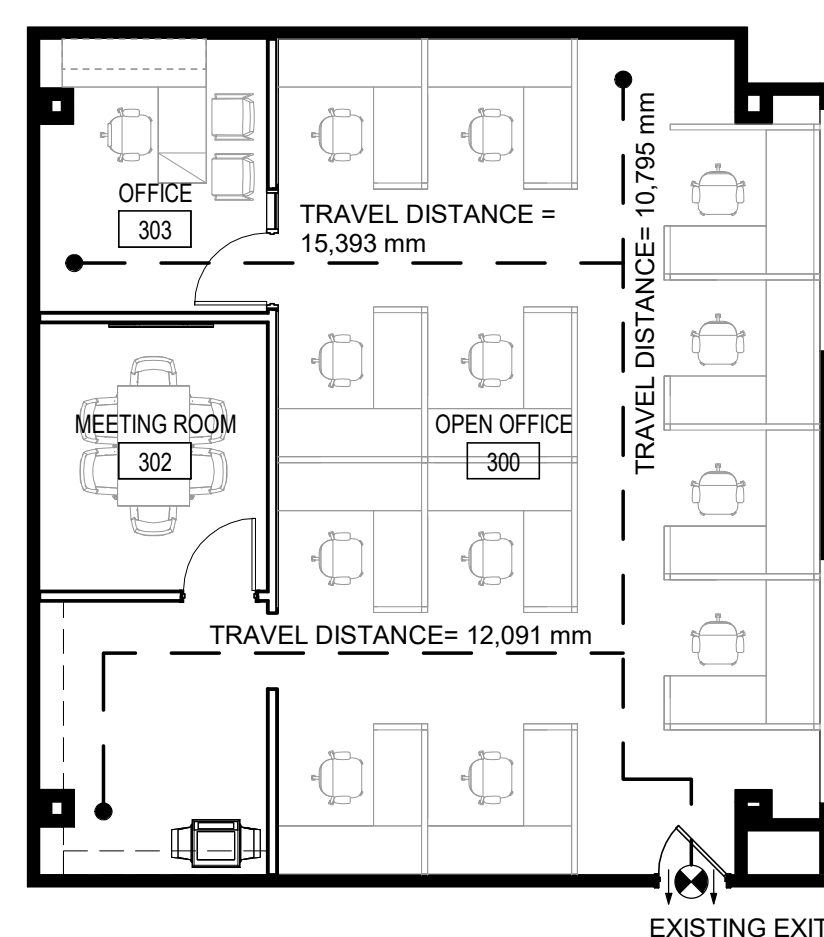
C4 IMAGING ROOM - LEVEL 03 - FE DIAGRAM
SCALE: 1/8" = 1'-0"



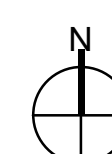
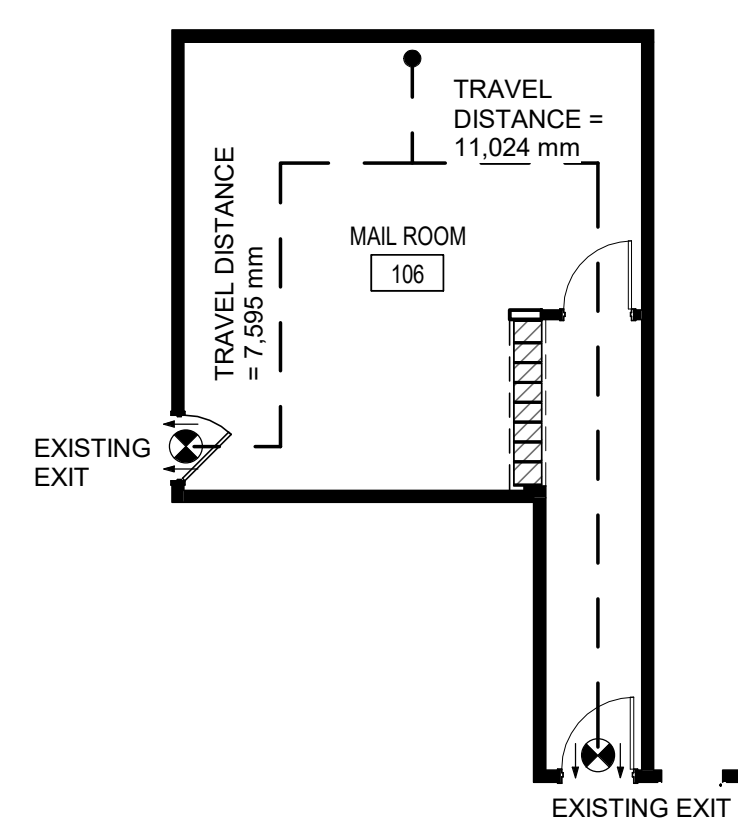
C3 MAIL ROOM - LEVEL 01 - FE DIAGRAM
SCALE: 1/8" = 1'-0"



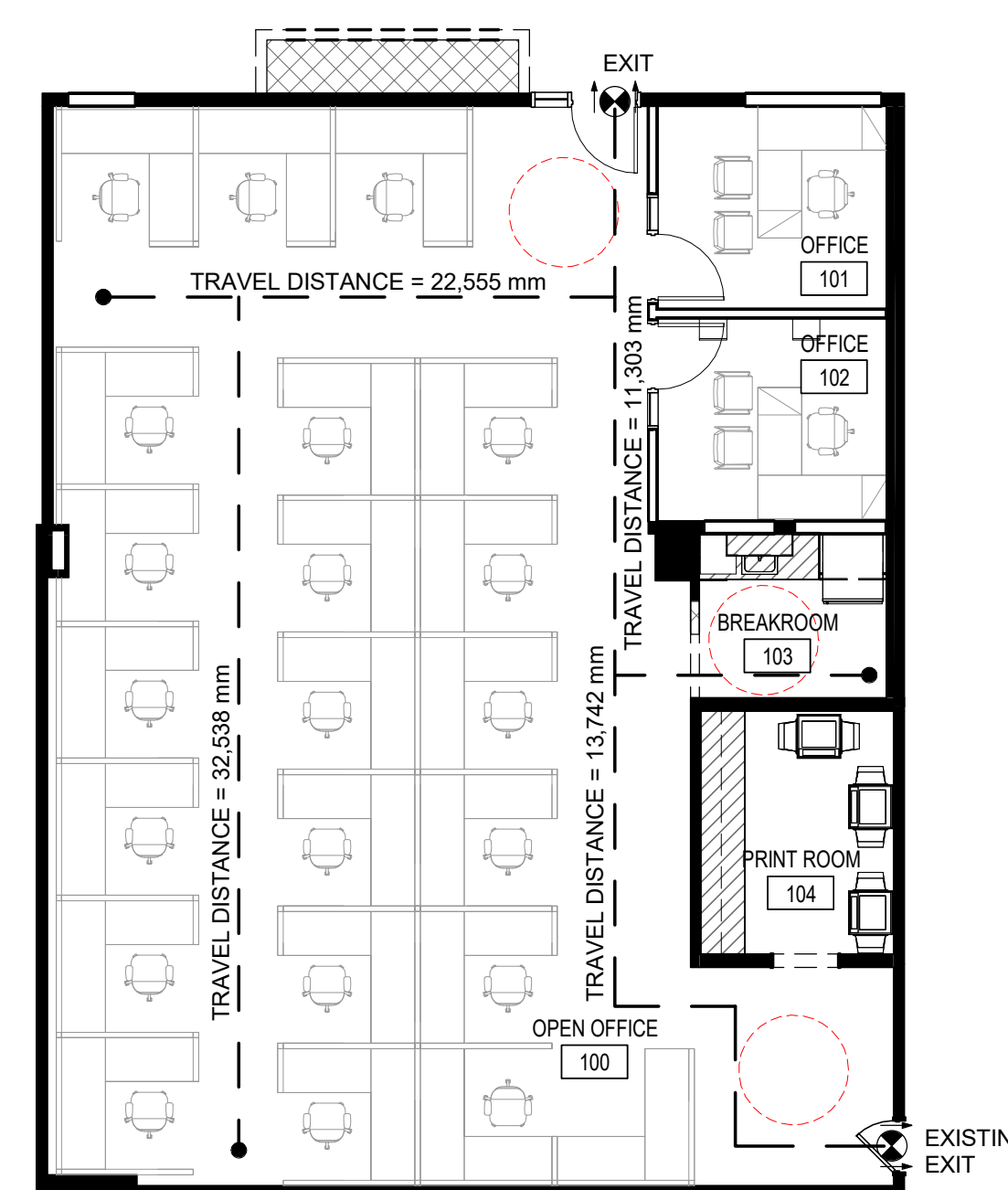
C2 SERVICE CENTER - LEVEL 01 - FIRE EXTINGUISHER DIAGRAM
SCALE: 1/8" = 1'-0"



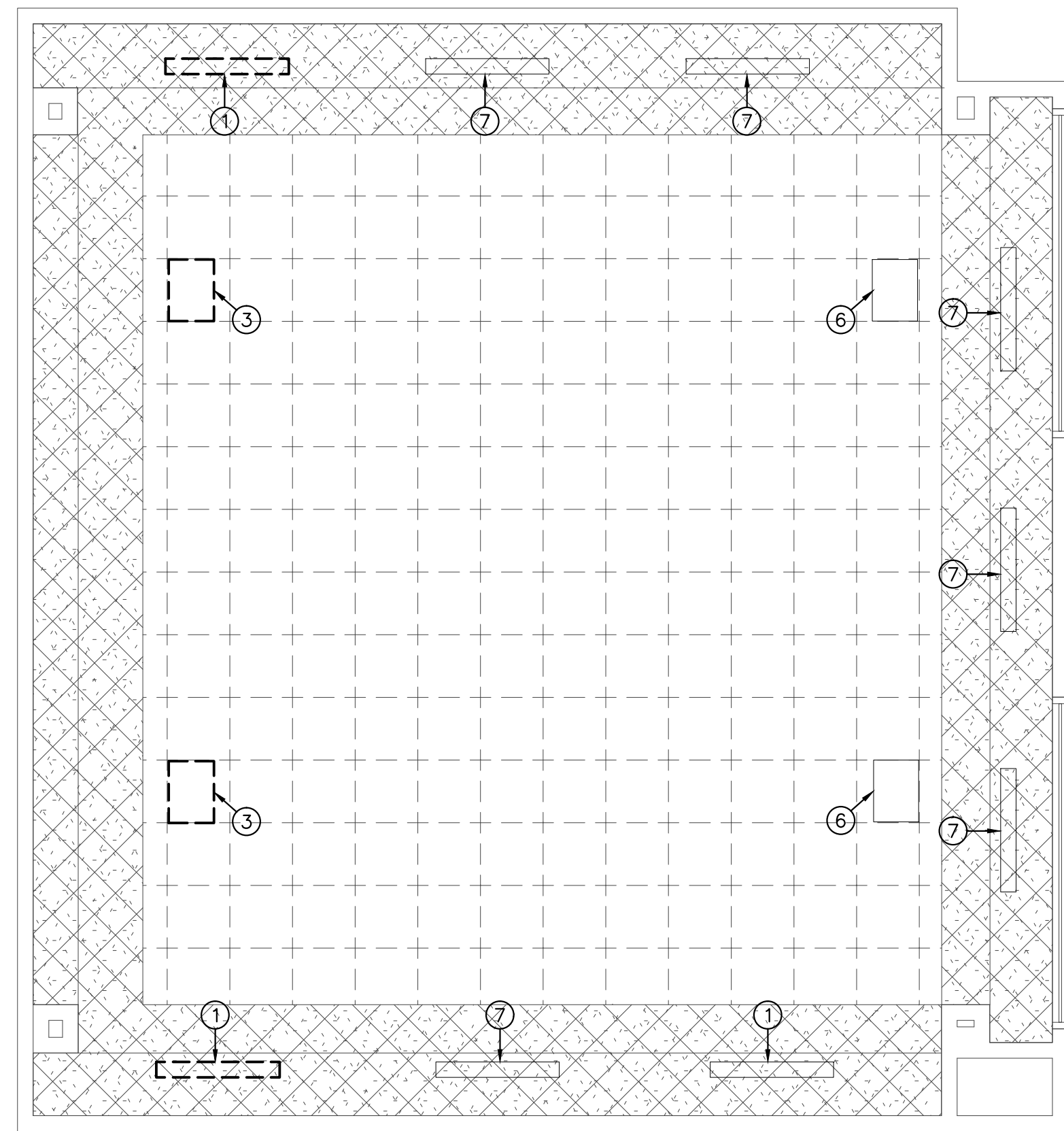
A4 IMAGING ROOM - LEVEL 03 - EGRESS DIAGRAM
SCALE: 1/8" = 1'-0"



A3 MAIL ROOM - LEVEL 01 - EGRESS DIAGRAM
SCALE: 1/8" = 1'-0"

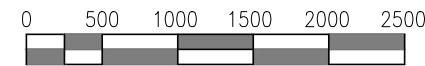


A2 SERVICE CENTER - LEVEL 01 - EGRESS DIAGRAM
SCALE: 1/8" = 1'-0"

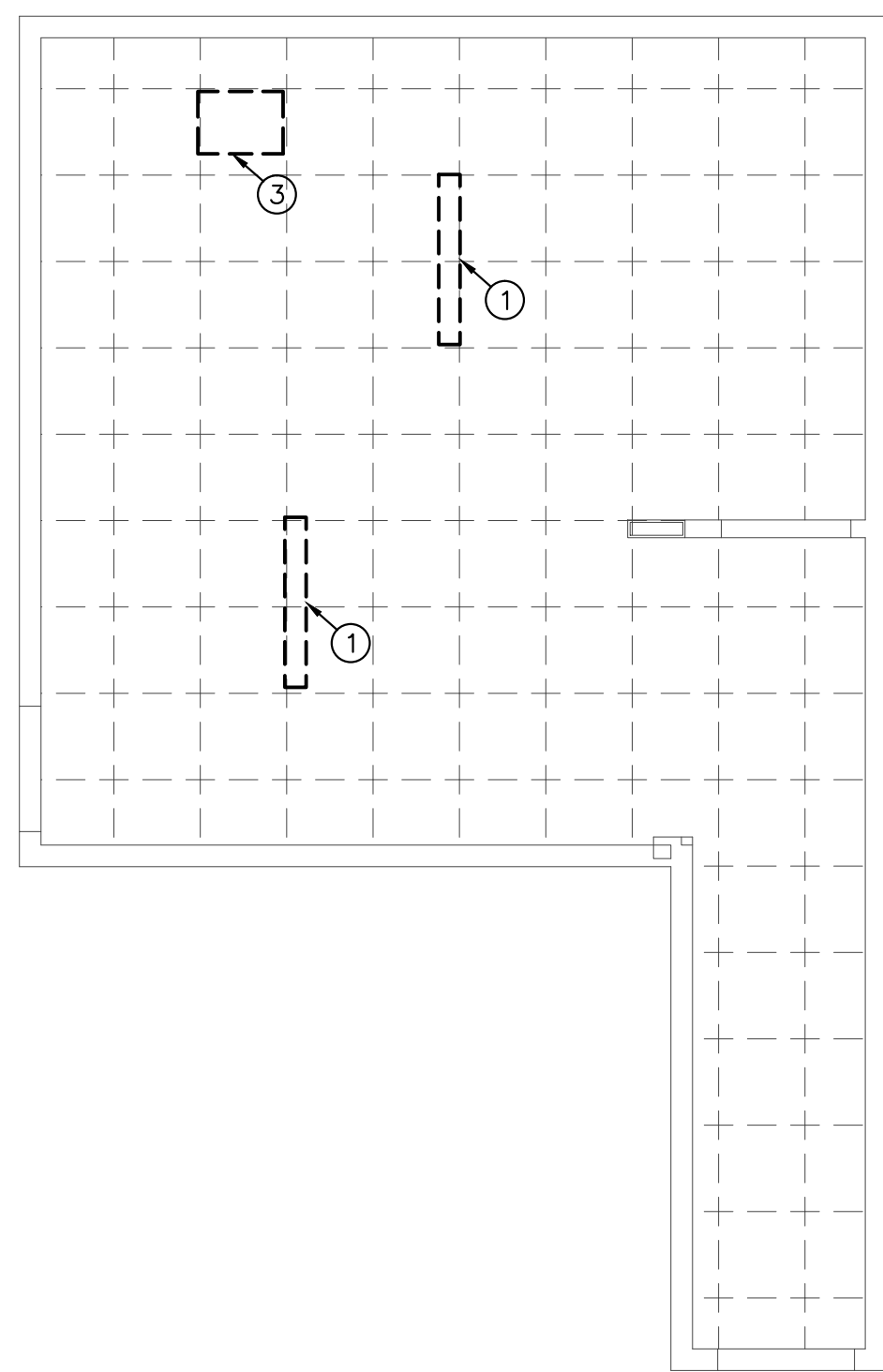


MECHANICAL DEMOLITION LAYOUT - IMAGING ROOM 3RD FLOOR

SCALE: 1:50

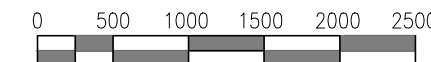


2
M-2

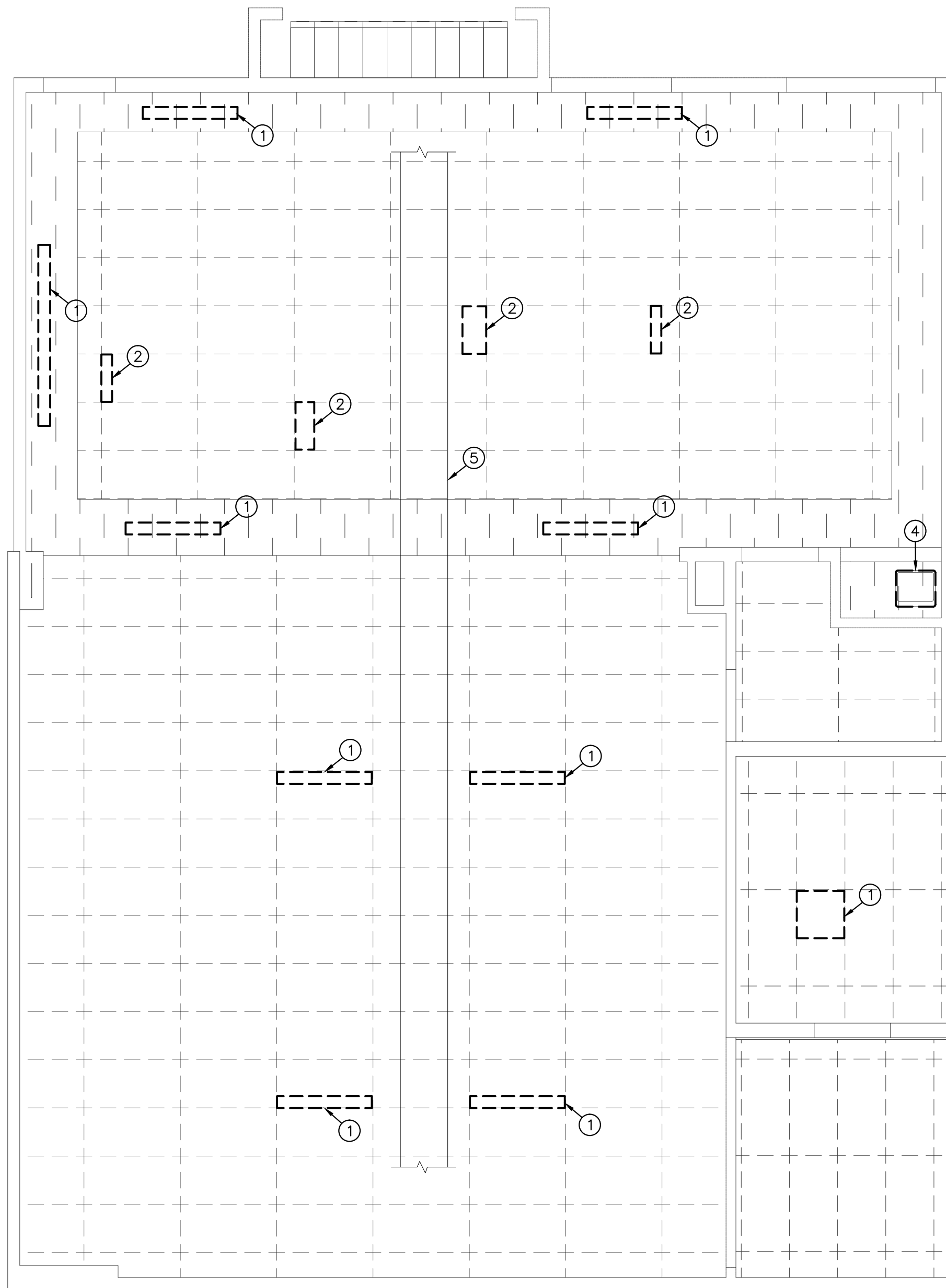


MECHANICAL DEMOLITION LAYOUT - MAIL ROOM 1ST FLOOR

SCALE: 1:50

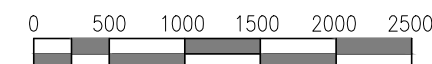


3
M-2

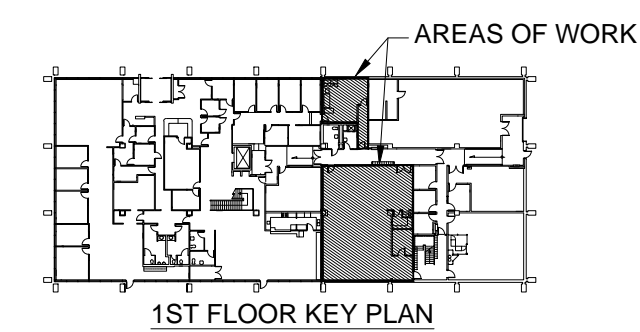
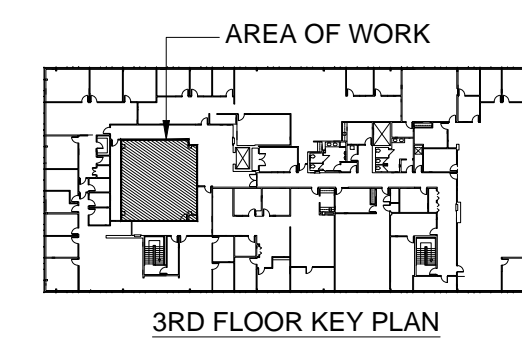


MECHANICAL DEMOLITION LAYOUT - SERVICE CENTER 1ST FLOOR

SCALE: 1:50



1
M-2



GENERAL NOTES:

1. THIS CONTRACTOR SHALL VISIT THE SITE TO EVALUATE ALL EXISTING SITE CONDITIONS AS THEY MAY AFFECT THIS WORK. NO EXTRAS WILL BE ALLOWED FOR ANY EFFECTS FROM FAILING TO COMPLETE A COMPREHENSIVE SITE TOUR TO UNDERSTAND AND ACCOUNT FOR THE IMPACT OF EXISTING SITE CONDITIONS ON THE CONTRACT SCOPE OF WORK. REPORT ANY DISCREPANCIES TO ENGINEER.
2. OWNER SHALL HAVE FIRST RIGHT OF REFUSAL OF ALL EXISTING EQUIPMENT BEING REMOVED.

DRAWING NOTES:

- ① EXISTING SUPPLY AIR DIFFUSER TO BE REMOVED C/W INTEGRATED PLENUM AND SUPPORTS. EXISTING FLEX DUCTWORK CAN BE USED TO CONNECT NEW DIFFUSERS WHERE POSSIBLE. INSPECT EXISTING DUCTWORK FOR HOLES/LEAKS. ALSO CONFIRM LENGTH AND SIZE IS ADEQUATE FOR NEW DIFFUSER CONNECTION. PROVIDE NEW FLEX DUCTWORK BACK TO MAIN AS REQUIRED.
- ② EXISTING RETURN AIR GRILLE TO BE REMOVED C/W BRANCH DUCTWORK BACK TO RETURN MAIN DUCTWORK. REUSE TAKE OFF FOR NEW GRILLE WHERE POSSIBLE, OTHERWISE PATCH AND SEAL AIRTIGHT. PROVIDE NEW DUCTWORK BACK TO MAIN AS REQUIRED.
- ③ EXISTING RETURN AIR GRILLE TO BE REMOVED.
- ④ EXISTING SINK AT THIS APPROXIMATE LOCATION TO BE REMOVED C/W ALL ASSOCIATED PIPING, TRIM, FITTINGS, VALVES, ETC. CONFIRM AND COORDINATE ALL EXISTING FIXTURE AND PIPING LOCATIONS ON SITE. CAP EXISTING PIPING IN WALL/CEILING SPACE, THESE WILL BE TIE IN POINTS FOR NEW PIPING SERVING NEW SINK. PROVIDE OFFSETS AS REQUIRED.
- ⑤ APPROXIMATE LOCATION OF EXISTING SUPPLY AIR DUCTWORK.
- ⑥ EXISTING RETURN AIR GRILLE TO REMAIN.
- ⑦ EXISTING SUPPLY AIR DIFFUSER TO REMAIN.

powers brown architecture

Architectural Consultant:
Powers Brown Architecture
354 Water St., Suite 212
St. John's, NL A1C 1C4
709.726.3941

www.powersbrown.com

PROJECT TITLE

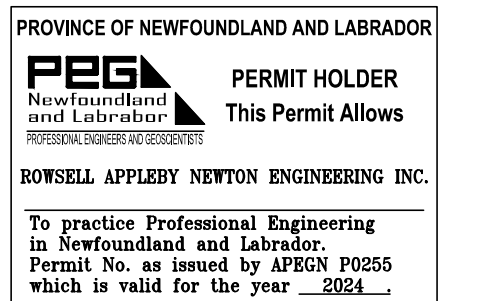
WORKPLACE NL - INTERIOR FIT-OUT

A PROJECT FOR
WORKPLACE NL

GENERAL NOTES

GENERAL NOTES:

1. CONTRACTOR TO VERIFY ALL SITE CONDITIONS, LOCATIONS AND DIMENSIONS PRIOR TO COMMENCING WORK. TRACE OUT ALL SYSTEMS BEFORE INITIATING WORK. COORDINATE SYSTEM SHUT DOWNS & SERVICE INTERRUPTIONS WITH OWNER.
2. PROVIDE ALL MATERIALS & LABOUR REQUIRED TO INSTALL ALL REQUIRED COMPONENTS IN ACCORDANCE WITH APPLICABLE CODES, REGULATIONS & DRAWINGS THAT FORM PART OF THIS CONTRACT.
3. DO NOT SCALE FROM DRAWINGS.
4. ALL DIMENSIONS ARE IN MILLIMETERS UNLESS NOTED OTHERWISE.



MECHANICAL/ELECTRICAL CONSULTANTS

R | A | N

ROWSSELL APPLBY NEWTON ENGINEERING INC.
1 Central Steel Side 101 Mount Peak, NL
T 709.754.9135

△	DATE	REVISION
0	NOV. 6, 2024	ISSUED FOR TENDER

PROJECT NO: 24-032

DRAWN BY: S.P.

CHECKED BY: J.S.

SHEET TITLE

MECHANICAL DEMOLITION LAYOUTS - 1ST FLOOR AND 3RD FLOOR

SEAL SHEET NUMBER



M-2

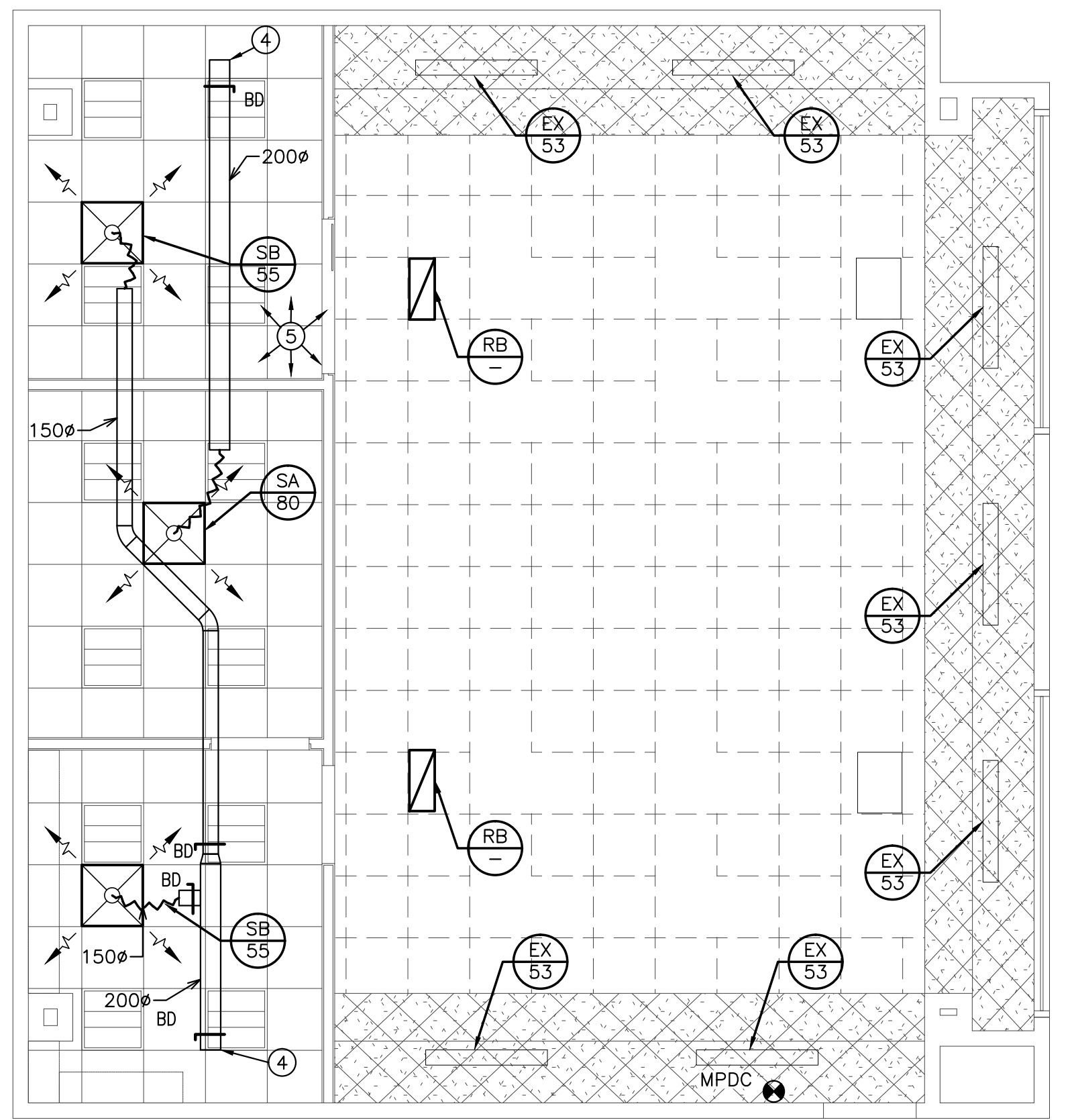
GRILLE / REGISTER & DIFFUSER SCHEDULE							
TYPE	MANUFACTURER	MODEL	NOMINAL PANEL SIZE OR MODULE SIZE	DISCHARGE PATTERN	NUMBER OF SLOTS OR CONES	MOUNTING	ACCESSORIES/COMMENTS
SA	EH PRICE	SCD	600X600	-	-	T-BAR	C/W OBD - NECK SIZE = 200mm ϕ
SB	EH PRICE	SCD	600X600	-	-	T-BAR	C/W OBD - NECK SIZE = 150mm ϕ
RA	EH PRICE	80	600mmX150mm	-	-	T-BAR	LAY IN BORDER
RB	EH PRICE	80	600mmX250mm	-	-	T-BAR	LAY IN BORDER

GENERAL NOTES:

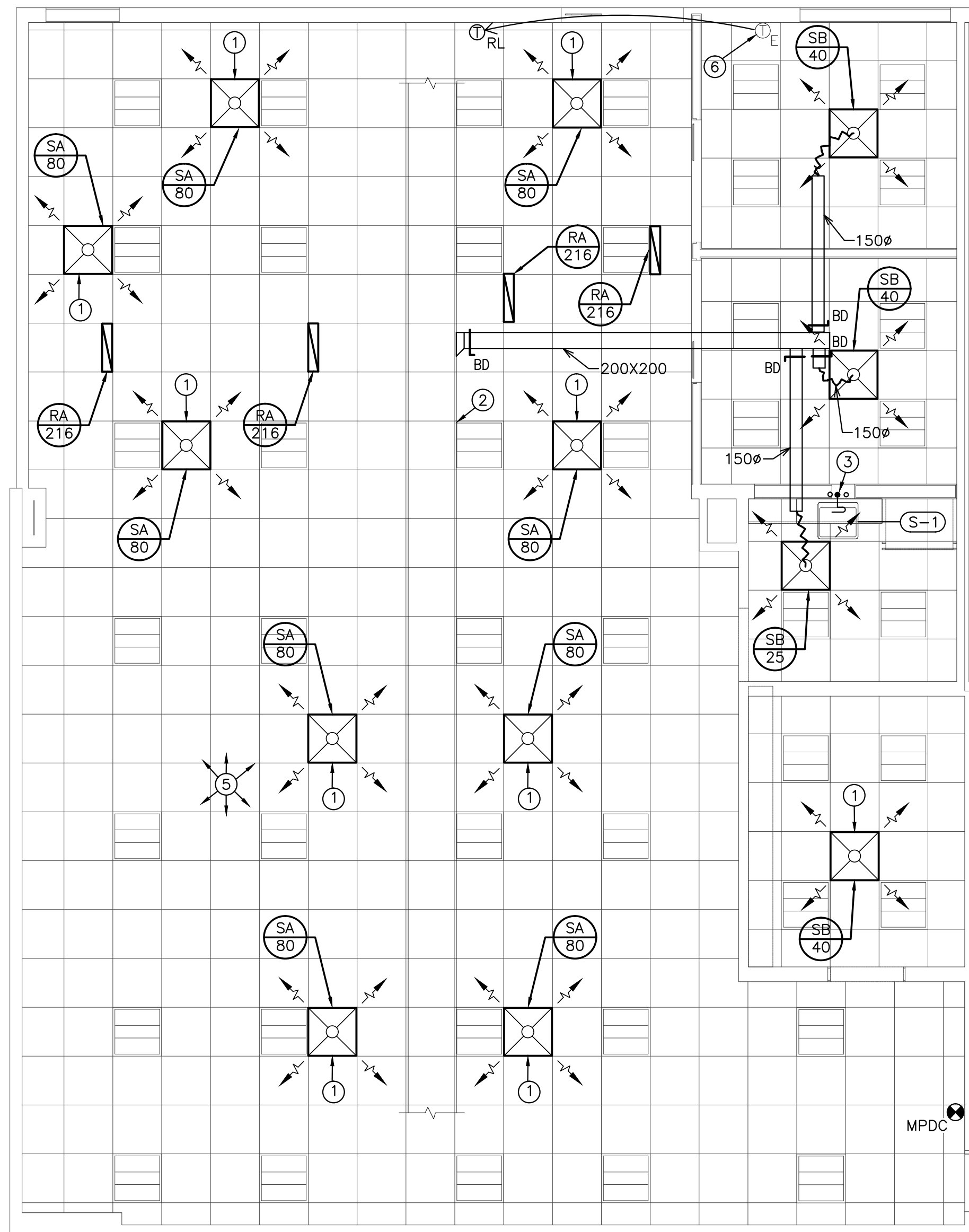
- COORDINATE WITH ARCHITECTURAL TRADE FOR NEW CEILING GRID LAYOUTS. ADJUST EXISTING DIFFUSERS AND GRILLES TO SUIT NEW CEILING GRID AS REQUIRED. COORDINATE WITH ELECTRICAL TRADES.
- THIS CONTRACTOR SHALL VISIT THE SITE TO EVALUATE ALL EXISTING SITE CONDITIONS AS THEY MAY AFFECT THIS WORK. NO EXTRAS WILL BE ALLOWED FOR ANY EFFECTS FROM FAILING TO COMPLETE A COMPREHENSIVE SITE TOUR TO UNDERSTAND AND ACCOUNT FOR THE IMPACT OF EXISTING SITE CONDITIONS ON THE CONTRACT SCOPE OF WORK. REPORT ANY DISCREPANCIES TO ENGINEER.
- OWNER SHALL HAVE FIRST RIGHT OF REFUSAL OF ALL EXISTING EQUIPMENT BEING REMOVED.

DRAWING NOTES:

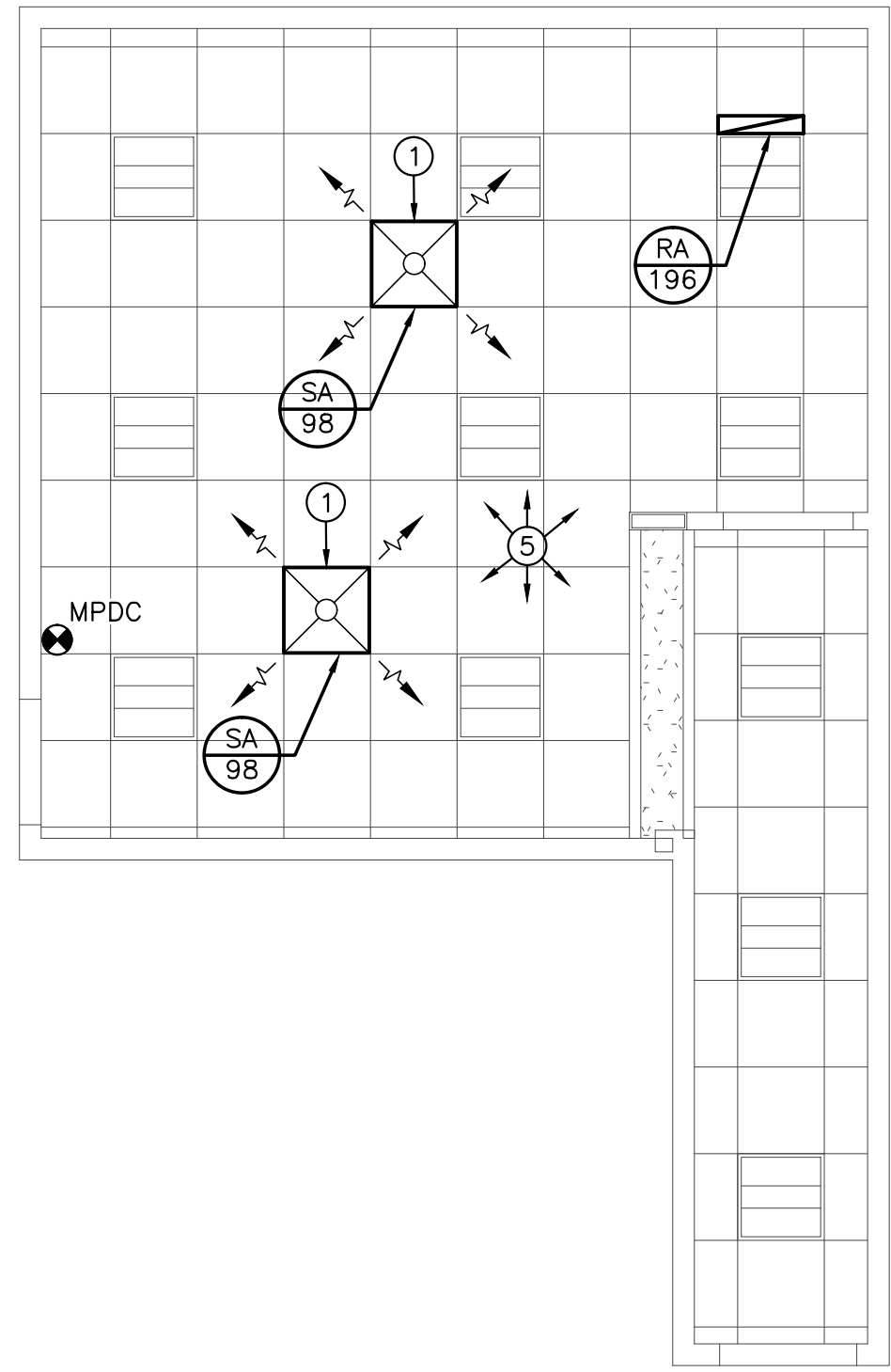
- NEW SUPPLY AIR DIFFUSER. EXISTING FLEX DUCTWORK CAN BE USED TO CONNECT NEW DIFFUSERS WHERE POSSIBLE. INSPECT EXISTING DUCTWORK FOR HOLES/LEAKS. ALSO CONFIRM LENGTH AND SIZE IS ADEQUATE FOR NEW DIFFUSER CONNECTION. PROVIDE NEW FLEX DUCTWORK BACK TO MAIN AS REQUIRED. TYPICAL.
- APPROXIMATE LOCATION OF EXISTING SUPPLY AIR DUCTWORK. CONFIRM EXACT LOCATION, SIZE AND DIRECTION OF FLOW ON SITE.
- NEW SANITARY PIPING TO TIE INTO EXISTING IN SLAB AT THIS APPROXIMATE LOCATION. SAW CUT FLOOR AS REQUIRED TO MAKE TIE IN. NEW VENT, HOT AND COLD WATER PIPING TO TIE INTO EXISTING IN CEILING SPACE AT THIS APPROXIMATE LOCATION. CONFIRM AND COORDINATE ALL EXISTING PIPING LOCATIONS ON SITE. PROVIDE ADDITIONAL PIPE, OFFSETS, VALVES AND FITTINGS AS NEEDED TO MAKE CONNECTION TO EXISTING PIPING SYSTEMS.
- APPROXIMATE LOCATION OF EXISTING SUPPLY AIR DUCTWORK FROM DIFFUSER BEING REMOVED. SEE DEMOLITION PLAN. CONFIRM EXACT LOCATION, SIZE AND DIRECTION OF FLOW ON SITE. PROVIDE ADDITIONAL DUCTWORK AND FITTINGS AS REQUIRED TO MAKE TIE IN.
- THIS CONTRACTOR SHALL IDENTIFY AND EVALUATE EXISTING MECHANICAL HVAC SYSTEM(S) SERVING THIS AREA ON SITE. RE-BALANCE EXISTING SYSTEM AND ALL GRILLES/DIFFUSERS/BALANCING DAMPERS TO MATCH FLOWS INDICATED ON THESE PLANS.
- APPROXIMATE LOCATION OF EXISTING THERMOSTAT. CONFIRM EXACT LOCATION ON SITE. RELOCATE TO NEW LOCATION AS SHOWN. PROVIDE ADDITIONAL WIRING AS REQUIRED.



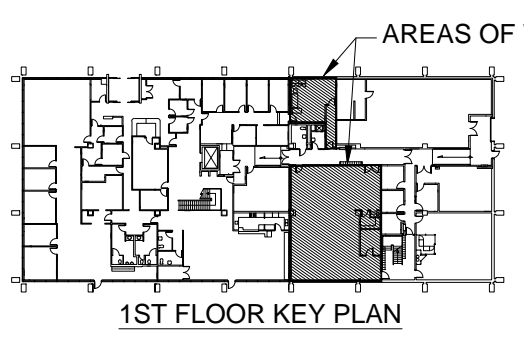
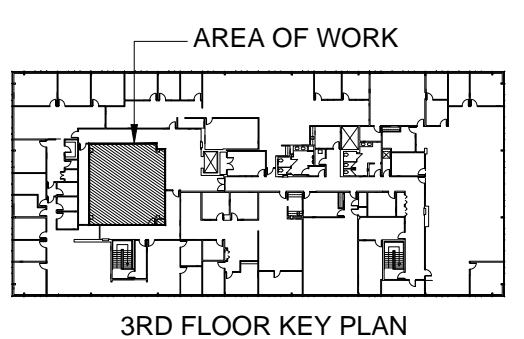
MECHANICAL REVISED LAYOUT - IMAGING ROOM 3RD FLOOR
SCALE: 1:50
0 500 1000 1500 2000 2500



MECHANICAL REVISED LAYOUT - SERVICE CENTER 1ST FLOOR
SCALE: 1:50
0 500 1000 1500 2000 2500



MECHANICAL REVISED LAYOUT - MAIL ROOM 1ST FLOOR
SCALE: 1:50
0 500 1000 1500 2000 2500



powers brown architecture
Architectural Consultant:
Powers Brown Architecture
354 Water St., Suite 212
St. John's, NL A1C 1C4
709.726.3941
www.powersbrown.com

PROJECT TITLE
WORKPLACE NL - INTERIOR FIT-OUT

A PROJECT FOR
WORKPLACE NL

GENERAL NOTES

GENERAL NOTES:

- CONTRACTOR TO VERIFY ALL SITE CONDITIONS, LOCATIONS AND DIMENSIONS PRIOR TO COMMENCING WORK. TRACE OUT ALL SYSTEMS BEFORE INITIATING WORK. COORDINATE SYSTEM SHUT DOWNS & SERVICE INTERRUPTIONS WITH OWNER.
- PROVIDE ALL MATERIALS & LABOUR REQUIRED TO INSTALL ALL REQUIRED COMPONENTS IN ACCORDANCE WITH APPLICABLE CODES, REGULATIONS & DRAWINGS THAT FORM PART OF THIS CONTRACT.
- DO NOT SCALE FROM DRAWINGS.
- ALL DIMENSIONS ARE IN MILLIMETERS UNLESS NOTED OTHERWISE.

PROVINCE OF NEWFOUNDLAND AND LABRADOR
PEG Permit Holder
Newfoundland and Labrador
This Permit Allows
PROFESSIONAL ENGINEERING SERVICES
ROUSSELL APPLBY NEWTON ENGINEERING INC.
To practice Professional Engineering in Newfoundland and Labrador.
Permit No. as issued by APEN 02055
which is valid for the year ... 2024...

MECHANICAL/ELECTRICAL CONSULTANTS

R | A | N
ROUSSELL APPLBY NEWTON ENGINEERING INC
1 Central Steel Suite 101 Hound Peak, NL
T 709.754.9135

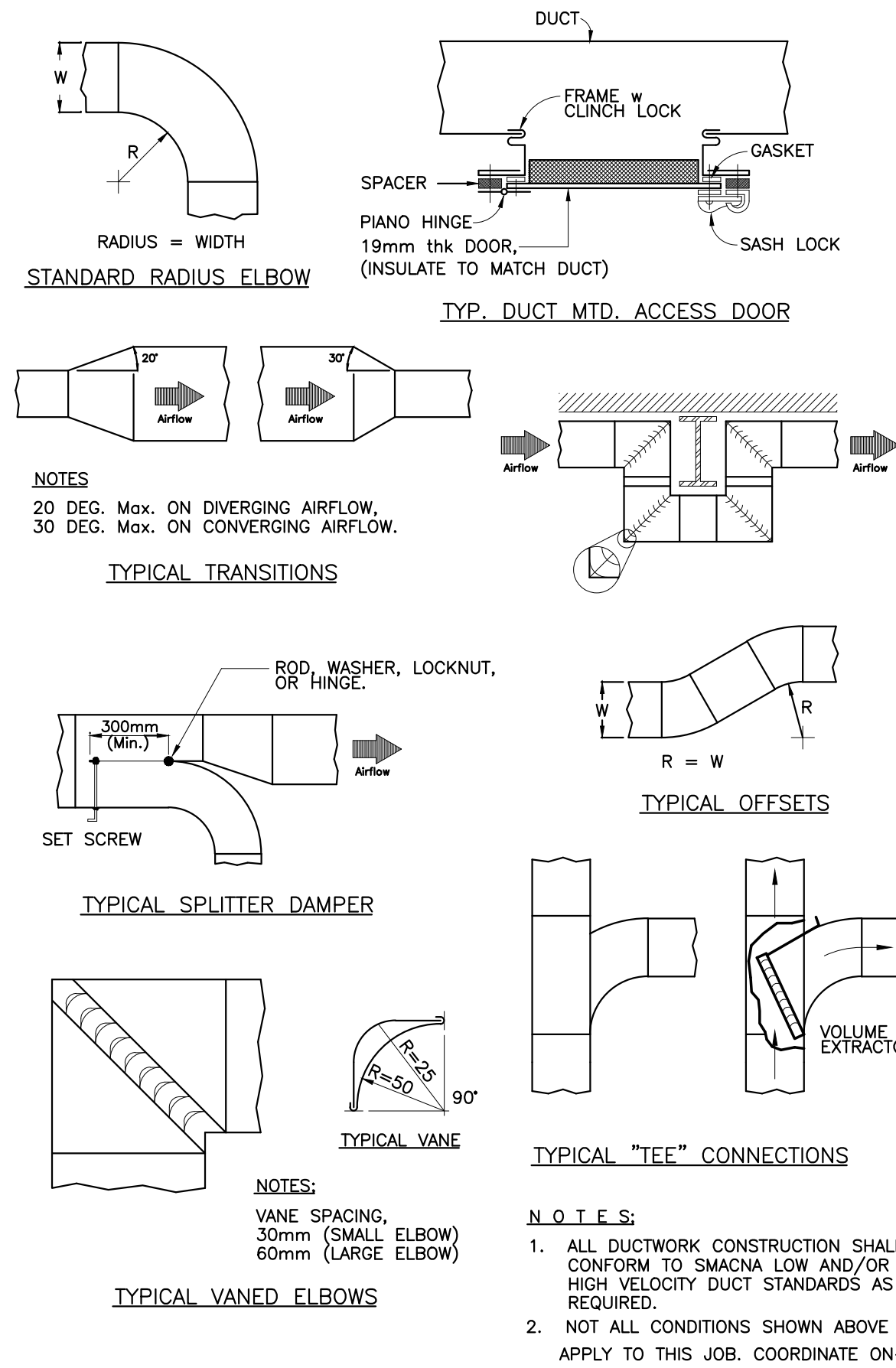
DATE	REVISION
NOV. 6, 2024	ISSUED FOR TENDER

PROJECT NO: 24-032
DRAWN BY: S.P.
CHECKED BY: J.S.

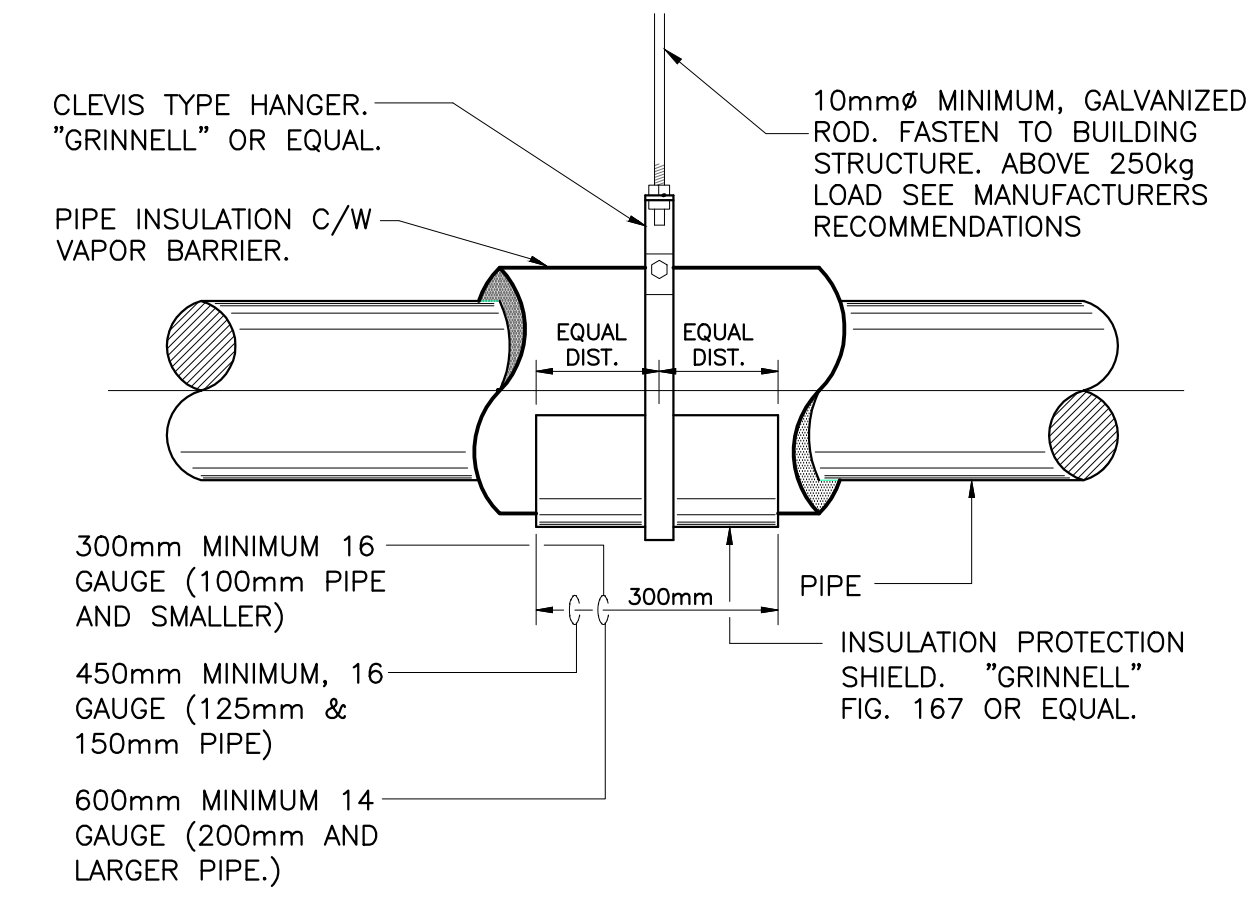
SHEET TITLE
MECHANICAL REVISED LAYOUTS - 1ST FLOOR AND 3RD FLOOR

SEAL **SHEET NUMBER**
M-3

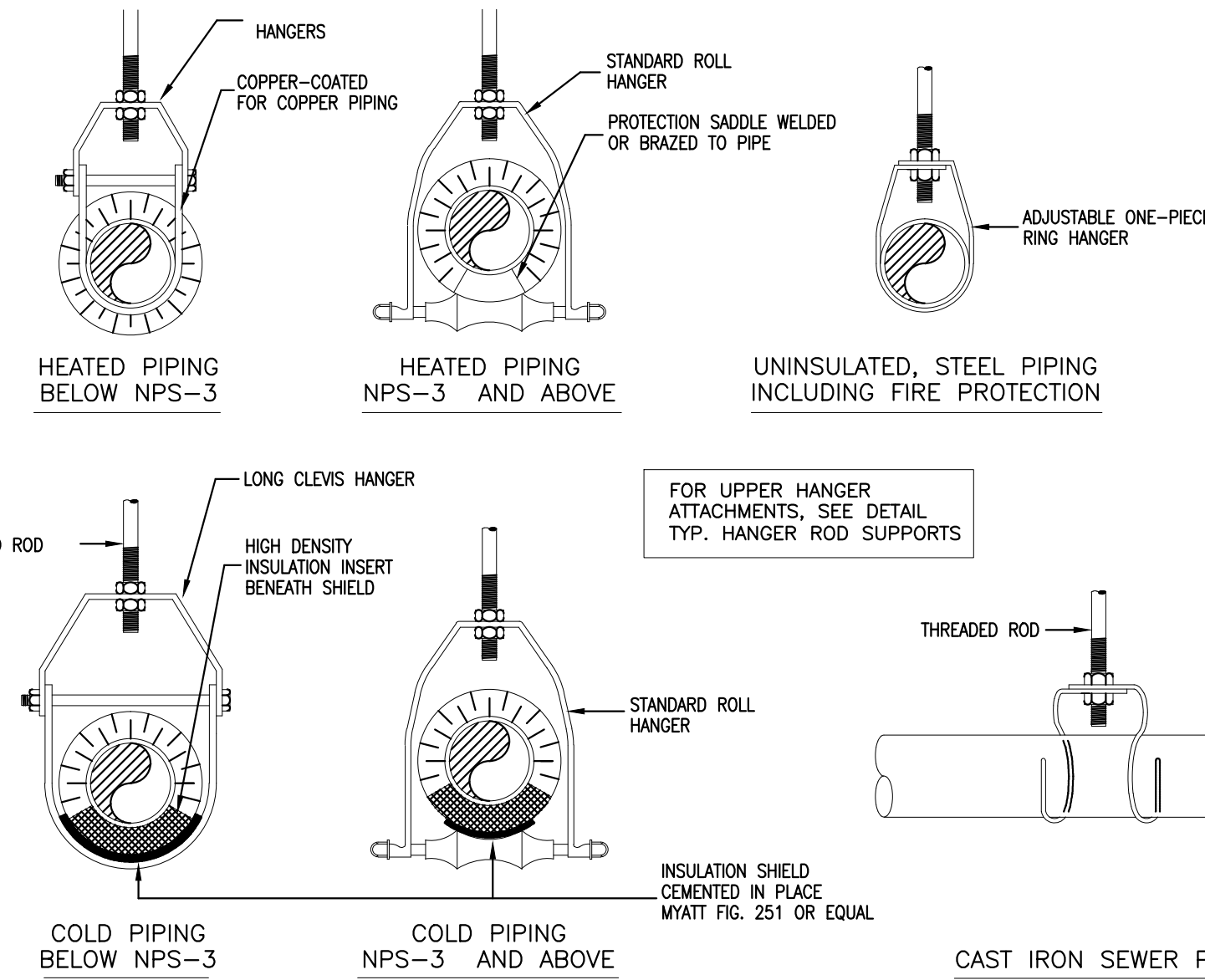
17/12/2018 10:18:41 AM



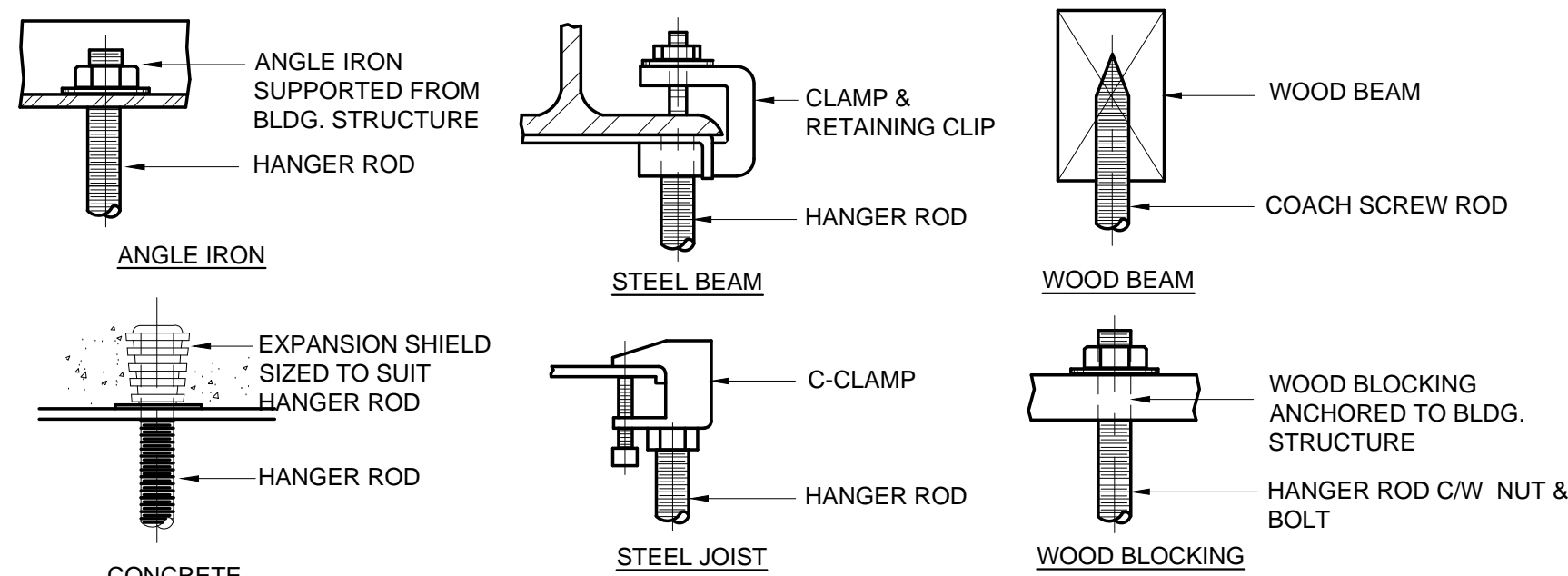
6
M-4



3
M-4

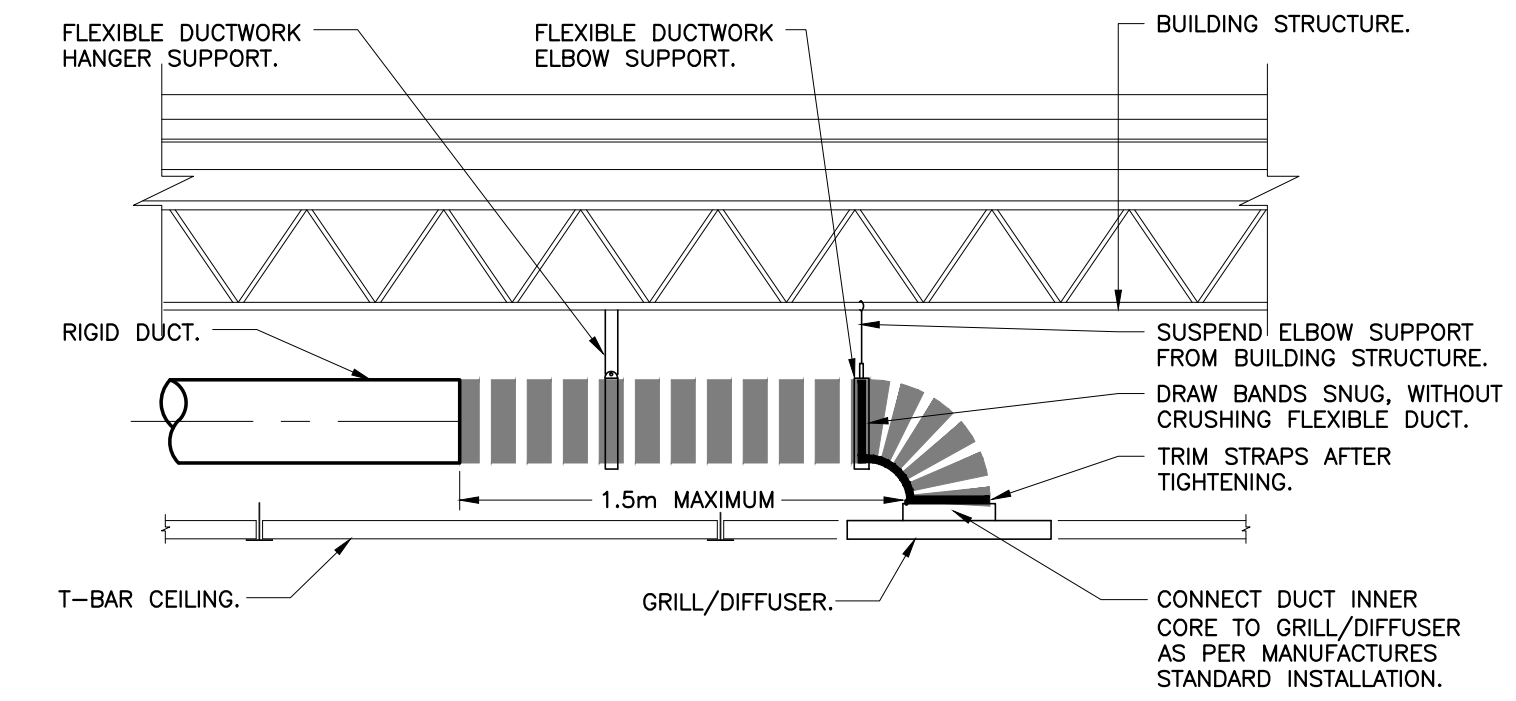


4
M-4



5
M-4

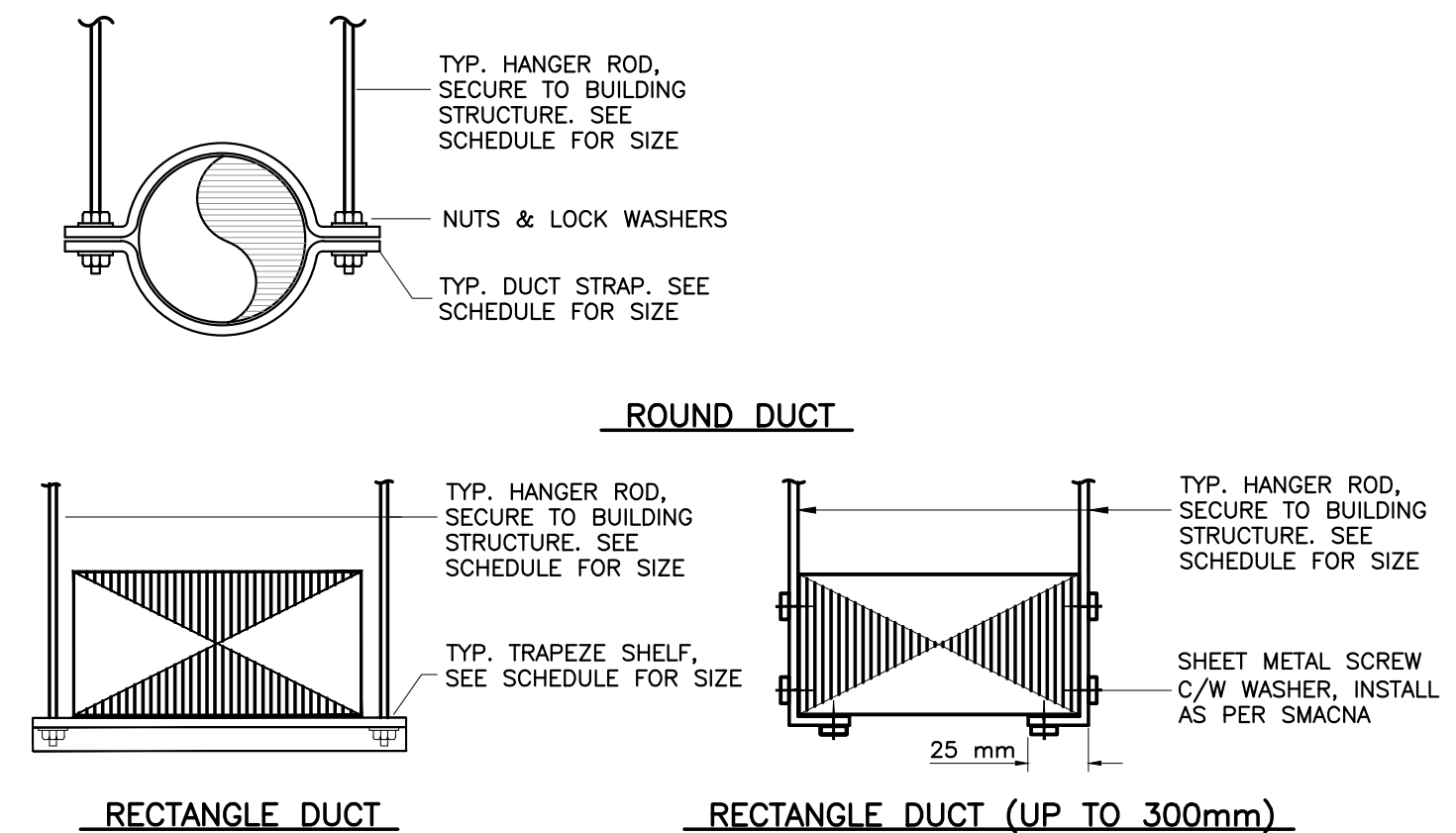
NOTES:
(1) INSTALL FLEXIBLE DUCT ELBOW SUPPORT AT ALL FLEXIBLE CONNECTIONS TO DIFFUSERS AND GRILLES SIZED 150mm TO 400mm ϕ UNLESS OTHERWISE NOTED.
(2) INSTALL FLEXIBLE DUCTWORK HANGERS AT MINIMUM OF 1.5m SPACING, AT LEAST ONE PER DUCT SECTION. MAXIMUM ALLOWABLE SAG IN DUCTWORK IS 50mm.



1
M-4

FLEXIBLE DUCTWORK HANGER & ELBOW SUPPORT DETAIL
N.T.S.

DUCT HANGER SCHEDULE				
RECTANGULAR DUCT				
LONGEST DIMENSION OF DUCT (mm)	HANGER ROD (mm ϕ)	STRAP HANGERS (mm)	TRAPEZE SHELF HANGERS (mm)	MAX. SPACING (mm)
UP TO 457	3.26 WIRE	25 x 1.29 tk.	25 x 25 x 3.2	3050
483 - 750	3.26 WIRE	25 x 1.29 tk.	25 x 25 x 3.2	3050
787 - 1067	6.35	25 x 1.29 tk.	40 x 40 x 3.2	3050
1092 - 1524	9.5	25 x 1.29 tk.	40 x 40 x 3.2	3050
1550 - 2134	9.5	40 x 1.29 tk.	50 x 50 x 3.2	2438
ROUND DUCT				
DUCT DIAMETER (mm ϕ)	HANGER ROD (mm ϕ)	STRAP HANGERS (mm)	No. OF HANGERS	MAX. SPACING (mm)
UP TO 457	3.26 WIRE	25 x 1.29 tk.	1	3050
483 - 750	---	25 x 2.05 tk.	1	3050
787 - 1067	---	50 x 1.29 tk.	1	3050



2
M-4

TYPICAL DUCT SUPPORT DETAILS
N.T.S.

PROJECT TITLE
WORKPLACE NL - INTERIOR FIT-OUT

A PROJECT FOR
WORKPLACE NL

- GENERAL NOTES:**
- CONTRACTOR TO VERIFY ALL SITE CONDITIONS, LOCATIONS AND DIMENSIONS PRIOR TO COMMENCING WORK. TRACE OUT ALL SYSTEMS BEFORE INITIATING WORK. COORDINATE SYSTEM SHUT DOWNS & SERVICE INTERRUPTIONS WITH OWNER.
 - PROVIDE ALL MATERIALS & LABOUR REQUIRED TO INSTALL ALL REQUIRED COMPONENTS IN ACCORDANCE WITH APPLICABLE CODES, REGULATIONS & DRAWINGS THAT FORM PART OF THIS CONTRACT.
 - DO NOT SCALE FROM DRAWINGS.
 - ALL DIMENSIONS ARE IN MILLIMETERS UNLESS NOTED OTHERWISE.

PROVINCE OF NEWFOUNDLAND AND LABRADOR
PEG Permit Holder
Newfoundland and Labrador
Professional Engineer and Geoscientist
ROUSELL APPLBY NEWTON ENGINEERING INC.
To practice Professional Engineering in Newfoundland and Labrador, Permit No. as issued by APEGNL P0255 which is valid for the year 2024.

MECHANICAL/ELECTRICAL CONSULTANTS

R | A | N
ROWSSELL APPLBY NEWTON ENGINEERING INC
1 Commercial Street Suite 101 Mount Pearl, NL
T 709.754.9135

Δ	DATE	REVISION
0	NOV. 6, 2024	ISSUED FOR TENDER

PROJECT NO: 24-032
DRAWN BY: S.P.
CHECKED BY: J.S.

SHEET TITLE
MECHANICAL DETAILS

SEAL **SHEET NUMBER**

REGISTERED PROFESSIONAL ENGINEER
PROVINCE OF NEWFOUNDLAND AND LABRADOR
ROUSELL APPLBY NEWTON ENGINEERING INC
SIGNATURE
NOV. 6, 2024
DATE
NEWFOUNDLAND & LABRADOR

M-4

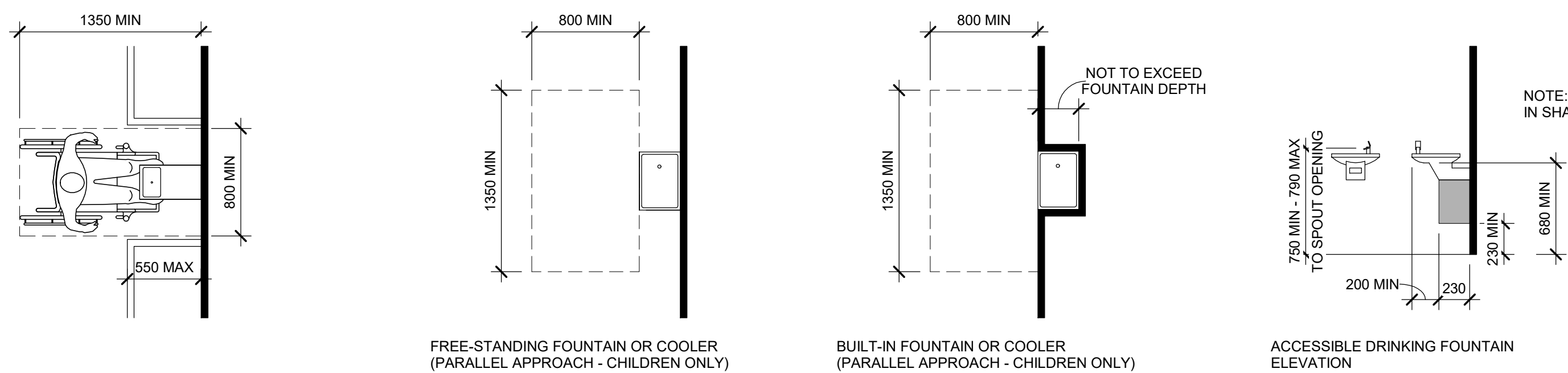
PROJECT TITLE

WORKPLACE NL - INTERIOR FIT-OUT
 148 FOREST ROAD
 ST. JOHN'S, NL A1A 1E6

A PROJECT FOR
WORKPLACE NL

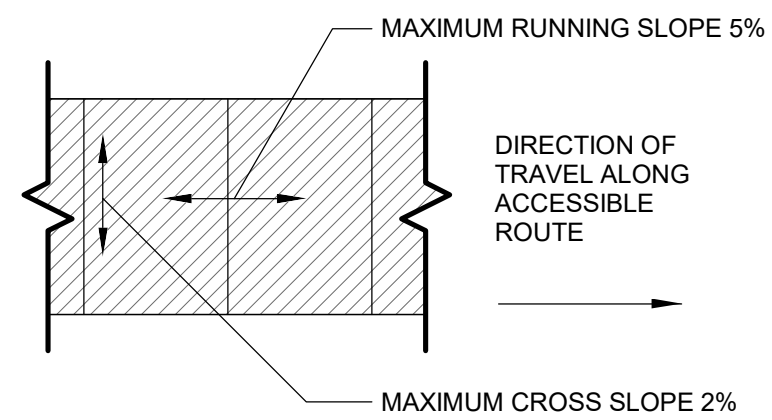
GENERAL NOTES

- A DIMENSIONS BASED ON CSA ACCESSIBILITY DESIGN FOR THE BUILT ENVIRONMENT 2020.
 - B NAMES OF BUILDING CODE FROM DIFFERENT PROVINCES:
 - ONTARIO BUILDING CODE (OBC)
 - ALBERTA BUILDING CODE (ABC)
 - QUEBEC CONSTRUCTION CODE AND SAFETY CODE
 - BRITISH COLUMBIA BUILDING CODE (BCBC)
 - NATIONAL BUILDING CODE OF CANADA (NBCC)
 - ** DIMENSIONS WILL VARY BETWEEN THE NEWFOUNDLAND & LABRADOR ACCESSIBILITY ACT. PROJECT LOCATIONS WILL DICTATE WHICH GUIDELINES TO USE.
- TYPE 1 GRAB BAR - STRAIGHT
 TYPE 2 GRAB BAR - CONTINUOUS "L" SHAPED



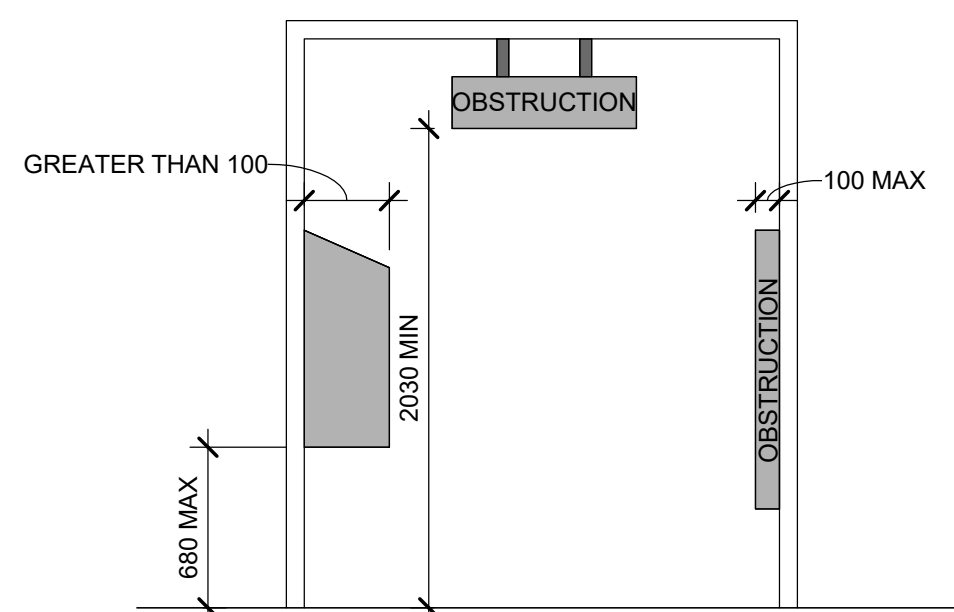
DRINKING FOUNTAIN (PLAN) - CSA

SCALE: 3/8" = 1'-0"



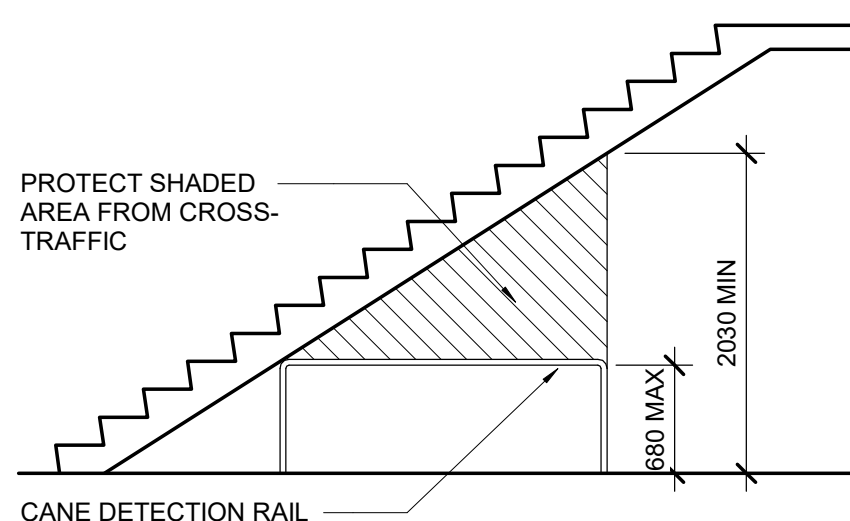
ACCESSIBLE ROUTES - CSA

SCALE: 3/8" = 1'-0"



PROTRUSION HEIGHTS & CLEARANCES - CSA

SCALE: 3/8" = 1'-0"

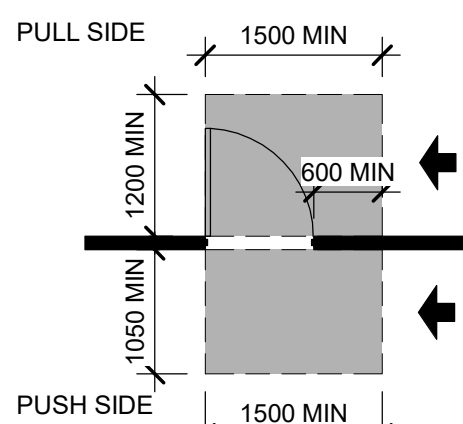


OVERHEAD HAZARDS - CSA

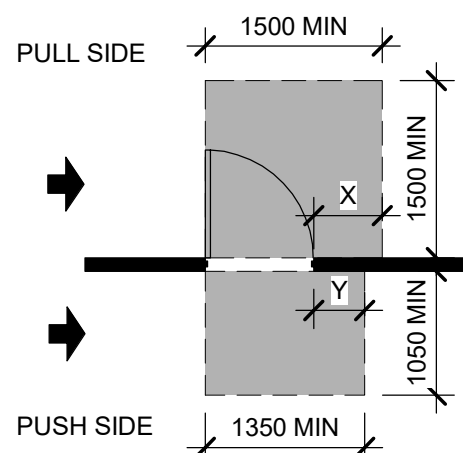
SCALE: 1/4" = 1'-0"



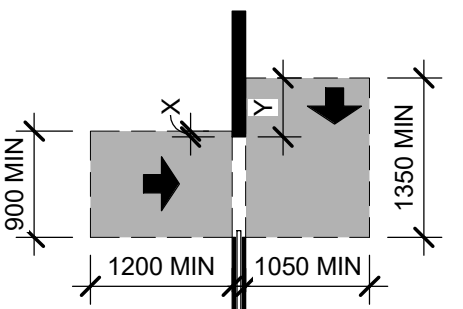
(A) FRONT APPROACHES - SWINGING DOORS



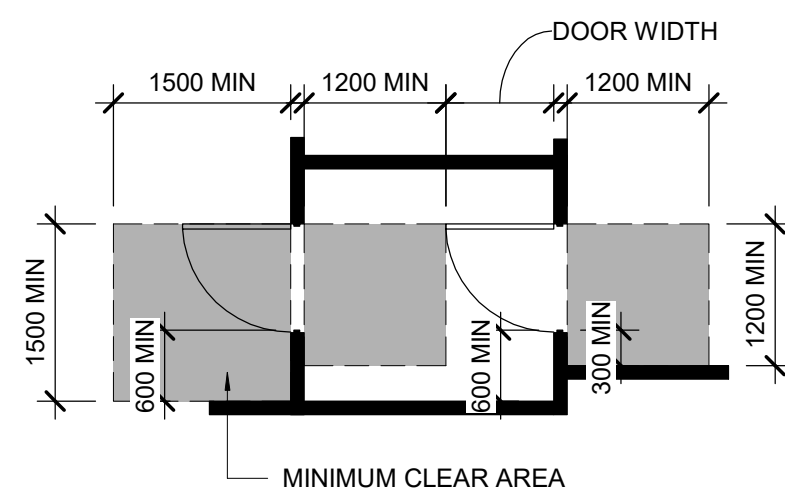
(B) LATCH EDGE APPROACHES - SWINGING DOORS



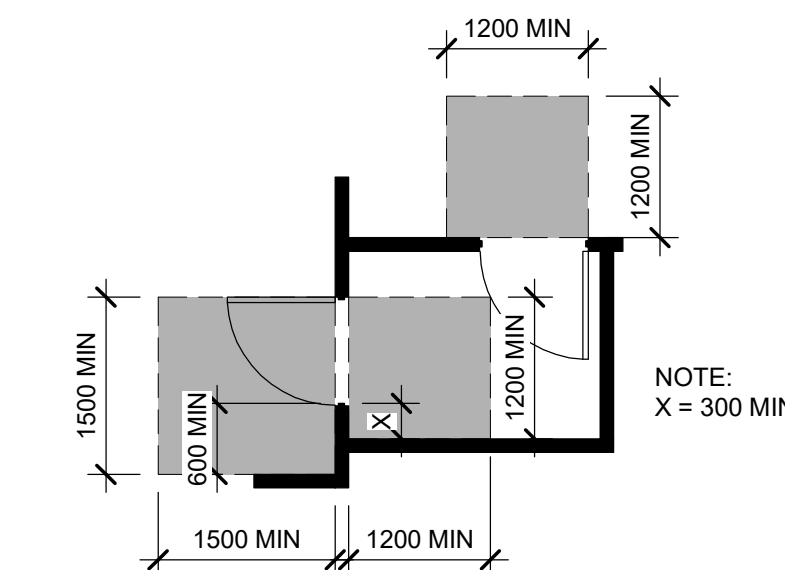
(C) HINGE EDGE APPROACHES - SWINGING DOORS



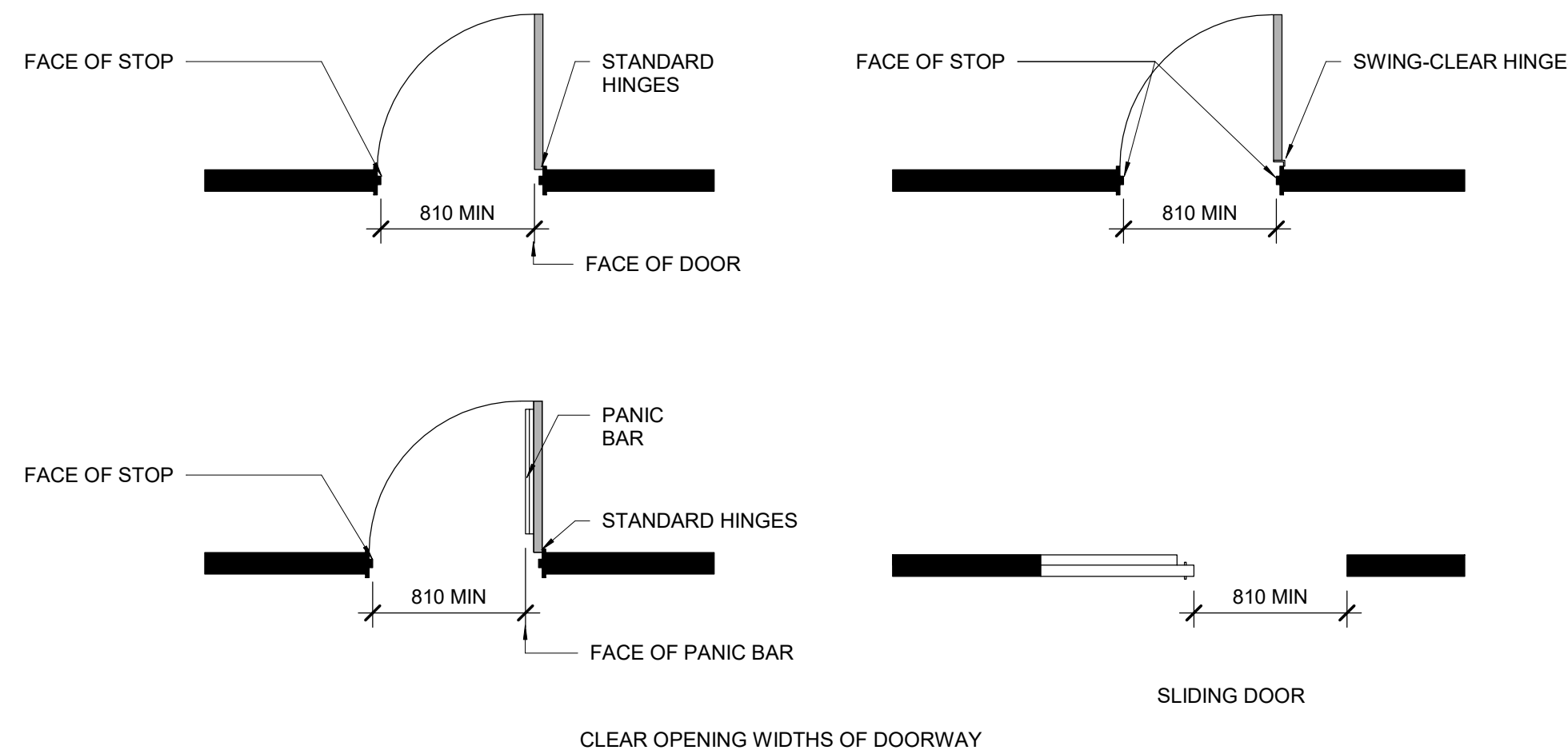
(D) APPROACHES - SLIDING DOORS



(A) MANEUVERING AREA AT DOOR IN SERIES

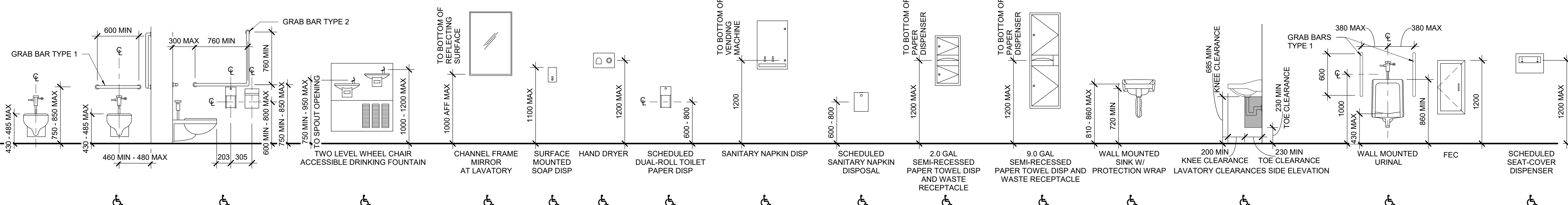


(B) MANEUVERING AREA AT DOOR IN SERIES



DOOR - CLEAR WIDTH - CSA

SCALE: 3/8" = 1'-0"



ACCESSORY MOUNTING HEIGHTS - TYP - CSA

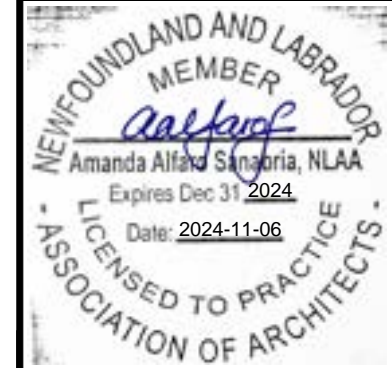
SCALE: 3/8" = 1'-0"

DATE	REVISION
2024-08-06	ISSUE FOR PERMIT
2024-11-06	ISSUE FOR TENDER

PROJECT NO: 243034
 DRAWN BY: PBA
 CHECKED BY: CS AK
 SHEET NAME

ACCESSIBILITY CODE SHEET (CSA)

SEAL SHEET NUMBER



G006

Autodesk Docs://243034 Workplace NL Interior Renovation/243034_ARCH_CS_R23.rvt 2024-11-06 3:40:14 PM

LIGHTING

- LIGHTING FIXTURE, "A" INDICATES TYPE. -SUBSCRIPT "NL" INDICATES UNSWITCHED NIGHT LIGHT.
- AREA LIGHTING CIRCUIT TAG: PANEL "A", CIRCUIT #1
- LIGHTING FIXTURE, WALL MOUNTED.
- SINGLE POLE TOGGLE SWITCH, 120V UNLESS INDICATED OTHERWISE. -SUBSCRIPT "d" INDICATES THIS SWITCH CONTROLS LIGHTS TAGGED THE SAME. THIS APPLIES TO ALL SWITCHES.
- THREE OR FOUR WAY TOGGLE SWITCH, 120V UNLESS OTHERWISE INDICATED.
- COMBINATION 0-10V DIMMER AND TOGGLE SWITCH, 120V. RUN 0-10V CONTROL WIRING TO ASSOCIATED LIGHTS.
- COMBINATION VACANCY SENSOR AND TOGGLE SWITCH, 120V.
- EXIT LIGHTING FIXTURE, RUNNING MAN TYPE, WALL MOUNTED, 120V, C/W INTERNAL BATTERY SUFFICIENT FOR 90 MINUTES. C/W ARROW CHEVRONS AS SHOWN. A LINE WITHOUT AN ARROW INDICATES A SIDE-MOUNTED SIGN, WITH THE LINE INDICATING THE FACE.
- EMERGENCY LIGHTING BATTERY PACK UNIT, 120V IN, 24V OUT, 180W RATED FOR 90 MINUTES. C/W AUTO-TEST FUNCTION.
- DOUBLE REMOTE HEAD, 6W EACH, 24V, TO BE WIRED TO BATTERY PACK WITH #10 AWG WIRE. DIVIDE EVENLY BETWEEN BATTERY PACKS. "WP" INDICATES EXTERIOR RATED DEVICE.

HEATING

- ELECTRIC BASEBOARD OR CONVECTION HEATER.
- RECESSED WALL FAN HEATER.
- HEATER IDENTIFIER TAG, "BB-1000" INDICATES HEATER TYPE, "A-2,4" INDICATES CIRCUIT.
- ELECTRIC LINE VOLTAGE THERMOSTAT, 30A, 240V, PROGRAMMABLE, 5/2 DAY PROGRAM, 4 PROGRAMS PER DAY. - SUBSCRIPT "R" INDICATES 120V REVERSE ACTING, FOR CONTROL OF LOCAL LINE VOLTAGE EXHAUST FAN.

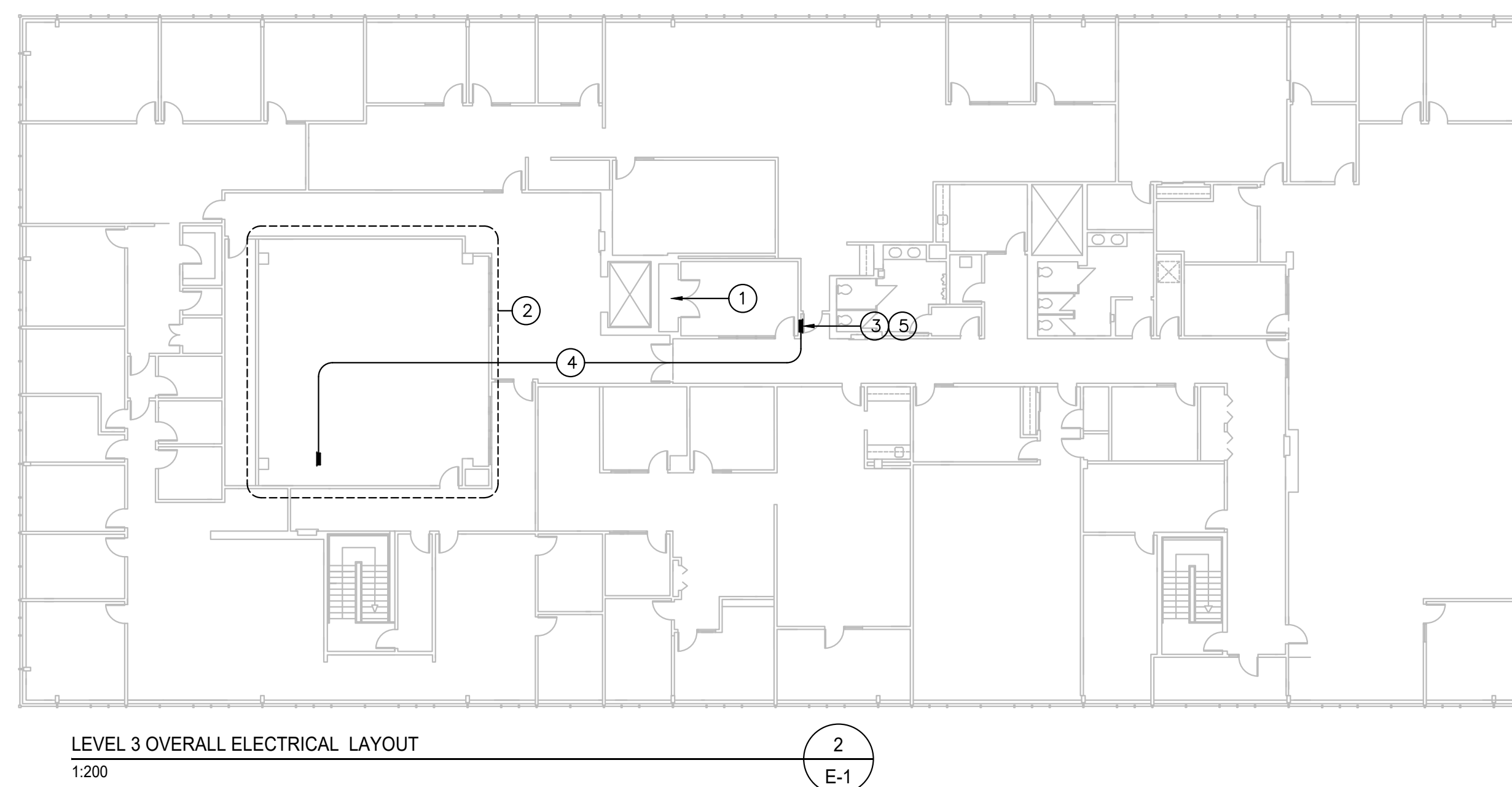
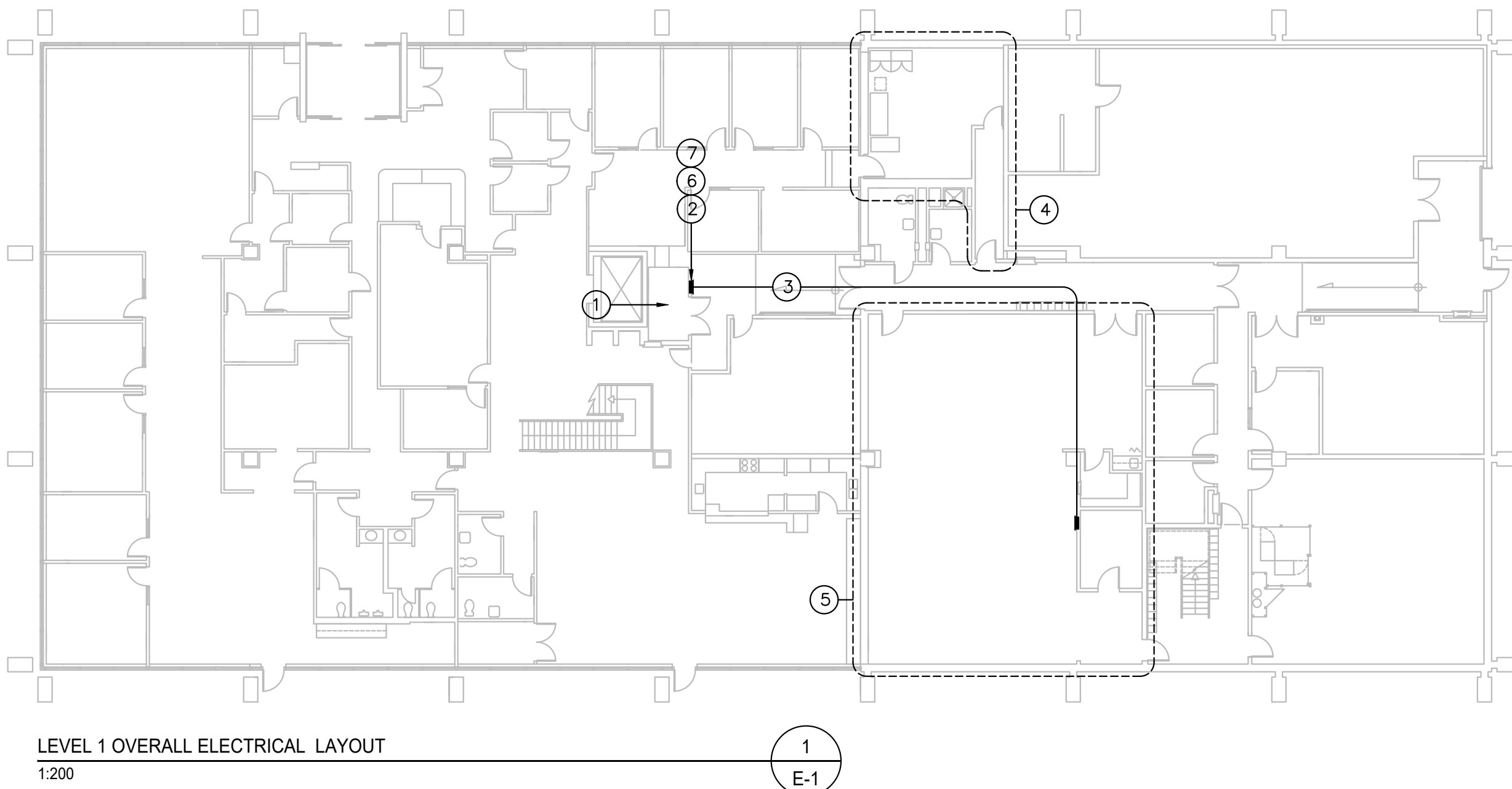
SYMBOL LEGEND

POWER & COMMUNICATIONS

- DUPLEX RECEPTACLE, CSA 5-20R
- DUPLEX RECEPTACLE, CSA 5-20R, GFI, MOUNTED 150mm ABOVE COUNTER HEIGHT.
- QUAD-PLEX RECEPTACLE, CSA 5-15R
- RECEPTACLE SUBSCRIPTS**
 - "C" INDICATES WALL MOUNTED ABOVE COUNTER.
 - "GFI" INDICATES G.F.I. TYPE
 - "WP" INDICATES IN-USE WEATHER-PROOF TYPE
 - "20A" INDICATES 20A T-SLOT RECEPTACLE (5-20R).
 - "FR" INDICATES RECEPTACLE DEDICATED TO REFRIGERATOR AND LABELLED AS SUCH.
 - "MW" INDICATES RECEPTACLE DEDICATED TO MICROWAVE AND LABELLED AS SUCH, REFER TO MILLWORK DRAWINGS FOR MOUNTING HEIGHT.
 - "DW" INDICATES POWER DEDICATED TO DISHWASHER AND LABELLED AS SUCH.
 - "MP" DEDICATED WEATHER-PROOF RECEPTACLE C/W IN-USE COVER FOR ROOF MOUNTED MECHANICAL EQUIP FOR MAINTENANCE, G.F.I. TYPE, 5-20R CONFIGURATION, MOUNTED MINIMUM 750mm ABOVE ROOFING. MOUNTING METHOD IS DELEGATED DESIGN TO CONTRACTOR, BUT SHALL CONFORM TO ALL OTHER REQUIREMENTS OF THIS CONTRACT.
 - "CL" INDICATES MOUNTED FLUSH IN CEILING FACING DOWN.
 - "SP/GFI" INDICATES SURGE PROTECTION TYPE RECEPTACLE WITH DEAD-FRONT GFI DEVICE INSTALLED DIRECTLY UPSTREAM, DIRECTLY ABOVE RECEPTACLE.
- DUAL DATA OUTLET. MOUNT SINGLE GANG BOX 450mm ABOVE FINISHED FLOOR. RUN 2 FT6 CAT6 IN 27mm CONDUIT FROM THE OUTLET TO THE TELECOM BACKBOARD. TERMINATE WITH ASSOCIATED CONNECTORS WITH 5m COILED SLACK.
- TELEPHONE OUTLET. MOUNT SINGLE GANG BOX 450mm ABOVE FINISHED FLOOR. RUN FT6 CAT6 IN 27mm CONDUIT FROM THE OUTLET TO THE TELECOM BACKBOARD. TERMINATE WITH ASSOCIATED CONNECTORS WITH 5m COILED SLACK.
- NONFUSED DISCONNECT SWITCH
- POWER AND COMMUNICATIONS POLE, DUAL CHANNEL, FROM CEILING INTO SYSTEMS FURNITURE. SYSTEMS FURNITURE PROVIDED BY OWNER. FOR THE PURPOSES OF BIDDING, PROVIDE WIRING FROM CEILING TO FLOOR + 3m, AND ASSUME FURNITURE IS EQUIPPED WITH CONNECTING WHIPS. POWER WIRING AS PER CIRCUITING ON FLOOR PLANS, DATA WIRING: 8 CAT6 DROPS PER POLE.
- WIRELESS ACCESS POINT, SUPPLY AND INSTALL SINGLE DATA OUTLET FLUSH IN CEILING.
- PAGING SPEAKER, CONNECT TO EXISTING SPEAKER CIRCUIT.

FIRE ALARM

- FIRE ALARM MANUAL PULL STATION
- SMOKE DETECTOR, CEILING MOUNTED.
- DUCT MOUNTED SMOKE DETECTOR C/W SAMPLING TUBE, TUBE LENGTH TO BE CONFIRMED ON SITE. WHERE INSTALLED ADJACENT TO SMOKE/FIRE DAMPERS, INSTALL ON DOWNSTREAM SIDE OF DAMPER.
- INDICATES FIRE ALARM BELL.
- FIRE ALARM STROBE LIGHT, WALL MOUNTED



KEYNOTES:

- 1 LEVEL 1 DATA CLOSET. ALL COMMUNICATIONS CABLING ASSOCIATED WITH LEVEL 1 RENOVATIONS TO LAND HERE.
- 2 PANEL 1RC, EXISTING TO REMAIN. SUPPLY AND INSTALL NEW 100A, 3P, 208V CIRCUIT BREAKER TO SUPPLY POWER TO NEW PANEL 1RC1. REMOVE THREE EXISTING SPARE 10 BREAKERS TO MAKE SPACE FOR THIS PURPOSE, TURN OVER TO OWNER.
- 3 SUPPLY AND INSTALL NEW PANEL 1RC1. CONNECT TO UPSTREAM CIRCUIT BREAKER WITH 4#3 AWG RW90 + 1 #6 TW BOND IN 35mm EMT CONDUIT.
- 4 AREA OF WORK; POSTAL ROOM. REFER TO DETAIL 2 ON EACH OF DRAWINGS E-2, E-3, E-4.
- 5 AREA OF WORK; SERVICE CENTER. REFER TO DETAIL 1 ON EACH OF DRAWINGS E-2, E-3, E-4.
- 6 USE EXISTING SPARE 15A, 1P CIRCUIT BREAKERS IN PANEL 1RC FOR NEW ELECTRICAL ELEMENTS IN THE POST OFFICE. REFER TO DETAIL 2 ON DRAWINGS E-3 AND E-4. SUPPLY AND INSTALL 2 NEW LOCK-ON DEVICES IN THIS PANEL; ONE FOR POST OFFICE EXIT LIGHTING, AND ONE FOR POST OFFICE EMERGENCY LIGHTING
- 7 CUT, PATCH, REPAIR, AND PAINT DRYWALL ABOVE EXISTING PANEL TO FACILITATE THE INSTALLATION OF NEW CONDUITS TO CEILING SPACE.

KEYNOTES:

- 1 LEVEL 3 DATA CLOSET. ALL COMMUNICATIONS CABLING ASSOCIATED WITH LEVEL 3 RENOVATIONS TO LAND HERE.
- 2 AREA OF WORK; IMAGING ROOM. REFER TO DETAIL 3 ON EACH OF DRAWINGS E-2, E-3, E-4.
- 3 PANEL 3RA, EXISTING TO REMAIN, SIEMENS TYPE S3, 225A. SUPPLY AND INSTALL NEW 100A, 3P CIRCUIT BREAKER TO FEED NEW PANEL 3RA1.
- 4 SUPPLY AND INSTALL NEW PANEL 3RA1. CONNECT TO UPSTREAM CIRCUIT BREAKER WITH 4#3 AWG RW90 + 1 #6 TW BOND IN 35mm EMT CONDUIT.
- 5 CUT, PATCH, REPAIR, AND PAINT DRYWALL ABOVE EXISTING PANEL TO FACILITATE THE INSTALLATION OF NEW CONDUITS TO CEILING SPACE.

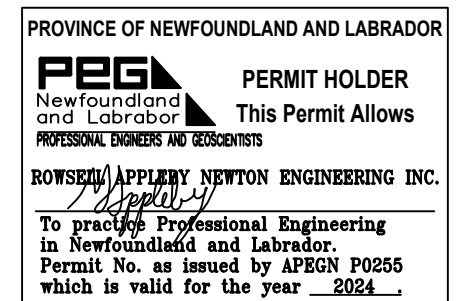
powers brown architecture
 Architectural Consultant:
 Powers Brown Architecture
 354 Water Street,
 Suite 402
 St. John's, NL A1C 1C4
 709.726.3941
 www.powersbrown.com

PROJECT TITLE

WORKPLACE NL - INTERIOR FIT-OUT
 PROJECT ADDRESS

A PROJECT FOR
WORKPLACE NL

PLAN LEGEND



MECHANICAL/ELECTRICAL CONSULTANTS

R | A | N

ROWSELL APPELBY NEWTON ENGINEERING INC.
 1 Centennial Street Suite 101 Mount Pearl, NL
 T 709.754.9135

Δ	DATE	REVISION
1	NOV 6, 2024	ISSUED FOR TENDER

PROJECT NO: 24-032
 DRAWN BY: JWF, MRA
 CHECKED BY: MRA

ELECTRICAL LEGEND AND OVERALL PLAN

SEAL SHEET NUMBER



E-1

PROJECT TITLE

WORKPLACE NL - INTERIOR FIT-OUT

PROJECT ADDRESS

A PROJECT FOR
WORKPLACE NL

PLAN LEGEND



MECHANICAL/ELECTRICAL CONSULTANTS

R|A|N

ROWSELL APPELEY NEWTON ENGINEERING INC.
 1 Centennial Street Suite 101 Mount Pearl, NL
 T 709-754-9135

Δ	DATE	REVISION
1	NOV 6, 2024	ISSUED FOR TENDER

PROJECT NO: 24-032
 DRAWN BY: JWF, MRA
 CHECKED BY: MRA

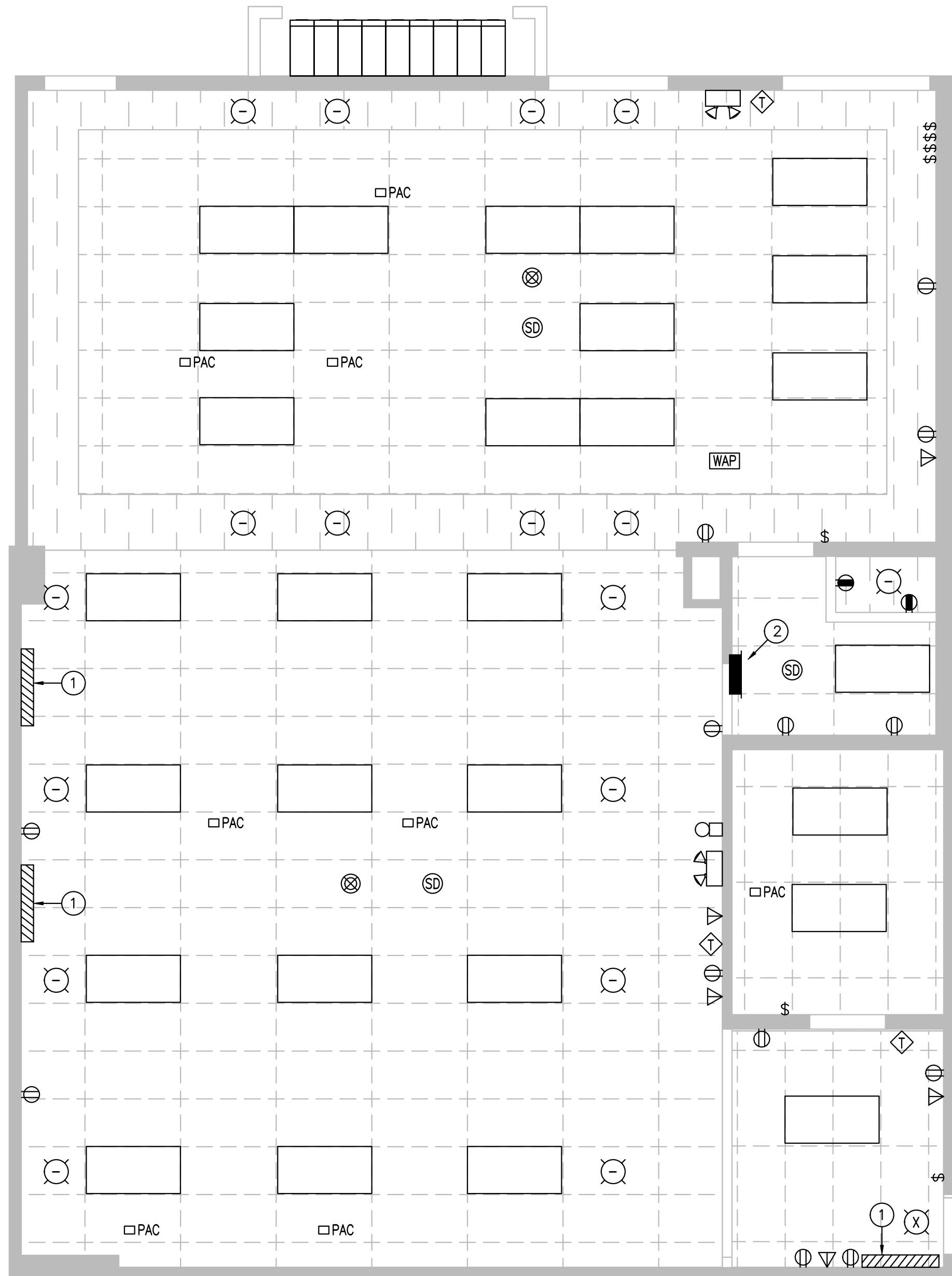
SHEET NAME

**ELECTRICAL
NEW FLOOR
PLANS**

SEAL SHEET NUMBER



E-2



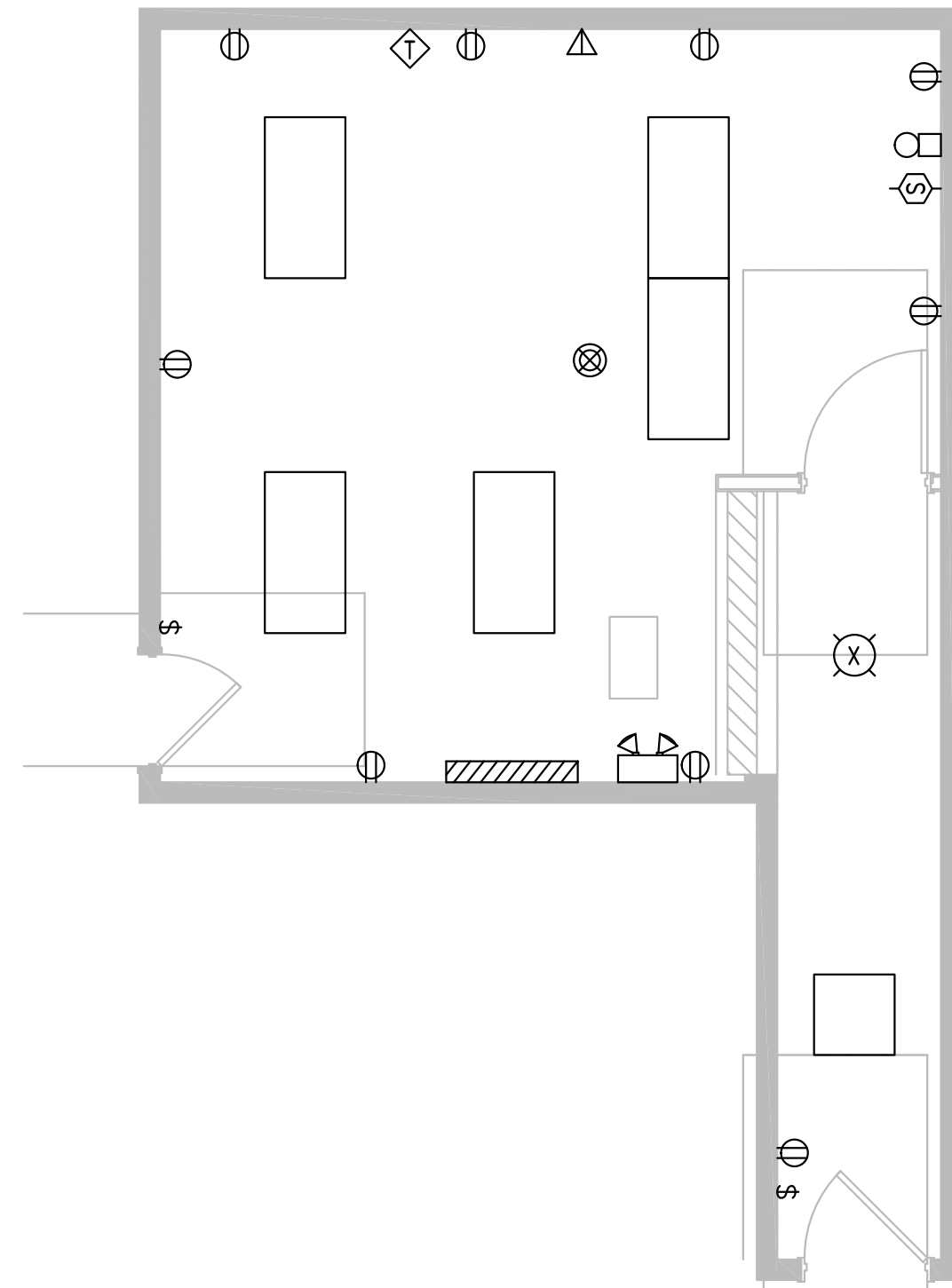
SERVICE CENTER ELECTRICAL DEMOLITION PLAN
1:50
0 500 1000 1500 2000 2500

KEYNOTES:

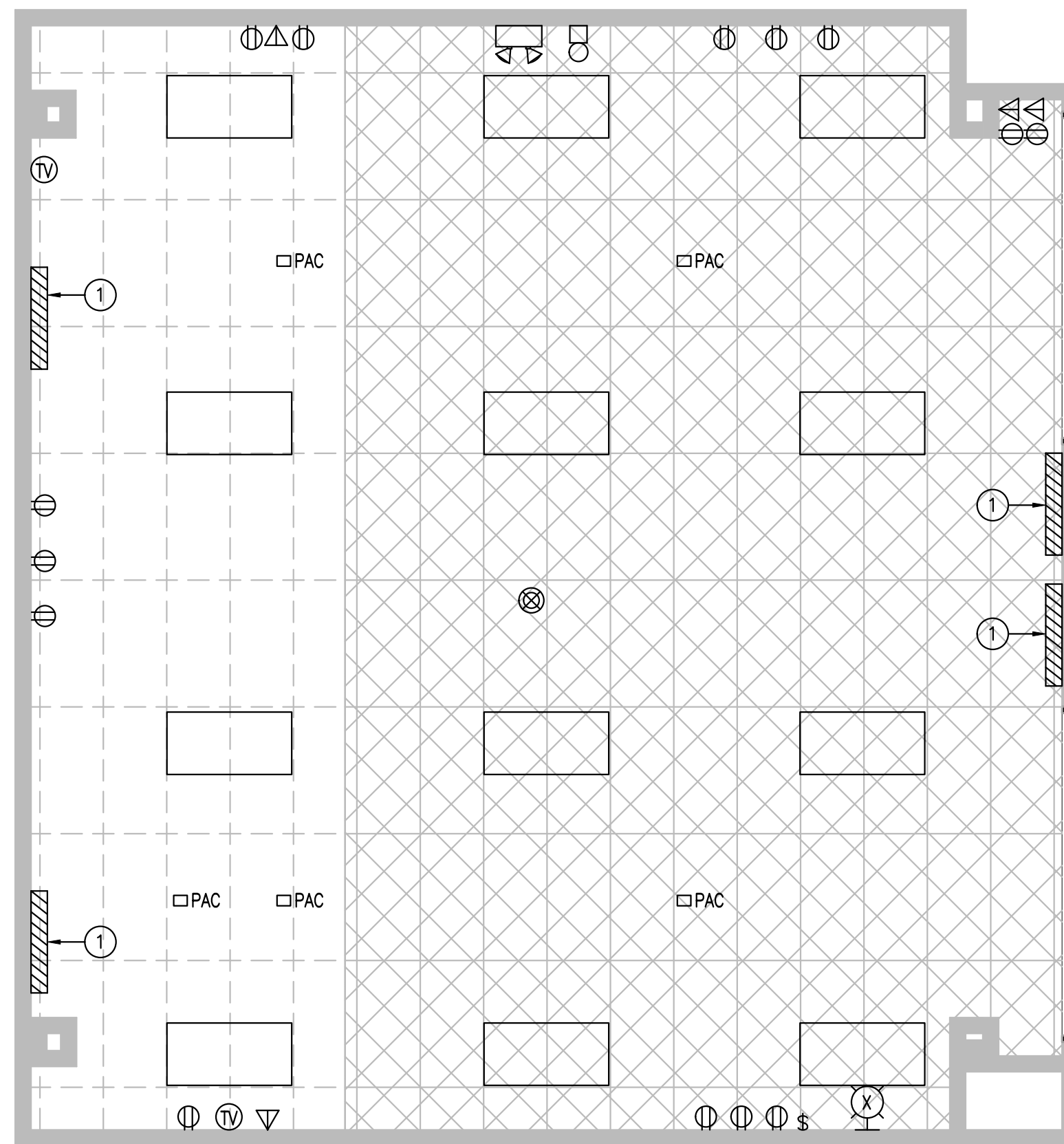
- ① HEATERS ARE EXISTING TO E RELOCATED. FOR THE PURPOSES OF BIDDING, ASSUME ALL HEATERS REQUIRE 3#10 AWG RW90 + 1#10 TW BOND IN 21mm CONDUIT TO BE EXTENDED TO NEW LOCATION.
- ② EXISTING ELECTRICAL PANEL TO BE RELOCATED. SUPPLY AND INSTALL JUNCTION BOX IN CEILING SPACE ABOVE THIS LOCATION TO SPLICE AND EXTEND EXISTING CIRCUITS TO NEW LOCATION. FOR THE PURPOSES OF BIDDING, ASSUME THE PANEL CONTAINS: 39 x 15A, 1P CIRCUITS, EACH WIRED WITH #12AWG RW90 AND DEDICATED NEUTRALS AND BONDS; 1 X 20A, 1P CIRCUIT, WIRED WITH #12 AWG RW90, DEDICATED NEUTRAL AND BOND; AND 1 X 20A, 2P CIRCUIT, WIRED WITH 2#12 AWG RW90 AND DEDICATED BOND. CUT, PATCH, AND REPAIR WALL AS NECESSARY.

GENERAL NOTES:

1. EXCEPT WHERE OTHERWISE INDICATED, ALL ELECTRICAL ELEMENTS IN THE PROJECT AREA ARE TO BE REMOVED BY THE CONTRACTOR. NEW DEVICES AND FIXTURES TO BE SUPPLIED AND INSTALLED AS PER THE NEW ELECTRICAL LAYOUTS.



POST OFFICE ELECTRICAL DEMOLITION PLAN
1:50
0 500 1000 1500 2000 2500



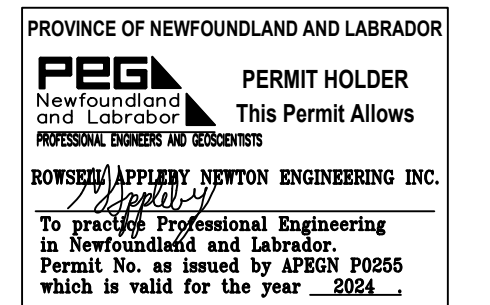
IMAGING ROOM ELECTRICAL DEMOLITION PLAN
1:50
0 500 1000 1500 2000 2500

PROJECT TITLE

WORKPLACE NL - INTERIOR FIT-OUT
 PROJECT ADDRESS

A PROJECT FOR
WORKPLACE NL

PLAN LEGEND



MECHANICAL/ELECTRICAL CONSULTANTS

R|A|N

ROWSELL APPELEY NEWTON ENGINEERING INC.
 1 Centennial Street Suite 101 Mount Pearl, NL
 T 709.754.9135

Δ	DATE	REVISION
1	NOV 6, 2024	ISSUED FOR TENDER

PROJECT NO: 24-032

DRAWN BY: JWF, MRA

CHECKED BY: MRA

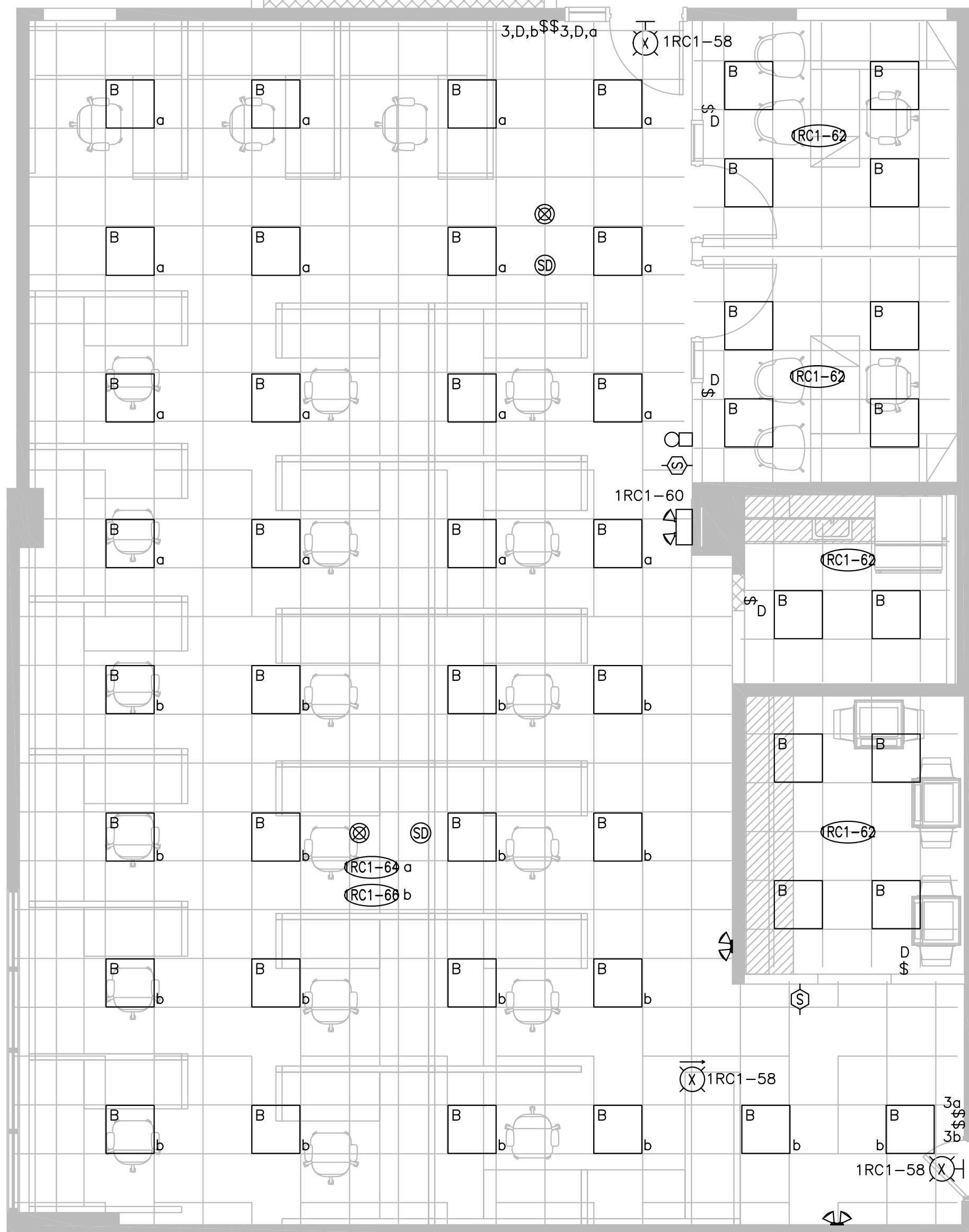
SHEET NAME

**ELECTRICAL
 NEW FLOOR
 PLANS**

SEAL SHEET NUMBER

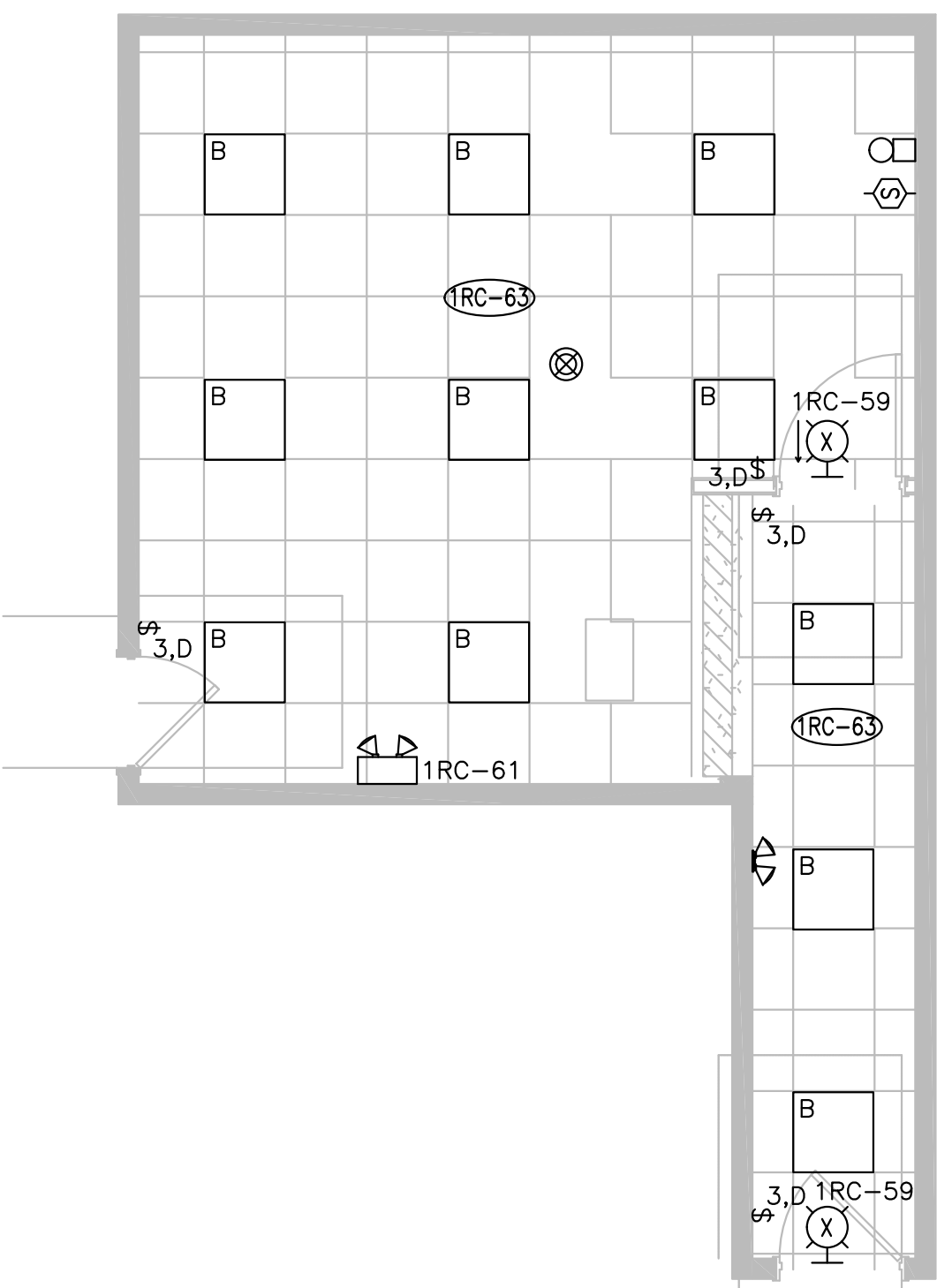


E-3

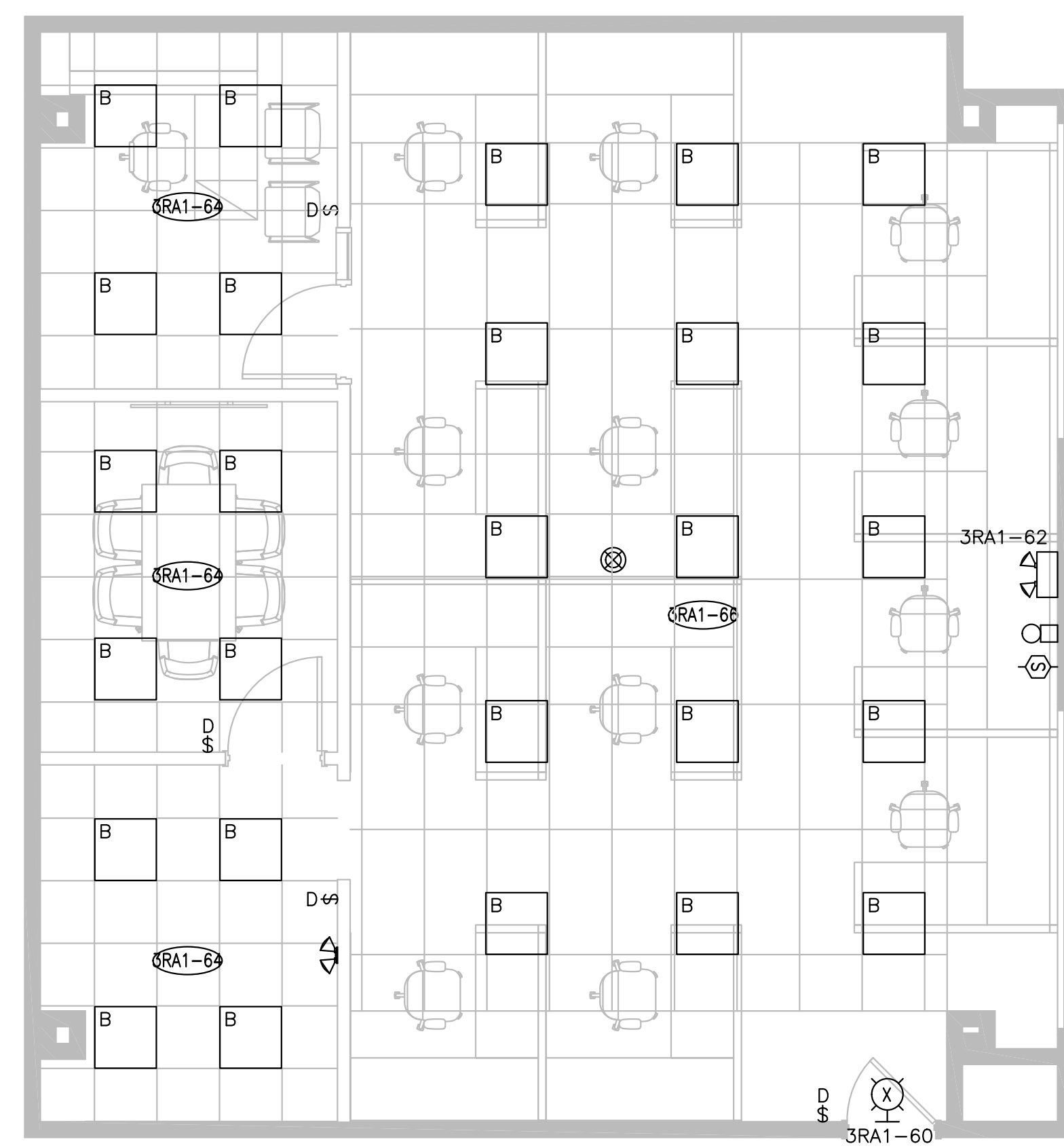


SERVICE CENTER NEW LIGHTING AND FIRE ALARM PLAN
 1:50
 1
 E-3

GENERAL NOTES:
 1. NEW FIRE ALARM DEVICES TO TIE INTO EXISTING FIRE ALARM INITIATING AND ALARM CIRCUITS. LOCATIONS OF EXISTING DEVICES ARE INDICATED ON THE DEMOLITION PLANS. EXISTING FIRE ALARM SYSTEM IS SIEMENS MXL SERVICED BY MARTIN'S FIRE SAFETY.



POST OFFICE NEW LIGHTING AND FIRE ALARM PLAN
 1:50
 2
 E-3



IMAGING ROOM NEW LIGHTING AND FIRE ALARM PLAN
 1:50
 3
 E-3

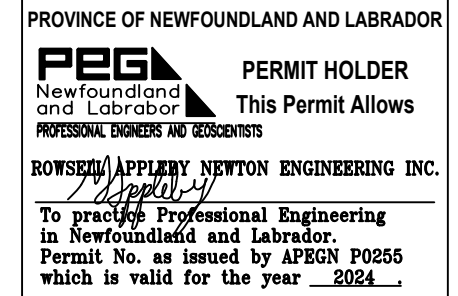
LUMINAIRE SCHEDULE						
TYPE	LAMPS			MOUNTING	COMMENTS	ACCEPTABLE MANUFACTURER
	VOLTS	TYPE	LUMENS			
B	120	LED	4200	T-BAR LAY-IN	2X2 LED TROFFER	METALUX 22CZSB-SCT3-UNV

Autodesk Docs://243034_Workplace NL Interior Renovation/243034_ARCH_CS_R23.rvt 2024-07-09 9:53:04 AM

PROJECT TITLE
WORKPLACE NL - INTERIOR FIT-OUT
 PROJECT ADDRESS

 A PROJECT FOR
WORKPLACE NL

PLAN LEGEND



MECHANICAL/ELECTRICAL CONSULTANTS
R|A|N
ROWSELL APPELEY NEWTON ENGINEERING INC.
 1 Centennial Street Suite 101 Mount Pearl, NL
 T 709.754.9135

△	DATE	REVISION
1	NOV 6, 2024	ISSUED FOR TENDER

PROJECT NO: 24-032
 DRAWN BY: JWF, MRA
 CHECKED BY: MRA

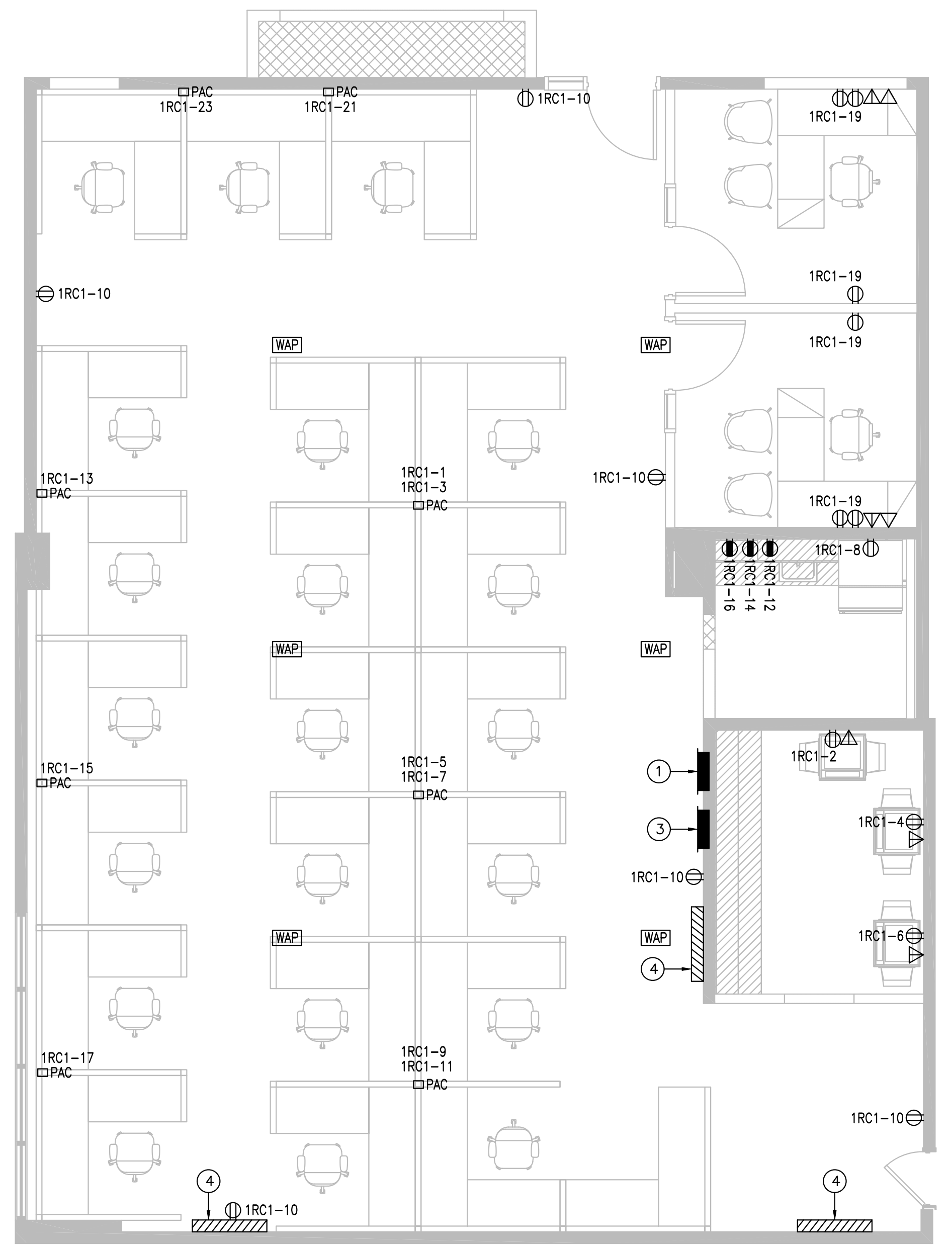
ELECTRICAL NEW FLOOR PLANS

SEAL SHEET NUMBER

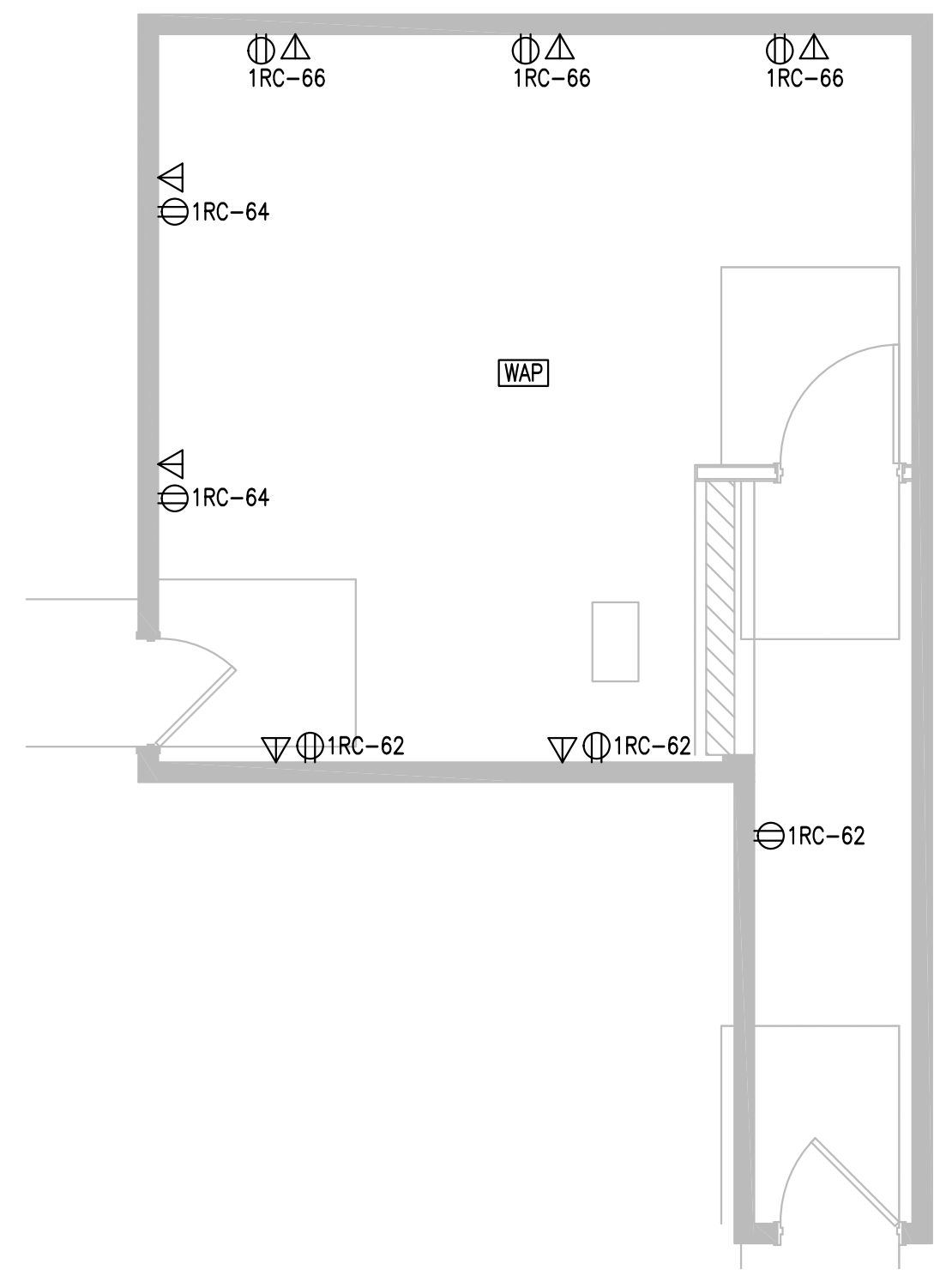
E-2

KEYNOTES:

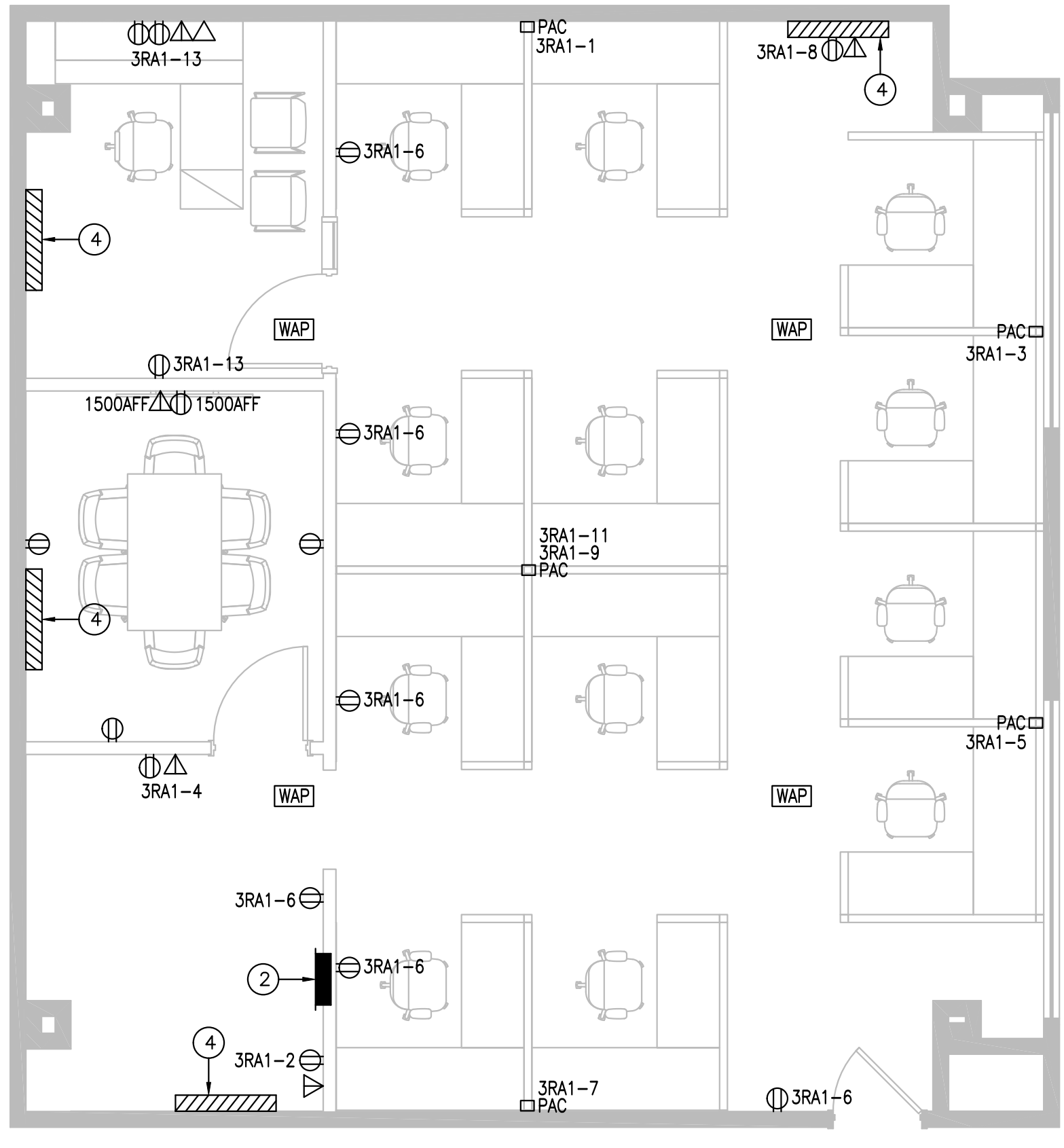
- ① SUPPLY AND INSTALL NEW PANEL 1RC1.
- ② SUPPLY AND INSTALL NEW PANEL 3RA1.
- ③ NEW LOCATION OF PANEL RELOCATED FROM KITCHENETTE.
- ④ NEW LOCATION OF RELOCATED HEATER.



SERVICE CENTER NEW POWER AND SYSTEMS PLAN
 1:50
 0 500 1000 1500 2000 2500



POST OFFICE NEW POWER AND SYSTEMS PLAN
 1:50
 0 500 1000 1500 2000 2500



IMAGING ROOM NEW POWER AND SYSTEMS PLAN
 1:50
 0 500 1000 1500 2000 2500

Autodesk Docs://243034_Workplace NL Interior Renovation/243034_ARCH_CS_R23.rvt

PANEL "1RC1" 120/208V, 3Ø, 4 WIRE

LOCATION	SERVICE CENTER	IC AMPS RMS SYM			?			MAINS RATING 100A			MOUNTING RECESSED	
		ØA	ØB	ØC	WIRE AWG	BKR	CCT No.	WIRE AWG	ØA	ØB	ØC	ASSIGNED LOAD
PAC POLE	?				#12	15A	1	2	20A	#12		COPIER
PAC POLE					#12	15A	3	4	20A	#12		COPIER
PAC POLE					#12	15A	5	6	20A	#12		COPIER
PAC POLE					#12	15A	7	8	15A	#12		FRIDGE
PAC POLE					#12	15A	9	10	20A	#12		HOUSEKEEPING PLUGS
PAC POLE					#12	15A	11	12	20A	#12		COUNTER PLUG
PAC POLE					#12	15A	13	14	20A	#12		COUNTER PLUG
PAC POLE					#12	15A	15	16	20A	#12		COUNTER PLUG
PAC POLE					#12	15A	17	18				
OFFICE PLUGS					#12	15A	19	20				
PAC POLE					#12	15A	21	22				
PAC POLE					#12	15A	23	24				
							25	26				
							27	28				
							29	30				
							31	32				
							33	34				
							35	36				
							37	38				
							39	40				
							41	42				
							43	44				
							45	46				
							47	48				
							49	50				
							51	52				
							53	54				
							55	56				
							57	58	15A	#12		EXIT LIGHTS ①
							59	60	15A	#12		EMERGENCY LIGHTS ①
							61	62	15A	#12		OFFICE LIGHTS
							63	64	15A	#12		OPEN AREA LIGHTS
							65	66	15A	#12		OPEN AREA LIGHTS
PHASE TOTAL												PHASE TOTAL
Ø "A" TOTAL												
Ø "B" TOTAL												
Ø "C" TOTAL												
TOTAL LOAD												

REMARKS
① BREAKER TO BE C/W LOCK-ON DEVICE.

PANEL "3RA1" 120/208V, 3Ø, 4 WIRE

LOCATION	SERVICE CENTER	IC AMPS RMS SYM			?			MAINS RATING 100A			MOUNTING RECESSED	
		ØA	ØB	ØC	WIRE AWG	BKR	CCT No.	WIRE AWG	ØA	ØB	ØC	ASSIGNED LOAD
PAC POLE	?				#12	15A	1	2	20A	#12		COPIER
PAC POLE					#12	15A	3	4	20A	#12		COPIER
PAC POLE					#12	15A	5	6	20A	#12		HOUSEKEEPING PLUGS
PAC POLE					#12	15A	7	8	20A	#12		COPIER
PAC POLE					#12	15A	9	10				
PAC POLE					#12	15A	11	12				
OFFICE PLUGS					#12	15A	13	14				
							15	16				
							17	18				
							19	20				
							21	22				
							23	24				
							25	26				
							27	28				
							29	30				
							31	32				
							33	34				
							35	36				
							37	38				
							39	40				
							41	42				
							43	44				
							45	46				
							47	48				
							49	50				
							51	52				
							53	54				
							55	56				
							57	58				
							59	60	15A	#12		EXIT LIGHTS ①
							61	62	15A	#12		EMERGENCY LIGHTS ①
							63	64	15A	#12		OFFICE LIGHTS
							65	66	15A	#12		OPEN AREA LIGHTS
PHASE TOTAL												PHASE TOTAL
Ø "A" TOTAL												
Ø "B" TOTAL												
Ø "C" TOTAL												
TOTAL LOAD												

REMARKS
① BREAKER TO BE C/W LOCK-ON DEVICE.

powers brown architecture
Architectural Consultant:
Powers Brown Architecture
354 Water Street,
Suite 402
St. John's, NL A1C 1C4
709.726.3941
www.powersbrown.com

PROJECT TITLE
WORKPLACE NL - INTERIOR FIT-OUT
PROJECT ADDRESS

A PROJECT FOR
WORKPLACE NL

PLAN LEGEND

MECHANICAL/ELECTRICAL CONSULTANTS
R | A | N
ROWSELL APPLBY NEWTON ENGINEERING INC
1 Centennial Street Suite 101 Mount Pearl, NL
T 709.754.9135

Δ	DATE	REVISION
1	NOV 6, 2024	ISSUED FOR TENDER

PROJECT NO: 24-032
DRAWN BY: JWF, MRA
CHECKED BY: MRA

SHEET NAME
ELECTRICAL SCHEDULES

SEAL **SHEET NUMBER**
E-5

GENERAL DEMOLITION NOTES

- A THE INTENT OF THE DEMOLITION DRAWINGS IS TO PROVIDE A GUIDE FOR DEMOLITION IN THE AREA OF WORK. GENERAL CONTRACTOR SHALL PROCEED WITH CAUTION AND INVESTIGATE EXISTING CONDITIONS THOROUGHLY BEFORE PROCEEDING WITH ANY WORK. ANY DISCREPANCIES BETWEEN THE ASSUMED AND ACTUAL CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT / INTERIOR DESIGNER.
- B IF THE DEMOLITION WORK REVEALS CONDITIONS THAT CONFLICT WITH THE PROPOSED NEW WORK, THE GENERAL CONTRACTOR SHALL IMMEDIATELY BRING SUCH MATTERS TO THE ARCHITECTS / INTERIOR DESIGNER'S ATTENTION FOR RESOLUTION BEFORE PROCEEDING WITH NEW WORK.
- C REMOVE ALL ABANDONED CABLING, WIRING, ETC BACK TO SOURCE. ANY WIRING OR CABLING ASSOCIATED WITH ELECTRICAL DEVICES TO BE DEMOLISHED SHALL BE REMOVED BACK TO THE ELECTRICAL PANEL.
- D REMOVE ALL EXISTING PLUMBING AS SHOWN AND CAP OFF BACK TO SOURCE ANY AND ALL PLUMBING FIXTURES, DRAINS, ETC NOT BEING REUSED, UNO. DEMOLISH BACK TO SOURCE AND REPLACE ANY EXISTING PVC PIPING THAT DOES NOT COMPLY WITH CODE.
- E PATCH ALL EXISTING SLAB PENETRATIONS WITH FIRE RATED CONCRETE AS REQUIRED FOR ANY PIPING, CONDUIT, ETC THAT IS REMOVED FOR NEW WORK. PREP FOR NEW FINISHES.
- F ALL EXISTING DOORS SHOWN AS DASHED, INCLUDING FRAMES AND ASSOCIATED HARDWARE, ARE TO BE REMOVED, EXAMINED FOR CONDITION, AND RELOCATED IF INDICATED ON PLANS. RETURN ALL DOORS THAT ARE IN GOOD CONDITION TO BUILDING STORAGE AT THE DIRECTION OF BUILDING MANAGEMENT IF THEY ARE NOT TO BE REUSED.
- G ALL EXISTING POWER, TELEPHONE, DATA OUTLETS, AND CONDUITS WITHIN WORK AREA TO BE REMOVED. ALL ELECTRICAL WIRING TO BE REMOVED BACK TO THE PANEL BOARD. ALL ABANDONED DATA AND TELEPHONE CABLE TO BE REMOVED BACK TO TELE / COMM RACKS.
- H ALL EXISTING OUTLETS NEAR SINKS THAT ARE NOT GFI OUTLETS AND DO NOT MEET CURRENT BUILDING CODES ARE TO BE REMOVED UNO.
- J REMOVE ALL EXISTING FINISHES THROUGHOUT AREA OF WORK AND PREP FOR NEW FINISHES PER MANUFACTURER'S RECOMMENDATIONS. EXISTING FLOORING TO REMAIN WHERE INDICATED TO BE FLASH PATCHED FOR SMOOTH TRANSITION. SEE FINISH PLANS FOR NEW WORK.
- L GENERAL CONTRACTOR IS TO PROTECT ALL EXISTING CONSTRUCTION TO REMAIN. ANY DAMAGE TO EXISTING ITEMS TO BE REPAIRED AT NO ADDITIONAL COST TO THE TENANT TO LIKE NEW CONDITION. IN ALL AREAS WITH NEW MATERIALS, PARTITIONS, OR PRODUCTS ARE INSTALLED, THE GENERAL CONTRACTOR SHALL PATCH AND FINISH WALLS, FLOORS, CEILINGS, AND AFFECTED AREAS AS REQUIRED.

powers brown architecture

Architectural Consultant:
Powers Brown Architecture
354 Water Street,
Suite 402
St. John's, NL A1C 1C4
709.726.3941
www.powersbrown.com

PROJECT TITLE

WORKPLACE NL - INTERIOR FIT-OUT

148 FOREST ROAD
ST. JOHN'S, NL A1A 1E6

A PROJECT FOR
WORKPLACE NL

PLAN LEGEND

- NOT IN CONTRACT
- BUILDING CORE ELEMENTS
- EXISTING MILLWORK TO REMAIN
- INDICATES MILLWORK TO BE DEMOLISHED
- EXISTING CONSTRUCTION TO REMAIN
- EXISTING CONSTRUCTION TO BE DEMOLISHED
- EXISTING DOOR TO REMAIN
- EXISTING DOOR TO BE REMOVED
- EXISTING GYPSUM BOARD TO BE DEMOLISHED
- EXISTING 2X4 CEILING TO BE DEMOLISHED
- EXISTING 2X4 CEILING TO REMAIN

EX DENOTES DEVICE EXISTING TO REMAIN
D DENOTES DEVICE TO BE DEMOLISHED
R DENOTES DEVICE TO BE RELOCATED

- DEMOLITION PLAN NOTES**
- D2 EXISTING LOCKERS AND WALL NICHE TO BE DEMOLISHED. LOCKERS TO BE STORED AND REUSED AT OWNER DISCRETION. GC TO REPAIR AND REPLACE REMAINING FLOOR AND WALL FINISH AS
 - D3 EXISTING ELECTRICAL PANEL TO BE RELOCATED.
 - D4 EXISTING MAILROOM SLOT DISTRIBUTION TO REMAIN.
 - D5 REMOVE PORTION OF EXISTING WALL TO ACCOMMODATE NEW OPENING.
 - D6 EXISTING DOOR TO BE REMOVED. GC TO INFILL WALL TO MATCH EXISTING CONSTRUCTION.
 - D7 EXISTING DOOR TO BE REPLACED WITH NEW.
 - D8 EXISTING REFRIGERATOR TO BE STORED AT OWNERS DISCRETION FOR POTENTIAL REUSE.

DATE	REVISION
2024-08-06	ISSUE FOR PERMIT
2024-11-06	ISSUE FOR TENDER

PROJECT NO: 243034
DRAWN BY: CP, RH
CHECKED BY: CS, AK

SHEET NAME

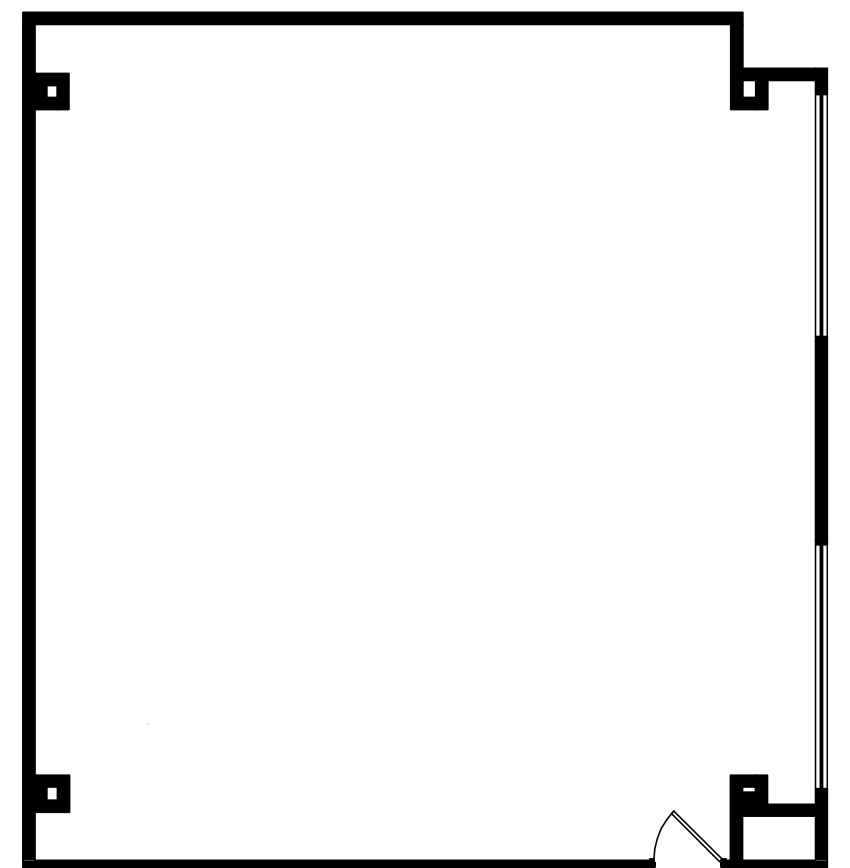
TYPICAL DEMOLITION PLANS

SEAL

MEMBER
Amalia
Amalia Allard-Sangria, NLAA
Expires Dec 31 2024
Date: 2024-11-06
LICENSED TO PRACTICE
ASSOCIATION OF ARCHITECTS

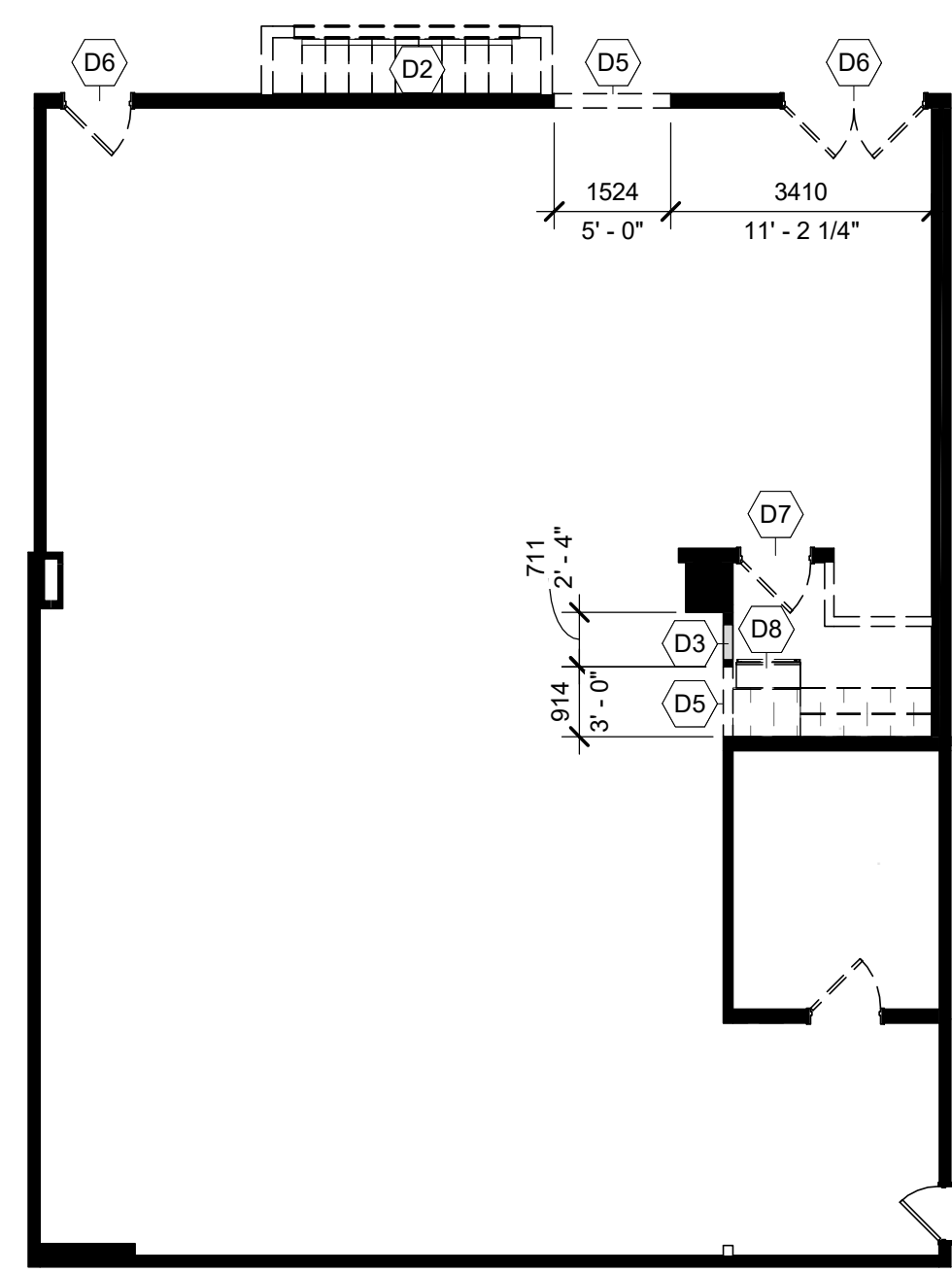
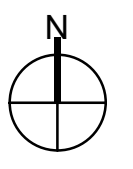
SHEET NUMBER

AD101



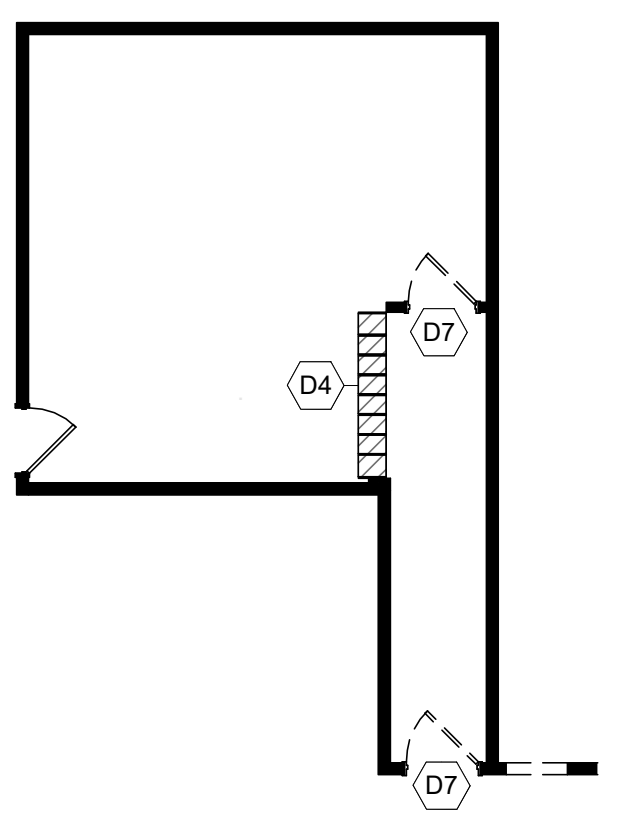
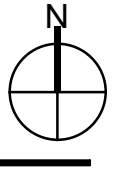
C4 TYPICAL IMAGING ROOM - LEVEL 03 - DEMOLITION FLOOR PLAN

SCALE: 1/8" = 1'-0"



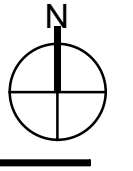
A2 TYPICAL SERVICE CENTER - LEVEL 01 - DEMOLITION FLOOR PLAN

SCALE: 1/8" = 1'-0"



A4 TYPICAL MAIL ROOM - LEVEL 01 - DEMOLITION FLOOR PLAN

SCALE: 1/8" = 1'-0"



Autodesk Docs://243034_Workplace NL Interior Renovation/243034_ARCH_CS_R23.rvt

2024-11-06 3:40:16 PM

COPYRIGHT © 2024 POWERS BROWN ARCHITECTURE. THIS DRAWING AND THE ARCHITECTURAL WORKS DEPICTED THEREIN ARE THE SOLE PROPERTY OF POWERS BROWN ARCHITECTURE. NO PORTION OF THIS DRAWING MAY BE COPIED WITHOUT THE EXPRESS WRITTEN CONSENT OF THE ARCHITECT.

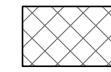


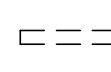

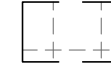
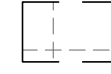

PROJECT TITLE

**WORKPLACE NL - INTERIOR
FIT-OUT**

148 FOREST ROAD
ST. JOHN'S, NL A1A 1E6

A PROJECT FOR
WORKPLACE NL

PLAN LEGEND

-  NOT IN CONTRACT
-  BUILDING CORE ELEMENTS
-  EXISTING CONSTRUCTION TO REMAIN
-  EXISTING CONSTRUCTION TO BE DEMOLISHED
-  EXISTING GYPSUM BOARD TO BE DEMOLISHED
-  EXISTING 2X2 CEILING TO BE DEMOLISHED
-  EXISTING 2X4 CEILING TO BE DEMOLISHED
-  EXISTING 2X2 CEILING TO REMAIN

GENERAL DEMOLITION CEILING AND LIGHTING NOTES

- A REMOVE ALL EXISTING CEILING MOUNTED SMOKE DETECTORS, SPEAKERS, SENSORS, EXIT SIGNS, ETC IN AREA OF WORK AND HOLD FOR POSSIBLE RELOCATION. COORDINATE PROPOSED NEW LOCATIONS WITH CONTRACT DRAWINGS AND BUILDING MANAGEMENT.
- B ALL EXISTING LIGHTS ARE TO BE REMOVED AND DISCARDED UNO.
- C REMOVE AND DISCARD ALL EXISTING CEILING GRID, TILES, HANGERS, AND GYP BD SOFFITS AND FRAMING AS REQUIRED TO ACHIEVE NEW LAYOUT SHOWN ON THE REFLECTED CEILING PLAN.
- D REFER TO DEMOLITION PLANS FOR ADDITIONAL GENERAL NOTES.

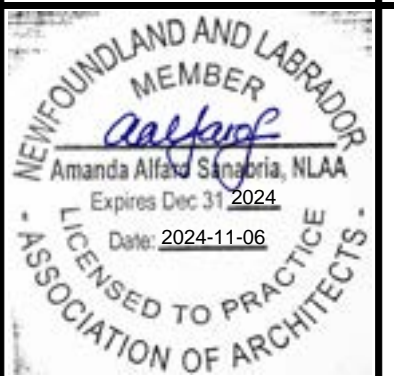
△	DATE	REVISION
	2024-08-06	ISSUE FOR PERMIT
	2024-11-06	ISSUE FOR TENDER

PROJECT NO: 243034
DRAWN BY: CP, RH
CHECKED BY: CS AK

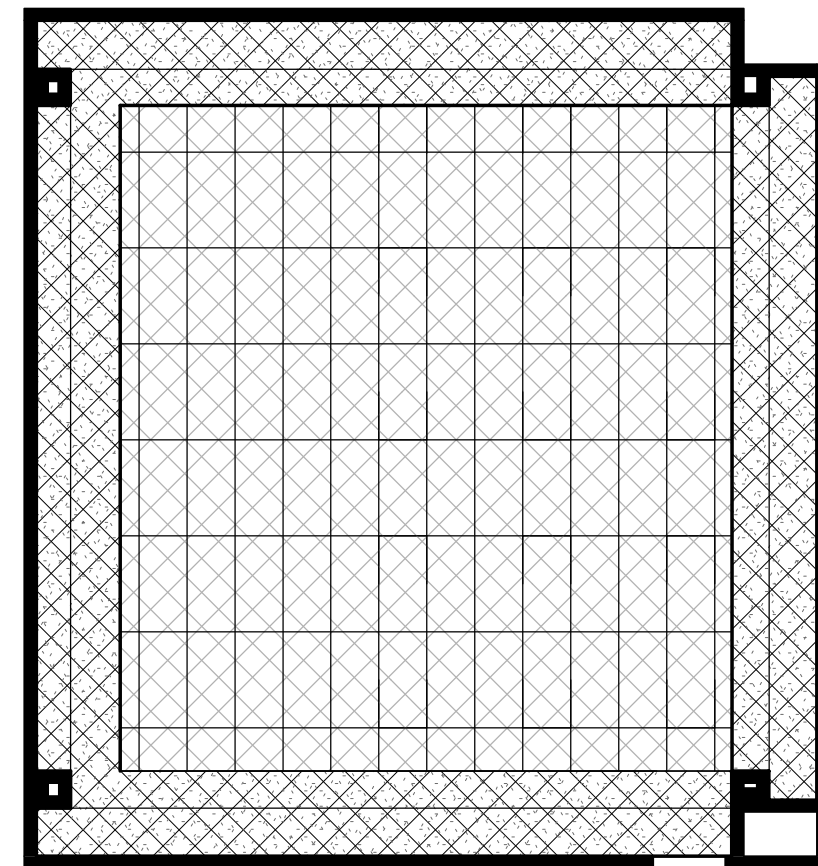
SHEET NAME

**TYPICAL DEMOLITION
CEILING PLANS**

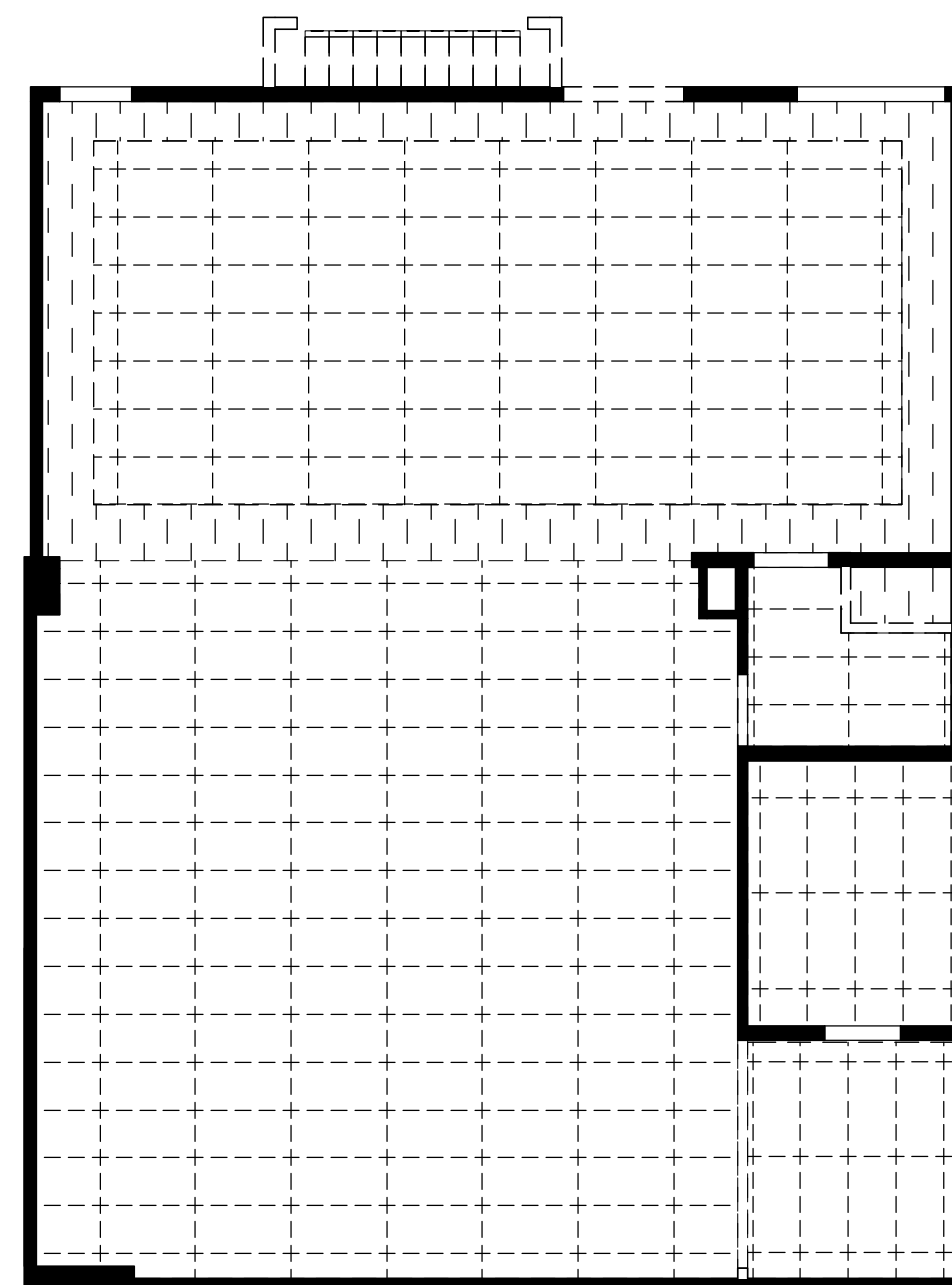
SEAL SHEET NUMBER



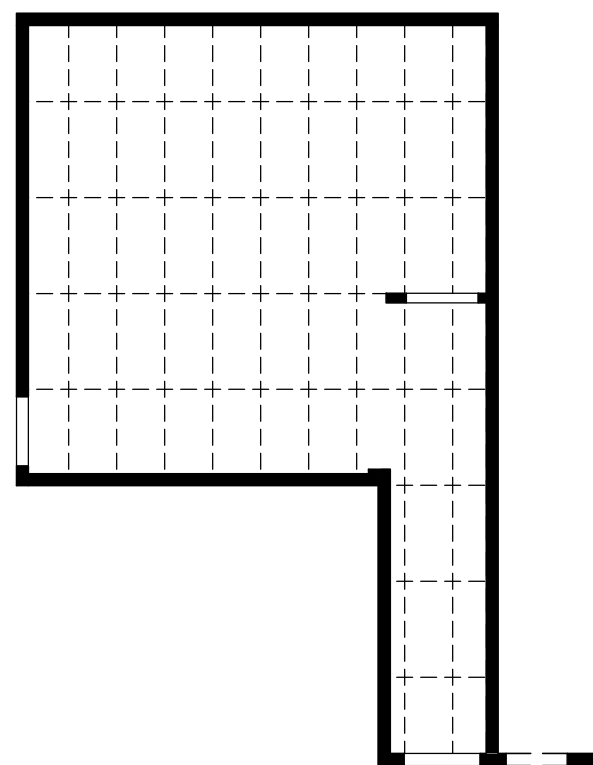
AD121



C2 TYPICAL IMAGING ROOM - LEVEL 03 - DEMOLITION REFLECTED CEILING PLAN
SCALE: 1/8" = 1'-0"



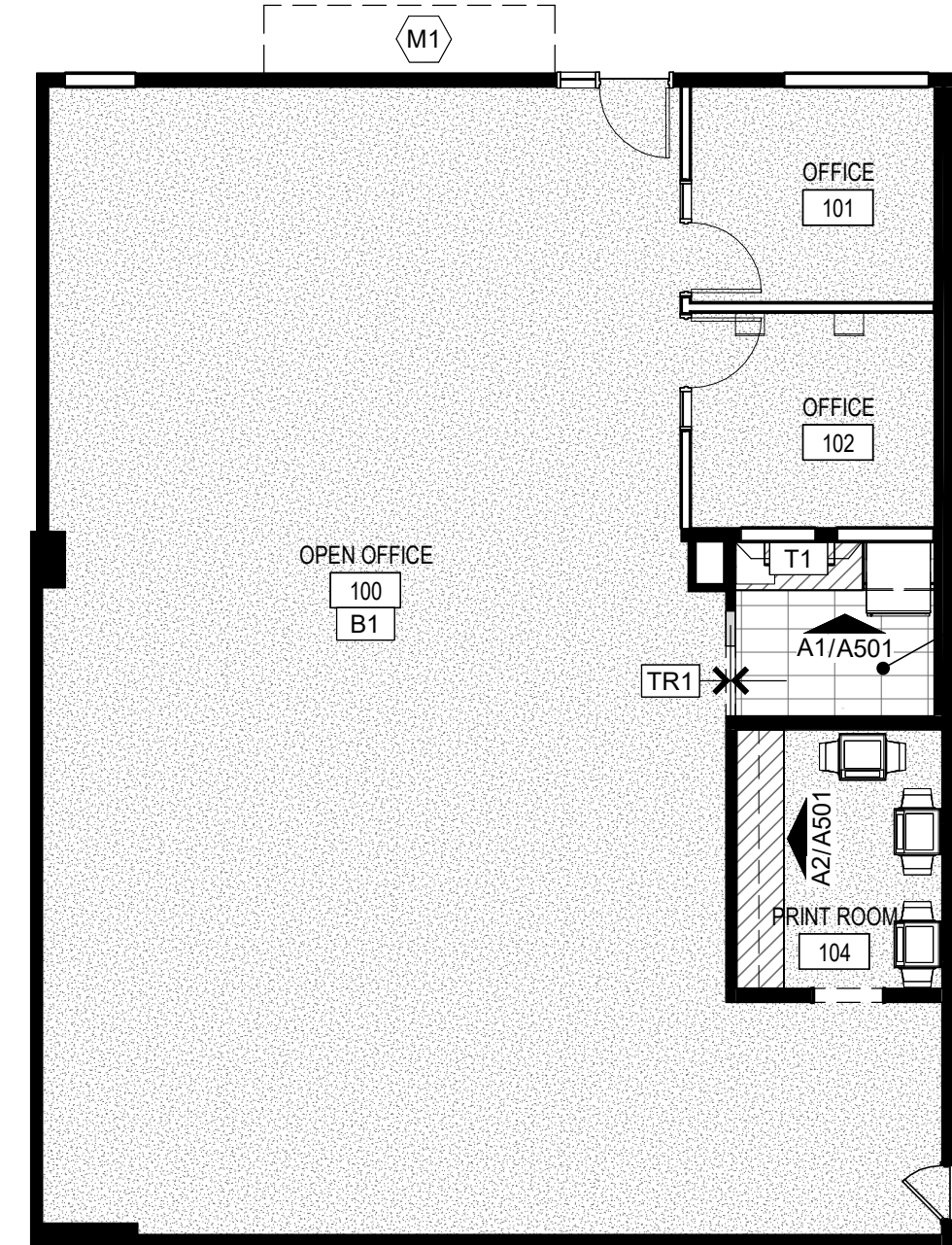
A2 TYPICAL SERVICE CENTER - LEVEL 01 - DEMOLITION REFLECTED CEILING PLAN
SCALE: 1/8" = 1'-0"



A4 TYPICAL MAIL ROOM - LEVEL 01 - DEMOLITION REFLECTED CEILING PLAN
SCALE: 1/8" = 1'-0"

FINISH PLAN GENERAL NOTES

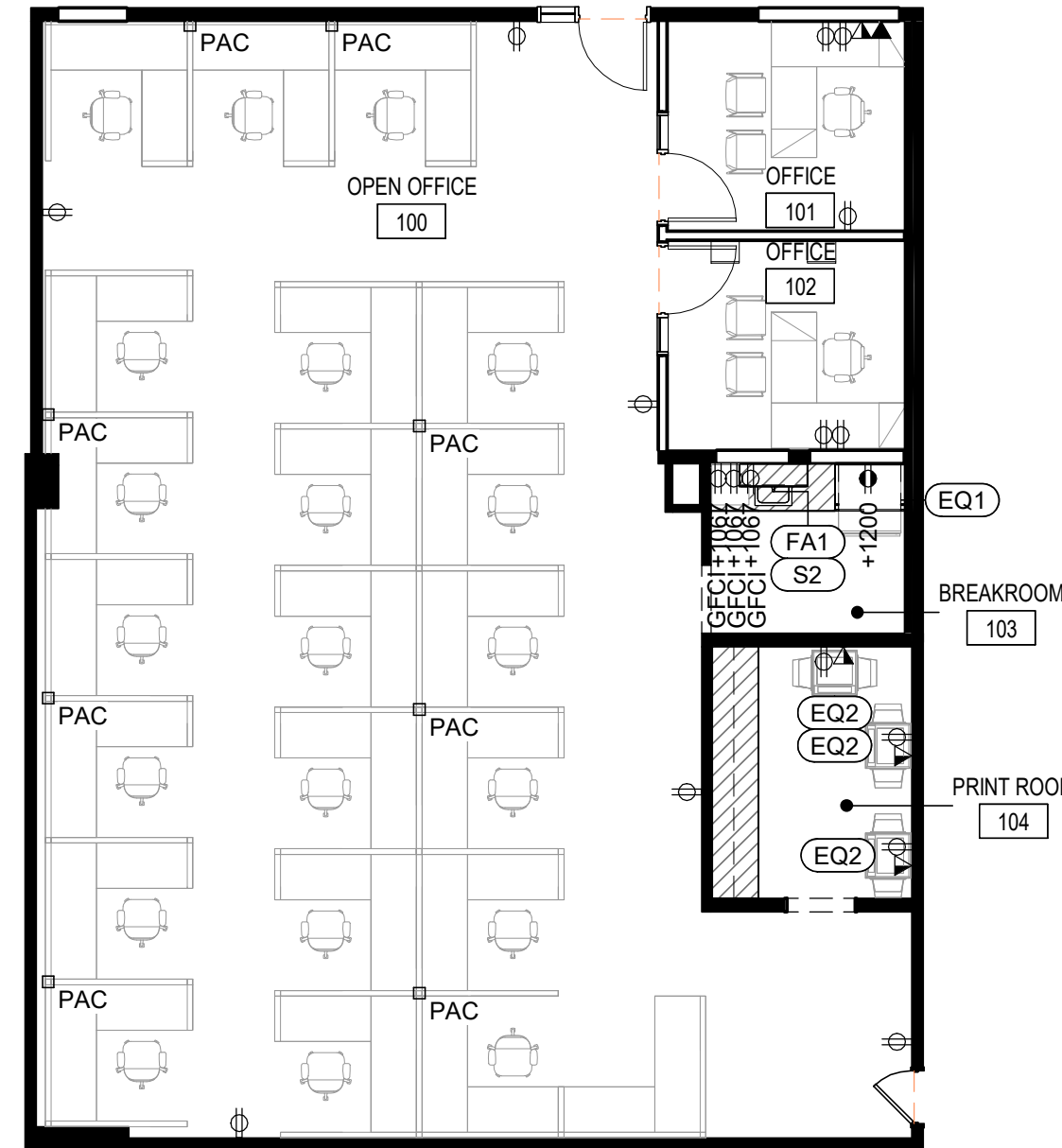
- A ALL FLOORING TO BE TYPE [CP1] UNO.
- B ALL BASE TO BE TYPE [B1] UNO.
- C ALL WALLS TO BE TYPE [P1] UNO.
- D FLOAT ALL FLOORING TRANSITIONS AS REQUIRED AT DIFFERENT FLOORING MATERIALS FOR SMOOTH TRANSITION. FLOAT ALL AS REQUIRED FOR SMOOTH SURFACE.
- E ALL WALLS WITHIN THE AREA OF WORK, INCLUDING EXISTING WALLS SUCH AS THE BUILDING CORE, COLUMNS, AND EXTERIOR WALLS TO BE TAPED, FLOATED, AND SKIMMED SMOOTH FOR APPLICATION OF FINISHES.
- F ALL WALLS TO BE PAINTED WITH (1) PRIMER COAT PLUS (2) FINISH COATS MINIMUM.
- G ALL FLOORING TRANSITIONS SHALL OCCUR AT CENTER OF DOORWAYS, UNO. PROVIDE TRANSITION STRIP AT CENTERLINE FOR DOORWAYS OR CASED OPENINGS BETWEEN FLOORING TRANSITIONS.
- H PROVIDE FLOORING TRANSITION MATERIALS AT THE PROFILE AND FINISH AS INDICATED ON THE FINISH SCHEDULE. FLOAT SLAB AT FINISH TRANSITIONS FOR SMOOTH TRANSITIONS WHICH COMPLY WITH ACCESSIBILITY CODE REQUIREMENTS.
- J THE GENERAL CONTRACTOR TO FLOAT WALL ALL THE WAY TO FLOOR AS PREP FOR NEW BASE INSTALLATION.
- K SEAL ALL STONE AND GROUT PER MANUFACTURER SPECIFICATIONS.
- L ALL GROUT LINES SHALL BE NO GREATER THAN 1/16" WIDE. GROUT ALL LOCATIONS. IF MANUFACTURER RECOMMENDS LARGER GROUT SIZE, NOTIFY THE ARCHITECT / INTERIOR DESIGNER FOR APPROVAL PRIOR TO INSTALLING.
- M FOR ALL DOOR AND FRAME FINISHES, REFER TO FINISH SCHEDULE AND DOOR AND FRAME SCHEDULE.
- N GENERAL CONTRACTOR TO PREPARE ALL EXISTING AND NEW WALL SURFACES TO RECEIVE SPECIFIED WALL FINISHES PER MANUFACTURER'S INSTALLATION RECOMMENDATIONS. GENERAL CONTRACTOR TO VERIFY WITH MANUFACTURER THE REQUIRED BACKING FOR ALL FABRICS / WALLCOVERING PRIOR TO ORDERING.
- P ALL EXPOSED REGISTERS, CONNECTOR UNITS, HEAT PUMPS, GRILLS, AND OTHER FITTINGS TO BE PAINTED WITH SEMI-GLOSS FINISH TO MATCH ADJACENT FINISH.
- Q ALL WALLS TO RECEIVE WALLCOVERING SHALL RECEIVE (1) COAT OF PRIMER / SEALER APPROPRIATE TO SUBSTRATE AND WALLCOVERING.
- R ALL EXISTING STAIN GRADE DOORS WITHIN THE WORK AREA SHALL BE PATCHED AND RECEIVE STAIN FINISH TOUCH-UP AS REQUIRED TO MATCH NEW DOORS.
- S ALL EXISTING AND NEW BUILDING CORE PAINT GRADE DOORS AND DOOR FRAMES WITHIN THE WORK AREA SHALL BE PAINTED WITH SEMI-GLOSS PAINT TO MATCH ADJACENT WALL FINISH.
- T GENERAL CONTRACTOR TO PREPARE EXISTING SLAB FOR INSTALLATION OF FLOOR COVERING IN ACCORDANCE WITH ALL MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS. GENERAL CONTRACTOR TO REMOVE ALL FOREIGN MATTER INCLUDING DIRT, GREASE, WAX, OIL, AND/OR PAINT, CRACKS, HOLES, AND DEPRESSIONS SHALL BE FILLED WITH QUALITY GRADE FLASHING.
- U GENERAL CONTRACTOR TO VERIFY WITH MANUFACTURER THE REQUIRED FINISH / SEALANT AND FLOOR LEVELING FOR ALL FLOORING PRIOR TO ORDERING.
- V ALL RUBBER BASE TO BE 1/8" THICKNESS. ALL RUBBER BASE AT CARPETING SHALL BE STRAIGHT STYLE AND COVE STYLE AT ALL OTHER LOCATIONS, UNO.
- W AT AREAS WHERE FLUSH BASE IS SPECIFIED, GENERAL CONTRACTOR TO PROVIDE (2) LAYERS OF GYP BD.



C4 TYPICAL SERVICE CENTER - LEVEL 01 - FINISH PLAN
SCALE: 1/8" = 1'-0"

POWER AND EQUIPMENT PLAN GENERAL NOTES

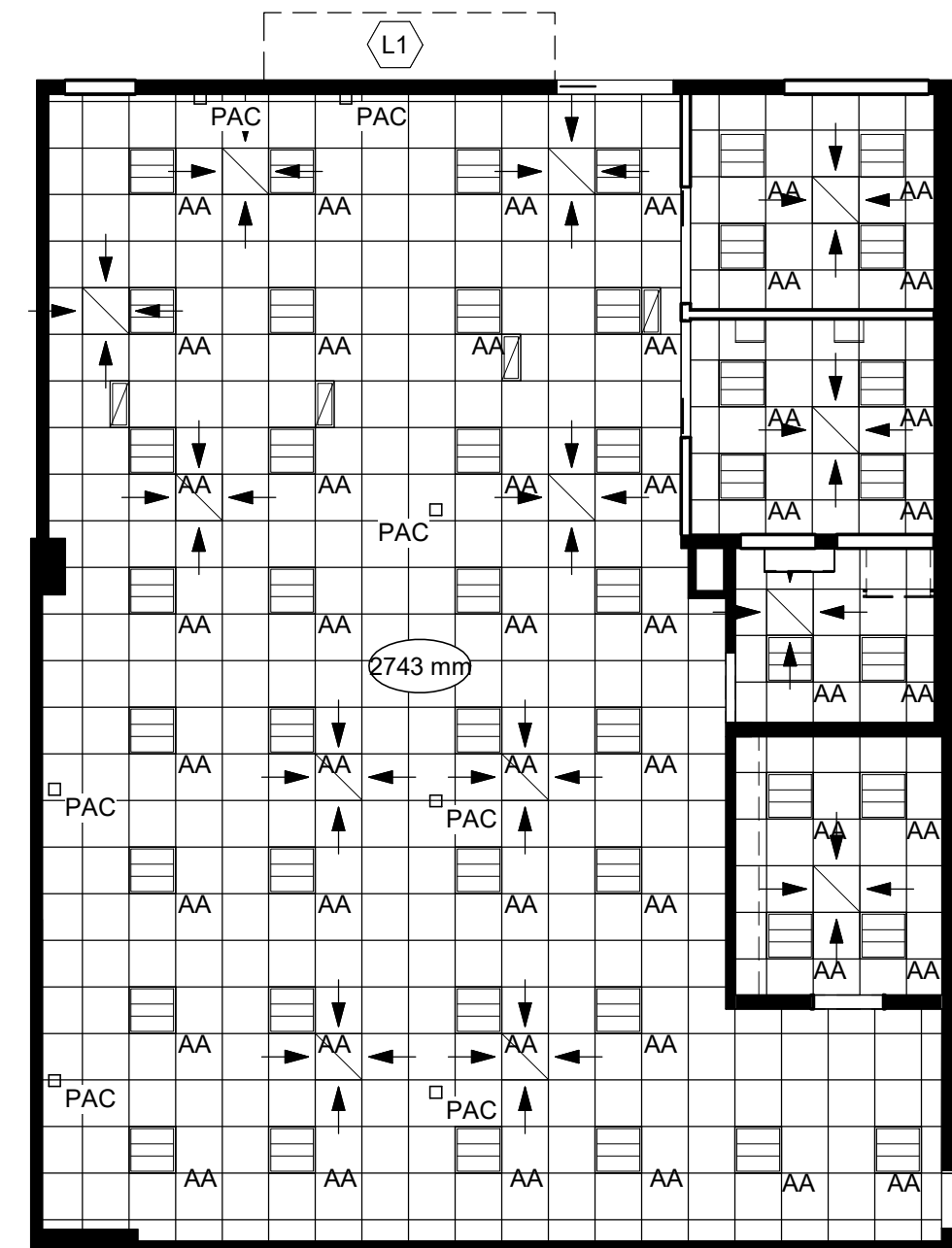
- A. ANY DISCREPANCIES BETWEEN THE ARCHITECTURAL POWER PLAN AND ENGINEER'S ELECTRICAL POWER PLAN TO BE BROUGHT TO THE ARCHITECT / INTERIOR DESIGNER PRIOR TO PROCEEDING.
- B. IF AN EXISTING OUTLET IS LOCATED WHERE A NEW OUTLET IS SHOWN, REUSE EXISTING IN LIEU OF ADDING AN OUTLET.
- C. ALL OUTLETS AT WET AREAS TO BE GFCI AS REQUIRED.
- D. ADD GYP BD FURRING TO COLUMNS AND CORRIDOR WALLS WHEN ADDING NEW ELECTRICAL IF REQUIRED TO MAINTAIN EXISTING FIRE RATINGS.
- E. ELECTRICAL, TELEPHONE AND DATA LINES SHOWN IN SOUND RATED PARTITIONS SHALL NOT BE PLACED BACK TO BACK, OFFSET AT LEAST ONE STUD AND SEAL FOR SOUND AS REQUIRED. COORDINATE STAGGERED LOCATIONS WITH TENANT FURNITURE.
- F. WHEN ADDING FLOOR OUTLETS, ALLOW FOR (2) CORE DRILLS: (1) AT FLOOR OUTLET AND (1) AT WALL LOCATION TO BE DETERMINED. PROVIDE AND INSTALL CONDUIT FROM FLOOR OUTLET TO ADJACENT WALL WITH PULL STRING, UNO. COORDINATE FLUSH FLOOR ELECTRICAL OUTLET WITH STRUCTURE BELOW AND WITH FURNITURE PLANS. VERIFY THE LOCATION OF ALL CORE DRILL PENETRATIONS WITH ARCHITECT / INTERIOR DESIGNER PRIOR TO GPR / X-RAY.
- G. GENERAL CONTRACTOR TO PROVIDE PULL STRING AT ALL NEW TELEPHONE / DATA RECEPTACLE LOCATIONS TO AN ACCESSIBLE CEILING LOCATION. PROVIDE (2) PULL STRINGS AT ALL TELEPHONE/DATA COMBO LOCATIONS. GENERAL CONTRACTOR TO COORDINATE ALL TELEPHONE/DATA WORK WITH TENANT CABLING, SECURITY, AND AV VENDORS.
- H. ALL NEW OUTLETS, SWITCHES, COVER PLATES THAT OCCUR ON STONE, SOLID SURFACE, MILLWORK, GLASS, WOOD PANELING, OR WALLCOVERING TO BE BRUSHED STAINLESS STEEL. ALL OTHER COVER PLATES AT PAINTED WALLS TO BE WHITE.
- J. ALL OUTLETS, SWITCHES, AND STROBES PLACED ABOVE EACH OTHER OR NEXT TO EACH OTHER TO BE ALIGNED VERTICALLY OR HORIZONTALLY WITH EACH OTHER ON THE WALL.
- K. GROUP TOGETHER, AS TIGHT AS POSSIBLE, ALL ELECTRICAL, TELEPHONE, AND DATA OUTLETS / RECEPTACLES SHOWN ADJACENT TO EACH OTHER.
- L. COORDINATE POWER OUTLET LOCATIONS WITH FURNITURE PLAN AS REQUIRED.
- M. ALL ABOVE COUNTER DEVICES ARE TO BE ORIENTED HORIZONTALLY 42" AFF, UNO.
- N. GENERAL CONTRACTOR TO LAY OUT THE LOCATION OF ALL PROPOSED OUTLETS FOR FIELD VERIFICATION BY ARCHITECT / INTERIOR DESIGNER PRIOR TO ACTUAL INSTALLATION OF OUTLETS, DATA, POKE-THROUGH, AND JUNCTION BOXES. GENERAL CONTRACTOR TO REVIEW AND COORDINATE ALL ELECTRICAL DEVICES WITH MILLWORK ITEMS.
- P. ALL MOUNTING HEIGHTS ARE TO THE CENTERLINE OF THE DEVICE AFF, UNO. ALL THERMOSTATS AND SWITCHES TO BE MOUNTED AT 48" AFF.
- Q. CONFORMANCE OF ALL APPLICABLE CODES SHALL BE THE RESPONSIBILITY OF THE ELECTRICAL ENGINEER AND THE GENERAL CONTRACTOR. ALL ELECTRICAL WORK AND MATERIALS SHALL CONFORM WITH NEC AND OTHER APPLICABLE ORDINANCES. WHEN CONFLICT OCCURS, THE MOST RESTRICTIVE SHALL APPLY.
- R. ALL FURNITURE SIZES AND FURNITURE PLACEMENT ARE SCHEMATIC. EXACT FURNITURE SIZE TO BE COORDINATED WITH TENANT'S FURNITURE VENDOR.
- S. ALL OUTLETS TO BE MOUNTED AT 18" AFF, UNO.



C2 TYPICAL SERVICE CENTER - LEVEL 01 - POWER & EQUIPMENT PLAN
SCALE: 1/8" = 1'-0"

REFLECTED CEILING PLAN GENERAL NOTES

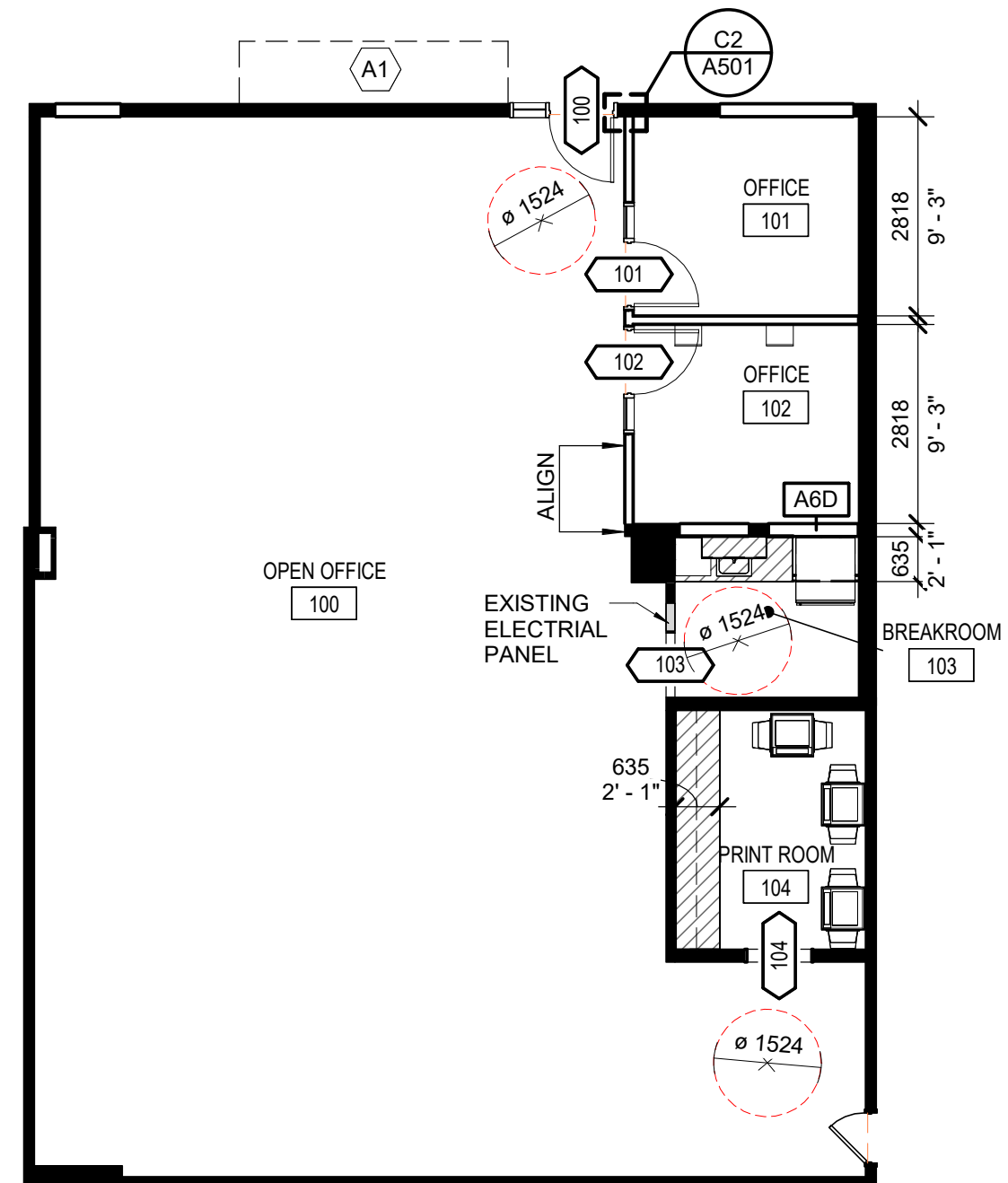
- A. GENERAL CONTRACTOR TO FURNISH IN QUANTITY AND TYPE ALL LIGHT FIXTURES, DIFFUSERS, GRILLS, ETC AS SHOWN ON BOTH THE MECHANICAL, ELECTRICAL, AND ARCHITECTURAL CEILING PLANS. ANY OMISSION FROM ONE PLAN TO THE OTHER SHOULD NOT BE CONSTRUED TO MEAN AN OMISSION FROM THE CONTRACT. GENERAL CONTRACTOR TO BRING ANY DISCREPANCIES IN QUANTITY OR SPACING OF FIXTURES TO THE ATTENTION OF THE DESIGN TEAM PRIOR TO ORDERING OR INSTALLING ANY LIGHT FIXTURES OR MECHANICAL ITEMS.
- B. ALL MULTIPLE SWITCHES TO BE BANKED WITH (1) COVER PLATE.
- C. ALL LIGHT SWITCHING AND ANY REQUIRED DAYLIGHT HARVESTING MUST BE COORDINATED WITH LOCAL ENERGY CODES AND DESIGNED BY THE ELECTRICAL ENGINEER.
- D. ALL FIRE ALARM AND VISUAL ALARM REQUIREMENTS SHOULD BE COORDINATED WITH FIRE PROTECTION CONSULTANTS TO CONFIRM INSTALLATION REQUIREMENTS AND COMPLIANCE WITH LOCAL BUILDING CODES.
- E. GENERAL CONTRACTOR TO VERIFY AVAILABLE CEILING PLENUM HEIGHT BASED ON ELEVATIONS OF DUCTWORK, SPRINKLER LINES, AND CONDUIT LOCATIONS. CONFIRM LIGHT FIXTURE HEIGHT WITH AVAILABLE PLENUM SPACE PRIOR TO COMMENCING CEILING FRAMING. GENERAL CONTRACTOR TO NOTIFY ARCHITECT / INTERIOR DESIGNER OF ALL LIGHT FIXTURE CONFLICTS.
- F. ALL RECESSED LIGHTS ARE TO BE CENTERED ON THE CEILING TILE IN BOTH DIRECTIONS UNO.
- G. GENERAL CONTRACTOR TO COORDINATE COMPATIBILITY OF ALL LIGHT FIXTURE TRIMS AND MECHANICAL DIFFUSERS AND GRILLS WITH SPECIFIED CEILING GRID OR OTHER CEILING TYPES PRIOR TO ORDERING.
- H. REFER TO ARCHITECTURAL CEILING PLAN FOR LOCATION AND ORIENTATION OF ALL LIGHT FIXTURES. REFER TO ARCHITECTURAL LIGHT FIXTURE SCHEDULES FOR FIXTURE FINISHES.
- J. REFER TO MECHANICAL & ELECTRICAL DRAWINGS FOR EXIT LIGHTS, EMERGENCY LIGHTS, SMOKE DETECTORS, FIRE ALARM PULL STATIONS, AND OTHER LIFE SAFETY DEVICE LOCATIONS AND INFORMATION.
- K. GENERAL CONTRACTOR TO OBTAIN APPROVAL FROM THE ARCHITECT / INTERIOR DESIGNER ON ANY LIGHTING FIXTURE SUBSTITUTIONS PROPOSED PRIOR TO BIDDING AND ORDERING ANY FIXTURES.
- L. ALL NEW SUSPENDED CEILING GRID SHALL BE CENTERED IN ALL CLOSED ROOMS UNO.
- M. ALL CEILING HEIGHTS TO BE 9'-0" AFF UNO.
- N. ALL CEILINGS TO BE TYPE [C1] UNO.



A4 TYPICAL SERVICE CENTER - LEVEL 01 - REFLECTED CEILING PLAN
SCALE: 1/8" = 1'-0"

FLOOR PLAN GENERAL NOTES

- A ALL ALTERATIONS TO MEET CURRENT LOCAL ACCESSIBILITY CODES AND CURRENT MUNICIPALITY REQUIREMENTS.
- B THE ARCHITECT / INTERIOR DESIGNER IS NOT RESPONSIBLE FOR ANY ALTERATIONS MADE WITHOUT PRIOR APPROVAL FROM THE GOVERNING AUTHORITY.
- C GENERAL CONTRACTOR IS TO DETERMINE FIRE RATING OF EXISTING COMPONENTS AND MATCH FIRE RATING AS REQUIRED FOR ANY NEW WORK, WHICH INCLUDES REPAIR OR REPLACEMENT OF FIRE RATED WALLS OR FOR ANY NEW PENETRATIONS IN FIRE RATED COMPONENTS. GENERAL CONTRACTOR IS TO NOTIFY THE ARCHITECT / INTERIOR DESIGNER IMMEDIATELY IF ANY FIRE RATED COMPONENTS ARE UNCOVERED DURING DEMOLITION THAT WERE NOT IDENTIFIED ON THE CONSTRUCTION DOCUMENTS.
- D GENERAL CONTRACTOR IS RESPONSIBLE FOR PATCHING AND REPAIRING ANY SPRAY-APPLIED FIRE PROOFING THAT IS ON EXISTING STRUCTURAL ELEMENTS IF IT IS DISTURBED OR DAMAGED DURING CONSTRUCTION. REPAIR MUST BE DONE TO COMPLY WITH UL LISTING REQUIREMENTS FOR THE SYSTEM AND MUST ALSO COMPLY WITH EXISTING FIRE RATINGS.
- E ALL NEW WALL PARTITIONS TO BE TYPE 'A3D' UNO. SEE SHEET A601 FOR PARTITION TYPES AND DESCRIPTIONS.
- F PATCH / TAPE / FLOAT ALL EXISTING WALLS INCLUDING PERIMETER WALLS AND INTERIOR COLUMN ENCLOSURES AT NEW WALL LOCATIONS AS REQUIRED. FLOAT ALL EXISTING WALLS TO REMAIN IN PREP OF NEW FINISH.
- G PATCH AND REPAIR EXISTING PERIMETER GYP BD SURFACES AT EXTERIOR WALLS AND INTERIOR COLUMNS. GENERAL CONTRACTOR TO PROVIDE GYP BD FURRING WALLS AT ALL EXPOSED STRUCTURAL COLUMNS AND CMU BLOCK WALLS UNO.
- H ADD GYP BD FURRING AT CORE WALLS TO ALLOW FOR INSTALLATION OF NEW ELECTRICAL DEVICES, AS REQUIRED. ENSURE ANY PENETRATIONS IN EXISTING CORE WALLS COMPLY WITH EXISTING FIRE RATING IF APPLICABLE.
- J PROVIDE FIRE RATED BLOCKING IN WALLS AS REQUIRED FOR INSTALLATION OF NEW MILLWORK, FLAT PANEL DISPLAYS AND EQUIPMENT, SHELVING, ETC. GENERAL CONTRACTOR TO COORDINATE ALL BLOCKING REQUIREMENTS WITH THE POWER PLANS, ELEVATIONS, DETAILS, AND MANUFACTURER'S REQUIREMENTS.
- K ALL DIMENSIONS AND ALIGNMENTS SHOWN TO BE VERIFIED IN FIELD. ALL DIMENSIONS SHOWN ARE TO FACE OF FINISH UNO.
- L ALL NEW FLOOR PENETRATIONS SHOULD BE FIRE CAULKED TO COMPLY WITH UL REQUIREMENTS FOR PENETRATIONS IN ANY FLOOR SLABS. PREP FOR NEW FINISHES.
- M GENERAL CONTRACTOR TO COORDINATE ADEQUATE TIME FOR ARCHITECT / INTERIOR DESIGNER APPROVAL OF PARTITION LAYOUT FOR DIMENSIONAL ACCURACY PRIOR TO INSTALLATION OF METAL FRAMING. GENERAL CONTRACTOR TO NOTIFY ARCHITECT / INTERIOR DESIGNER OF ALL CONFLICTS BETWEEN EXISTING CONDITIONS AND NEW WORK PLANS PRIOR TO FRAMING NEW WALLS.
- N ALL NEW DOORS SHALL BE 4" FROM FINISH FACE OF WALL TO INSIDE EDGE OF DOOR OPENING ON THE HINGE SIDE OF DOOR, UNO.
- P REFER TO SHEET A602 FOR DOOR SCHEDULE, DOOR TYPES, AND HARDWARE SCHEDULE.



A2 TYPICAL SERVICE CENTER - LEVEL 01 - FLOOR PLAN
SCALE: 1/8" = 1'-0"

powers brown architecture

Architectural Consultant:
Powers Brown Architecture
354 Water Street,
Suite 402
St. John's, NL A1C 1C4
709.726.3941
www.powersbrown.com

PROJECT TITLE

WORKPLACE NL - INTERIOR FIT-OUT

148 FOREST ROAD
ST. JOHN'S, NL A1A 1E6

A PROJECT FOR

WORKPLACE NL

PLAN LEGEND

- [Symbol] NOT IN CONTRACT
- [Symbol] BUILDING CORE ELEMENTS
- [Symbol] INDICATES NEW MILLWORK
- [Symbol] INDICATES EXISTING MILLWORK TO REMAIN
- [Symbol] EXISTING CONSTRUCTION TO REMAIN
- [Symbol] NEW CONSTRUCTION
- [Symbol] EXISTING DOOR TO REMAIN
- [Symbol] NEW DOOR
- [Symbol] SUSPENDED 2' X 2' CEILING
- [Symbol] EXISTING 2' X 4' CEILING TO REMAIN
- [Symbol] CEILING HEIGHT SYMBOL
- [Symbol] 2' X 2' DIRECT/INDIRECT
- [Symbol] DUPLEX OUTLET - 110V, WALL MOUNTED
- [Symbol] DUPLEX OUTLET (DEDICATED) - 110V, WALL MOUNTED
NOTE: FOR EQUIPMENT - SEE MFR REQ
- [Symbol] DATA / TELEPHONE OUTLET - WALL MOUNTED NOTE: PROVIDE RING AND STRING
- [Symbol] PAC POWER AND COMMUNICATIONS POLE, DUAL CHANNEL, FROM CEILING TO INTO SYSTEMS FURNITURE.
- [Symbol] CARPET TILE

- A1 NEW DRYWALL TO BE INSTALLED.
- L1 INSTALL CEILING TILES TO MATCH EXISTING
- M1 INSTALL FINISHED FLOOR TO MATCH EXISTING. NEW DRYWALL PAINTED TO MATCH EXISTING.

DATE	REVISION
2024-08-06	ISSUE FOR PERMIT
2024-11-06	ISSUE FOR TENDER

PROJECT NO: 243034
DRAWN BY: CP, RH
CHECKED BY: CS, AK

SHEET NAME

TYPICAL SERVICE CENTER PLANS

SEAL

MEMBER
Amanda Allard
Amanda Allard, NLAA
Expires Dec 31 2024
Date: 2024-11-06
LICENSED TO PRACTICE
ASSOCIATION OF ARCHITECTS

SHEET NUMBER

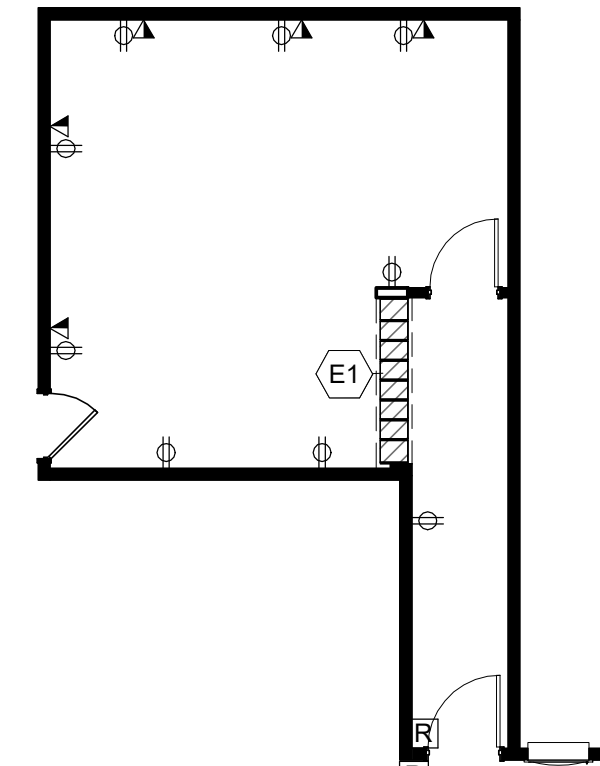
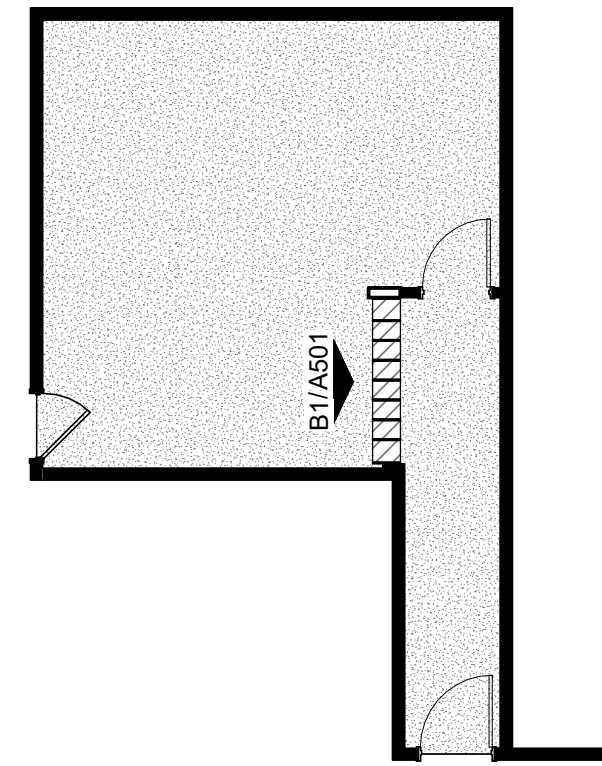
A101

Autodesk Docs://243034_Workplace NL Interior Renovation/243034_ARCH_CS_R23.rvt
2024-11-06 3:40:18 PM

COPYRIGHT © 2024 POWERS BROWN ARCHITECTURE. THIS DRAWING AND THE ARCHITECTURE, WORKS DEPICTED THEREIN ARE THE SOLE PROPERTY OF POWERS BROWN ARCHITECTURE. NO PORTION OF THIS DRAWING MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.

FLOOR PLAN GENERAL NOTES

- A ALL FLOORING TO BE TYPE [CP1] UNO.
- B ALL BASE TO BE TYPE [B1] UNO.
- C ALL WALLS TO BE TYPE [P1] UNO.
- D FLOAT ALL FLOORING TRANSITIONS AS REQUIRED AT DIFFERENT FLOORING MATERIALS FOR SMOOTH TRANSITION. FLOAT ALL AS REQUIRED FOR SMOOTH SURFACE.
- E ALL WALLS WITHIN THE AREA OF WORK, INCLUDING EXISTING WALLS SUCH AS THE BUILDING CORE, COLUMNS, AND EXTERIOR WALLS TO BE TAPED, FLOATED, AND SKIMMED SMOOTH FOR APPLICATION OF FINISHES.
- F ALL WALLS TO BE PAINTED WITH (1) PRIMER COAT PLUS (2) FINISH COATS MINIMUM.
- G ALL FLOORING TRANSITIONS SHALL OCCUR AT CENTER OF DOORWAYS, UNO. PROVIDE TRANSITION STRIP AT CENTERLINE FOR DOORWAYS OR CASED OPENINGS BETWEEN FLOORING TRANSITIONS.
- H PROVIDE FLOORING TRANSITION MATERIALS AT THE PROFILE AND FINISH AS INDICATED ON THE FINISH SCHEDULE. FLOAT SLAB AT FINISH TRANSITIONS FOR SMOOTH TRANSITIONS WHICH COMPLY WITH ACCESSIBILITY CODE REQUIREMENTS.
- J THE GENERAL CONTRACTOR TO FLOAT WALL ALL THE WAY TO FLOOR AS PREP FOR NEW BASE INSTALLATION.
- K SEAL ALL STONE AND GROUT PER MANUFACTURER SPECIFICATIONS.
- L ALL GROUT LINES SHALL BE NO GREATER THAN 1/16" WIDE. GROUT ALL LOCATIONS. IF MANUFACTURER RECOMMENDS LARGER GROUT SIZE, NOTIFY THE ARCHITECT / INTERIOR DESIGNER FOR APPROVAL PRIOR TO INSTALLING.
- M FOR ALL DOOR AND FRAME FINISHES, REFER TO FINISH SCHEDULE AND DOOR AND FRAME SCHEDULE.
- N GENERAL CONTRACTOR TO PREPARE ALL EXISTING AND NEW WALL SURFACES TO RECEIVE SPECIFIED WALL FINISHES PER MANUFACTURER'S INSTALLATION RECOMMENDATIONS. GENERAL CONTRACTOR TO VERIFY WITH MANUFACTURER THE REQUIRED BACKING FOR ALL FABRICS / WALLCOVERING PRIOR TO ORDERING.
- P ALL EXPOSED REGISTERS, CONNECTOR UNITS, HEAT PUMPS, GRILLS, AND OTHER FITTINGS TO BE PAINTED WITH SEMI-GLOSS FINISH TO MATCH ADJACENT FINISH.
- Q ALL WALLS TO RECEIVE WALLCOVERING SHALL RECEIVE (1) COAT OF PRIMER / SEALER APPROPRIATE TO SUBSTRATE AND WALLCOVERING.
- R ALL EXISTING STAIN GRADE DOORS WITHIN THE WORK AREA SHALL BE PATCHED AND RECEIVE STAIN FINISH TOUCH-UP AS REQUIRED TO MATCH NEW DOORS.
- S ALL EXISTING AND NEW BUILDING CORE PAINT GRADE DOORS AND DOOR FRAMES WITHIN THE WORK AREA SHALL BE PAINTED WITH SEMI-GLOSS PAINT TO MATCH ADJACENT WALL FINISH.
- T GENERAL CONTRACTOR TO PREPARE EXISTING SLAB FOR INSTALLATION OF FLOOR COVERING IN ACCORDANCE WITH ALL MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS. GENERAL CONTRACTOR TO REMOVE ALL FOREIGN MATTER INCLUDING DIRT, GREASE, WAX, OIL AND/OR PAINT, CRACKS, HOLES, AND DEPRESSIONS SHALL BE FILLED WITH QUALITY GRADE FLASHING.
- U GENERAL CONTRACTOR TO VERIFY WITH MANUFACTURER THE REQUIRED FINISH / SEALANT AND FLOOR LEVELING FOR ALL FLOORING PRIOR TO ORDERING.
- V ALL RUBBER BASE TO BE 1/8" THICKNESS. ALL RUBBER BASE AT CARPETING SHALL BE STRAIGHT STYLE AND COVE STYLE AT ALL OTHER LOCATIONS, UNO.
- W AT AREAS WHERE FLUSH BASE IS SPECIFIED, GENERAL CONTRACTOR TO PROVIDE (2) LAYERS OF GYP BD.

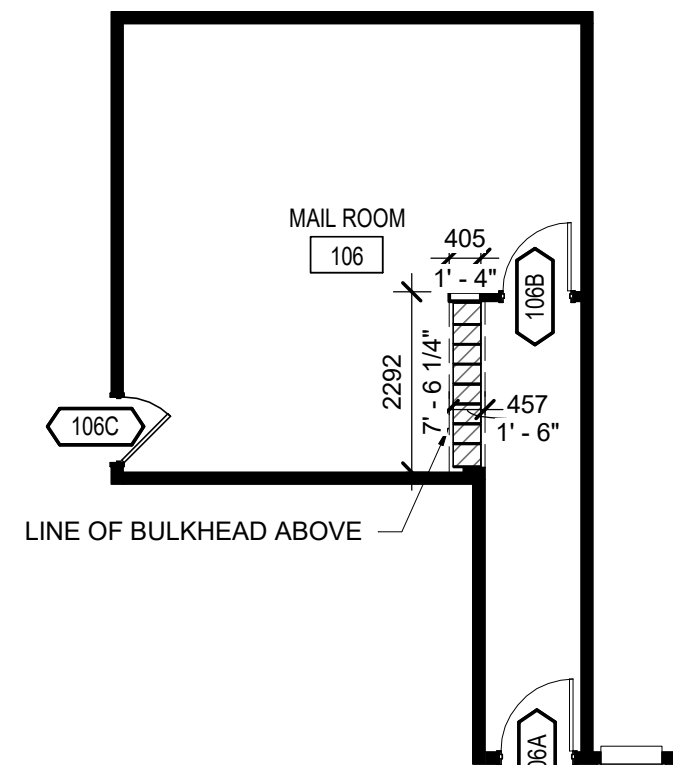
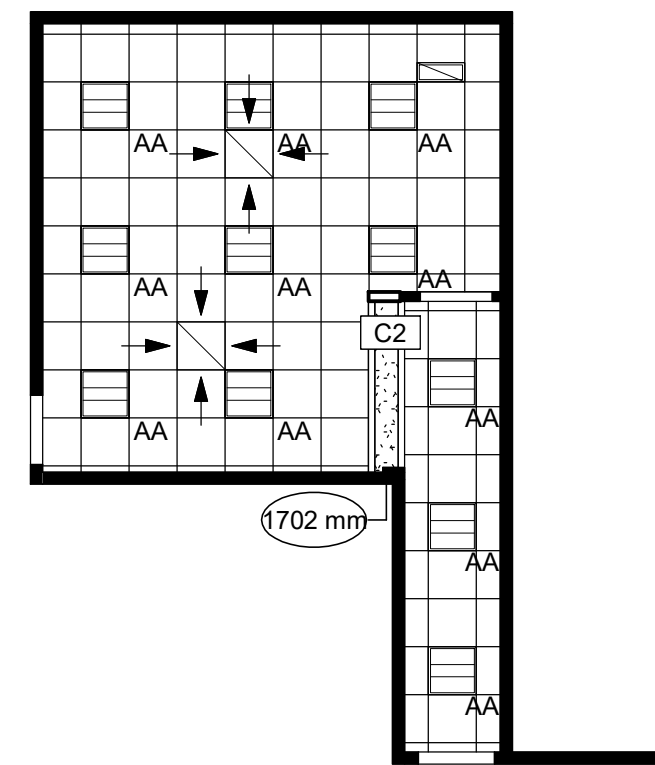


C4 TYPICAL MAIL ROOM - LEVEL 01 - FINISH PLAN
SCALE: 1/8" = 1'-0"

C2 TYPICAL MAIL ROOM - LEVEL 01 - POWER & EQUIPMENT PLAN
SCALE: 1/8" = 1'-0"

REFLECTED CEILING PLAN GENERAL NOTES

- A GENERAL CONTRACTOR TO FURNISH IN QUANTITY AND TYPE ALL LIGHT FIXTURES, DIFFUSERS, GRILLS, ETC AS SHOWN ON BOTH THE MECHANICAL, ELECTRICAL, AND ARCHITECTURAL CEILING PLANS. ANY OMISSION FROM ONE PLAN TO THE OTHER SHOULD NOT BE CONSTRUED TO MEAN AN OMISSION FROM THE CONTRACT. GENERAL CONTRACTOR TO BRING ANY DISCREPANCIES IN QUANTITY OR SPACING OF FIXTURES TO THE ATTENTION OF THE DESIGN TEAM PRIOR TO ORDERING OR INSTALLING ANY LIGHT FIXTURES OR MECHANICAL ITEMS.
- B ALL MULTIPLE SWITCHES TO BE BANKED WITH (1) COVER PLATE.
- C ALL LIGHT SWITCHING AND ANY REQUIRED DAYLIGHT HARVESTING MUST BE COORDINATED WITH LOCAL ENERGY CODES AND DESIGNED BY THE ELECTRICAL ENGINEER.
- D ALL FIRE ALARM AND VISUAL ALARM REQUIREMENTS SHOULD BE COORDINATED WITH FIRE PROTECTION CONSULTANTS TO CONFIRM INSTALLATION REQUIREMENTS AND COMPLIANCE WITH LOCAL BUILDING CODES.
- E GENERAL CONTRACTOR TO VERIFY AVAILABLE CEILING PLENUM HEIGHT BASED ON ELEVATIONS OF DUCTWORK, SPRINKLER LINES, AND CONDUIT LOCATIONS. CONFIRM LIGHT FIXTURE HEIGHT WITH AVAILABLE PLENUM SPACE PRIOR TO COMMENCING CEILING FRAMING. GENERAL CONTRACTOR TO NOTIFY ARCHITECT / INTERIOR DESIGNER OF ALL LIGHT FIXTURE CONFLICTS.
- F ALL RECESSED LIGHTS ARE TO BE CENTERED ON THE CEILING TILE IN BOTH DIRECTIONS UNO.
- G GENERAL CONTRACTOR TO COORDINATE COMPATIBILITY OF ALL LIGHT FIXTURE TRIMS AND MECHANICAL DIFFUSERS AND GRILLS WITH SPECIFIED CEILING GRID OR OTHER CEILING TYPES PRIOR TO ORDERING.
- H REFER TO ARCHITECTURAL CEILING PLAN FOR LOCATION AND ORIENTATION OF ALL LIGHT FIXTURES. REFER TO ARCHITECTURAL LIGHT FIXTURE SCHEDULES FOR FIXTURE FINISHES.
- J REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR EXIT LIGHTS, EMERGENCY LIGHTS, SMOKE DETECTORS, FIRE ALARM PULL STATIONS, AND OTHER LIFE SAFETY DEVICE LOCATIONS AND INFORMATION.
- K GENERAL CONTRACTOR TO OBTAIN APPROVAL FROM THE ARCHITECT / INTERIOR DESIGNER ON ANY LIGHTING FIXTURE SUBSTITUTIONS PROPOSED PRIOR TO BIDDING AND ORDERING ANY FIXTURES.
- L ALL NEW SUSPENDED CEILING GRID SHALL BE CENTERED IN ALL CLOSED ROOMS UNO.
- M ALL CEILING HEIGHTS TO BE 8'-0" AFF UNO.
- N ALL CEILINGS TO BE TYPE [C1] UNO.



A4 TYPICAL MAIL ROOM - LEVEL 01 - REFLECTED CEILING PLAN
SCALE: 1/8" = 1'-0"

A2 TYPICAL MAIL ROOM - LEVEL 01 - FLOOR PLAN
SCALE: 1/8" = 1'-0"

POWER AND EQUIPMENT PLAN GENERAL NOTES

- A ANY DISCREPANCIES BETWEEN THE ARCHITECTURAL POWER PLAN AND ENGINEER'S ELECTRICAL POWER PLAN TO BE BROUGHT TO THE ARCHITECT / INTERIOR DESIGNER PRIOR TO PROCEEDING.
- B IF AN EXISTING OUTLET IS LOCATED WHERE A NEW OUTLET IS SHOWN, REUSE EXISTING IN LIEU OF ADDING AN OUTLET.
- C ALL OUTLETS AT WET AREAS TO BE GFCI AS REQUIRED.
- D ADD GYP BD FURRING TO COLUMNS AND CORRIDOR WALLS WHEN ADDING NEW ELECTRICAL IF REQUIRED TO MAINTAIN EXISTING FIRE RATING.
- E ELECTRICAL, TELEPHONE AND DATA LINES SHOWN IN SOUND RATED PARTITIONS SHALL NOT BE PLACED BACK TO BACK, OFFSET AT LEAST ONE STUD AND SEAL FOR SOUND AS REQUIRED. COORDINATE STAGGERED LOCATIONS WITH TENANT FURNITURE.
- F WHEN ADDING FLOOR OUTLETS, ALLOW FOR (2) CORE DRILLS: (1) AT FLOOR OUTLET AND (1) AT WALL LOCATION TO BE DETERMINED. PROVIDE AND INSTALL CONDUIT FROM FLOOR OUTLET TO ADJACENT WALL WITH PULL STRING, UNO. COORDINATE FLUSH FLOOR ELECTRICAL OUTLET WITH STRUCTURE BELOW AND WITH FURNITURE PLANS. VERIFY THE LOCATION OF ALL CORE DRILL PENETRATIONS WITH ARCHITECT / INTERIOR DESIGNER PRIOR TO GPR / X-RAY.
- G GENERAL CONTRACTOR TO PROVIDE PULL STRING AT ALL NEW TELEPHONE / DATA RECEPTACLE LOCATIONS TO AN ACCESSIBLE CEILING LOCATION. PROVIDE (2) PULL STRINGS AT ALL TELEPHONE/DATA COMBO LOCATIONS. GENERAL CONTRACTOR TO COORDINATE ALL TELEPHONE/DATA WORK WITH TENANT CABLING, SECURITY, AND AV VENDORS.
- H ALL NEW OUTLETS, SWITCHES, COVER PLATES THAT OCCUR ON STONE, SOLID SURFACE, MILLWORK, GLASS, WOOD PANELING, OR WALLCOVERING TO BE BRUSHED STAINLESS STEEL. ALL OTHER COVER PLATES AT PAINTED WALLS TO BE WHITE.
- J ALL OUTLETS, SWITCHES, AND STROBES PLACED ABOVE EACH OTHER OR NEXT TO EACH OTHER TO BE ALIGNED VERTICALLY OR HORIZONTALLY WITH EACH OTHER ON THE WALL.
- K GROUP TOGETHER, AS TIGHT AS POSSIBLE, ALL ELECTRICAL, TELEPHONE, AND DATA OUTLETS / RECEPTACLES SHOWN ADJACENT TO EACH OTHER.
- L COORDINATE POWER OUTLET LOCATIONS WITH FURNITURE PLAN AS REQUIRED.
- M ALL ABOVE COUNTER DEVICES ARE TO BE ORIENTED HORIZONTALLY 42" AFF, UNO.
- N GENERAL CONTRACTOR TO LAY OUT THE LOCATION OF ALL PROPOSED OUTLETS FOR FIELD VERIFICATION BY ARCHITECT / INTERIOR DESIGNER PRIOR TO ACTUAL INSTALLATION OF OUTLETS, DATA, POKE-THROUGHS, AND JUNCTION BOXES. GENERAL CONTRACTOR TO REVIEW AND COORDINATE ALL ELECTRICAL DEVICES WITH MILLWORK ITEMS.
- P ALL MOUNTING HEIGHTS ARE TO THE CENTERLINE OF THE DEVICE AFF, UNO. ALL THERMOSTATS AND SWITCHES TO BE MOUNTED AT 48" AFF.
- Q CONFORMANCE OF ALL APPLICABLE CODES SHALL BE THE RESPONSIBILITY OF THE ELECTRICAL ENGINEER AND THE GENERAL CONTRACTOR. ALL ELECTRICAL WORK AND MATERIALS SHALL CONFORM WITH NEC AND OTHER APPLICABLE ORDINANCES. WHEN CONFLICT OCCURS, THE MOST RESTRICTIVE SHALL APPLY.
- R ALL FURNITURE SIZES AND FURNITURE PLACEMENT ARE SCHEMATIC. EXACT FURNITURE SIZE TO BE COORDINATED WITH TENANT'S FURNITURE VENDOR.
- S ALL OUTLETS TO BE MOUNTED AT 18" AFF, UNO.

FLOOR PLAN GENERAL NOTES

- A ALL ALTERATIONS TO MEET CURRENT LOCAL ACCESSIBILITY CODES AND CURRENT MUNICIPALITY REQUIREMENTS.
- B THE ARCHITECT / INTERIOR DESIGNER IS NOT RESPONSIBLE FOR ANY ALTERATIONS MADE WITHOUT PRIOR APPROVAL FROM THE GOVERNING AUTHORITY.
- C GENERAL CONTRACTOR IS TO DETERMINE FIRE RATING OF EXISTING COMPONENTS AND MATCH FIRE RATING AS REQUIRED FOR ANY NEW WORK, WHICH INCLUDES REPAIR OR REPLACEMENT OF FIRE RATED WALLS OR FOR ANY NEW PENETRATIONS IN FIRE RATED COMPONENTS. GENERAL CONTRACTOR IS TO NOTIFY THE ARCHITECT / INTERIOR DESIGNER IMMEDIATELY IF ANY FIRE RATED COMPONENTS ARE UNCOVERED DURING DEMOLITION THAT WERE NOT IDENTIFIED ON THE CONSTRUCTION DOCUMENTS.
- D GENERAL CONTRACTOR IS RESPONSIBLE FOR PATCHING AND REPAIRING ANY SPRAY-APPLIED FIRE PROOFING THAT IS ON EXISTING STRUCTURAL ELEMENTS IF IT IS DISTURBED OR DAMAGED DURING CONSTRUCTION. REPAIR MUST BE DONE TO COMPLY WITH UL LISTING REQUIREMENTS FOR THE SYSTEM AND MUST ALSO COMPLY WITH EXISTING FIRE RATINGS.
- E ALL NEW WALL PARTITIONS TO BE TYPE 'A3D' UNO. SEE SHEET A601 FOR PARTITION TYPES AND DESCRIPTIONS.
- F PATCH / TAPE / FLOAT ALL EXISTING WALLS INCLUDING PERIMETER WALLS AND INTERIOR COLUMN ENCLOSURES AT NEW WALL LOCATIONS AS REQUIRED. FLOAT ALL EXISTING WALLS TO REMAIN IN PREP OF NEW FINISH.
- G PATCH AND REPAIR EXISTING PERIMETER GYP BD SURFACES AT EXTERIOR WALLS AND INTERIOR COLUMNS. GENERAL CONTRACTOR TO PROVIDE GYP BD FURRING WALLS AT ALL EXPOSED STRUCTURAL COLUMNS AND CMU BLOCK WALLS UNO.
- H ADD GYP BD FURRING AT CORE WALLS TO ALLOW FOR INSTALLATION OF NEW ELECTRICAL DEVICES, AS REQUIRED. ENSURE ANY PENETRATIONS IN EXISTING CORE WALLS COMPLY WITH EXISTING FIRE RATING IF APPLICABLE.
- J PROVIDE FIRE RATED BLOCKING IN WALLS AS REQUIRED FOR INSTALLATION OF NEW MILLWORK, FLAT PANEL DISPLAYS AND EQUIPMENT, SHELVING, ETC. GENERAL CONTRACTOR TO COORDINATE ALL BLOCKING REQUIREMENTS WITH THE POWER PLANS, ELEVATIONS, DETAILS, AND MANUFACTURER'S REQUIREMENTS.
- K ALL DIMENSIONS AND ALIGNMENTS SHOWN TO BE VERIFIED IN FIELD. ALL DIMENSIONS SHOWN ARE TO FACE OF FINISH UNO.
- L ALL NEW FLOOR PENETRATIONS SHOULD BE FIRE CAULKED TO COMPLY WITH UL REQUIREMENTS FOR PENETRATIONS IN ANY FLOOR SLABS. PREP FOR NEW FINISHES.
- M GENERAL CONTRACTOR TO COORDINATE ADEQUATE TIME FOR ARCHITECT / INTERIOR DESIGNER APPROVAL OF PARTITION LAYOUT FOR DIMENSIONAL ACCURACY PRIOR TO INSTALLATION OF METAL FRAMING. GENERAL CONTRACTOR TO NOTIFY ARCHITECT / INTERIOR DESIGNER OF ALL CONFLICTS BETWEEN EXISTING CONDITIONS AND NEW WORK PLANS PRIOR TO FRAMING NEW WALLS.
- N ALL NEW DOORS SHALL BE 4" FROM FINISH FACE OF WALL TO INSIDE EDGE OF DOOR OPENING ON THE HINGE SIDE OF DOOR, UNO.
- P REFER TO SHEET A602 FOR DOOR SCHEDULE, DOOR TYPES, AND FOR HARDWARE SCHEDULE.

powers brown architecture

Architectural Consultant:
Powers Brown Architecture
354 Water Street,
Suite 402
St. John's, NL A1C 1C4
709.726.3941
www.powersbrown.com

PROJECT TITLE

WORKPLACE NL - INTERIOR FIT-OUT

148 FOREST ROAD
ST. JOHN'S, NL A1A 1E6

A PROJECT FOR
WORKPLACE NL

PLAN LEGEND

- NOT IN CONTRACT
- BUILDING CORE ELEMENTS
- INDICATES NEW MILLWORK
- INDICATES EXISTING MILLWORK TO REMAIN
- EXISTING CONSTRUCTION TO REMAIN
- NEW CONSTRUCTION
- EXISTING DOOR TO REMAIN
- NEW DOOR
- SUSPENDED 2' X 2' CEILING
- CARPET TILE
- CEILING HEIGHT SYMBOL
- 2' X 2' DIRECT/INDIRECT
- DUPLEX OUTLET - 110V, WALL MOUNTED
- DATA / TELEPHONE OUTLET - WALL MOUNTED NOTE: PROVIDE RING AND STRING
- DOOR RELEASE NOTE: FACE PLATE / WIRING CONNECTION BY SECURITY VENDOR

DATE	REVISION
2024-08-06	ISSUE FOR PERMIT
2024-11-06	ISSUE FOR TENDER

DATE	REVISION

PROJECT NO: 243034
DRAWN BY: CP, RH
CHECKED BY: CS, AK

SHEET NAME

TYPICAL MAIL ROOM PLANS

SEAL

SHEET NUMBER

A102

NEWFOUNDLAND AND LABRADOR
MEMBER
Carla King
Amanda Allard-Singharia, NLAA
Expires Dec 31 2024
Date: 2024-11-06
LICENSED TO PRACTICE
ASSOCIATION OF ARCHITECTS

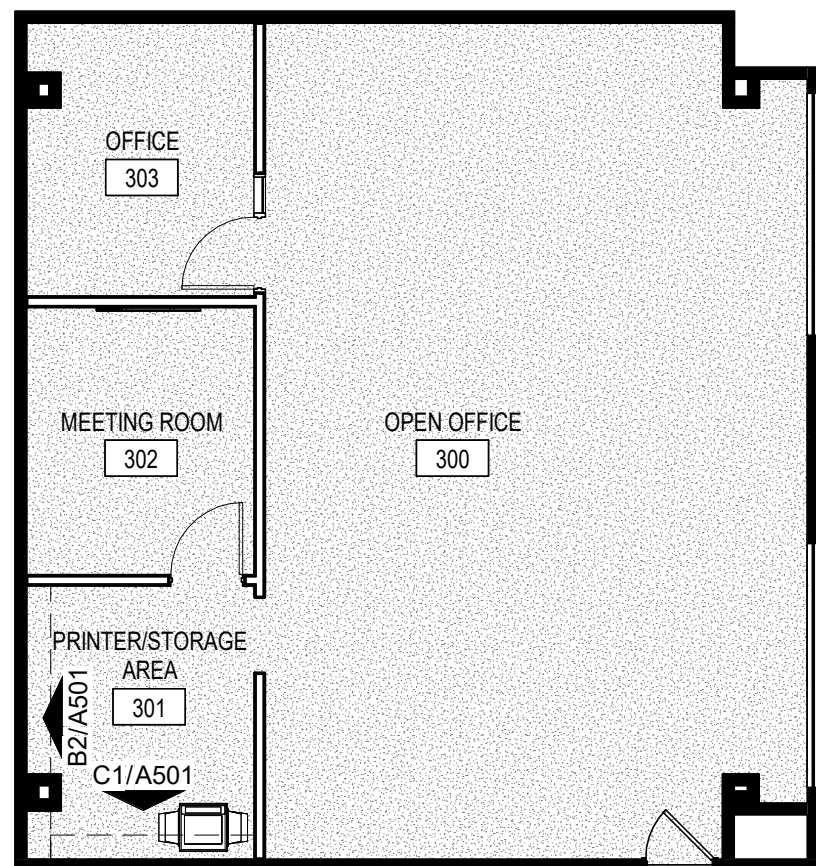
Autodesk Docs://243034_Workplace NL Interior Renovation/243034_ARCH_CS_R23.rvt

2024-11-06 3:40:19 PM

COPYRIGHT © 2024 POWERS BROWN ARCHITECTURE. THIS DRAWING AND THE ARCHITECTURAL WORKS DEPICTED THEREON ARE THE SOLE PROPERTY OF POWERS BROWN ARCHITECTURE. NO PORTION OF THIS DRAWING MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS WITHOUT THE EXPRESS WRITTEN CONSENT OF THE ARCHITECT.

FINISH PLAN GENERAL NOTES

- A ALL FLOORING TO BE TYPE [CP1] UNO.
- B ALL BASE TO BE TYPE [B1] UNO.
- C ALL WALLS TO BE TYPE [P1] UNO.
- D FLOAT ALL FLOORING TRANSITIONS AS REQUIRED AT DIFFERENT FLOORING MATERIALS FOR SMOOTH TRANSITION. FLOAT ALL AS REQUIRED FOR SMOOTH SURFACE.
- E ALL WALLS WITHIN THE AREA OF WORK, INCLUDING EXISTING WALLS SUCH AS THE BUILDING CORE, COLUMNS, AND EXTERIOR WALLS TO BE TAPED, FLOATED, AND SKIMMED SMOOTH FOR APPLICATION OF FINISHES.
- F ALL WALLS TO BE PAINTED WITH (1) PRIMER COAT PLUS (2) FINISH COATS MINIMUM.
- G ALL FLOORING TRANSITIONS SHALL OCCUR AT CENTER OF DOORWAYS, UNO. PROVIDE TRANSITION STRIP AT CENTERLINE FOR DOORWAYS OR CASED OPENINGS BETWEEN FLOORING TRANSITIONS.
- H PROVIDE FLOORING TRANSITION MATERIALS AT THE PROFILE AND FINISH AS INDICATED ON THE FINISH SCHEDULE. FLOAT SLAB AT FINISH TRANSITIONS FOR SMOOTH TRANSITIONS WHICH COMPLY WITH ACCESSIBILITY CODE REQUIREMENTS.
- J THE GENERAL CONTRACTOR TO FLOAT WALL ALL THE WAY TO FLOOR AS PREP FOR NEW BASE INSTALLATION.
- K SEAL ALL STONE AND GROUT PER MANUFACTURER SPECIFICATIONS.
- L ALL GROUT LINES SHALL BE NO GREATER THAN 1/16" WIDE. GROUT ALL LOCATIONS. IF MANUFACTURER RECOMMENDS LARGER GROUT SIZE, NOTIFY THE ARCHITECT / INTERIOR DESIGNER FOR APPROVAL PRIOR TO INSTALLING.
- M FOR ALL DOOR AND FRAME FINISHES, REFER TO FINISH SCHEDULE AND DOOR AND FRAME SCHEDULE.
- N GENERAL CONTRACTOR TO PREPARE ALL EXISTING AND NEW WALL SURFACES TO RECEIVE SPECIFIED WALL FINISHES PER MANUFACTURER'S INSTALLATION RECOMMENDATIONS. GENERAL CONTRACTOR TO VERIFY WITH MANUFACTURER THE REQUIRED BACKING FOR ALL FABRICS / WALLCOVERING PRIOR TO ORDERING.
- P ALL EXPOSED REGISTERS, CONNECTOR UNITS, HEAT PUMPS, GRILLS, AND OTHER FITTINGS TO BE PAINTED WITH SEMI-GLOSS FINISH TO MATCH ADJACENT FINISH.
- Q ALL WALLS TO RECEIVE WALLCOVERING SHALL RECEIVE (1) COAT OF PRIMER / SEALER APPROPRIATE TO SUBSTRATE AND WALLCOVERING.
- R ALL EXISTING STAIN GRADE DOORS WITHIN THE WORK AREA SHALL BE PATCHED AND RECEIVE STAIN FINISH TOUCH-UP AS REQUIRED TO MATCH NEW DOORS.
- S ALL EXISTING AND NEW BUILDING CORE PAINT GRADE DOORS AND DOOR FRAMES WITHIN THE WORK AREA SHALL BE PAINTED WITH SEMI-GLOSS PAINT TO MATCH ADJACENT WALL FINISH.
- T GENERAL CONTRACTOR TO PREPARE EXISTING SLAB FOR INSTALLATION OF FLOOR COVERING IN ACCORDANCE WITH ALL MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS. GENERAL CONTRACTOR TO REMOVE ALL FOREIGN MATTER INCLUDING DIRT, GREASE, WAX, OIL AND/OR PAINT, CRACKS, HOLES, AND DEPRESSIONS SHALL BE FILLED WITH QUALITY GRADE FLASHING.
- U GENERAL CONTRACTOR TO VERIFY WITH MANUFACTURER THE REQUIRED FINISH / SEALANT AND FLOOR LEVELING FOR ALL FLOORING PRIOR TO ORDERING.
- V ALL RUBBER BASE TO BE 1/8" THICKNESS. ALL RUBBER BASE AT CARPETING SHALL BE STRAIGHT STYLE AND COVE STYLE AT ALL OTHER LOCATIONS, UNO.
- W AT AREAS WHERE FLUSH BASE IS SPECIFIED, GENERAL CONTRACTOR TO PROVIDE (2) LAYERS OF GYP BD.

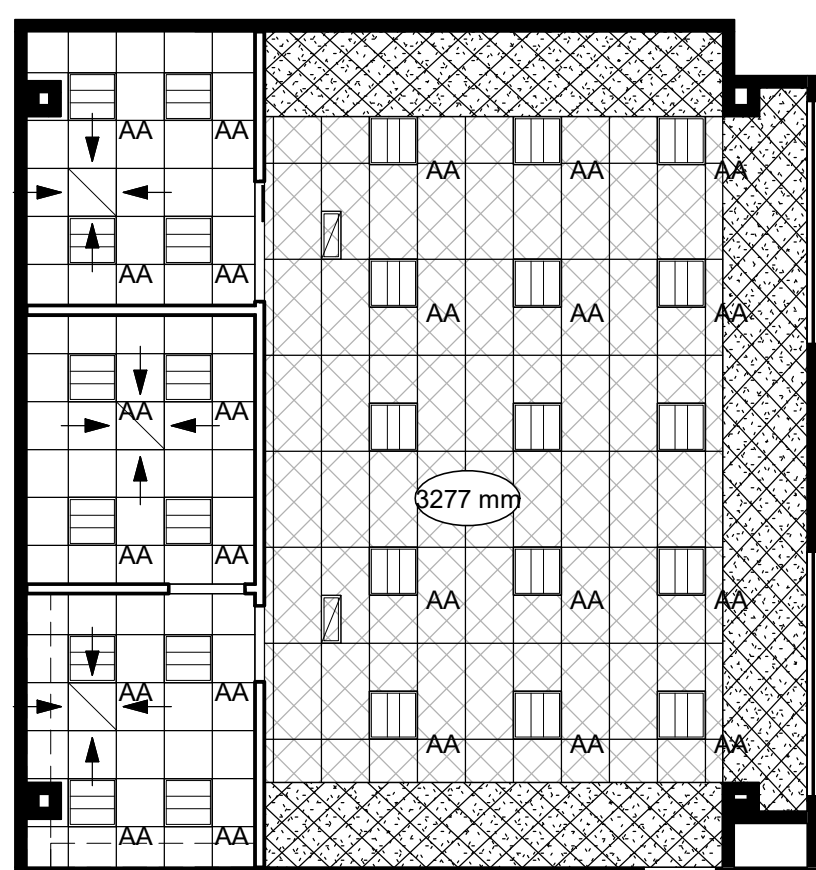


C4 TYPICAL IMAGING ROOM - LEVEL 03 - FINISH PLAN

SCALE: 1/8" = 1'-0"

REFLECTED CEILING PLAN GENERAL NOTES

- A. GENERAL CONTRACTOR TO FURNISH IN QUANTITY AND TYPE ALL LIGHT FIXTURES, DIFFUSERS, GRILLS, ETC AS SHOWN ON BOTH THE MECHANICAL, ELECTRICAL, AND ARCHITECTURAL CEILING PLANS. ANY OMISSION FROM ONE PLAN TO THE OTHER SHOULD NOT BE CONSTRUED TO MEAN AN OMISSION FROM THE CONTRACT. GENERAL CONTRACTOR TO BRING ANY DISCREPANCIES IN QUANTITY OR SPACING OF FIXTURES TO THE ATTENTION OF THE DESIGN TEAM PRIOR TO ORDERING OR INSTALLING ANY LIGHT FIXTURES OR MECHANICAL ITEMS.
- B. ALL MULTIPLE SWITCHES TO BE BANKED WITH (1) COVER PLATE.
- C. ALL LIGHT SWITCHING AND ANY REQUIRED DAYLIGHT HARVESTING MUST BE COORDINATED WITH LOCAL ENERGY CODES AND DESIGNED BY THE ELECTRICAL ENGINEER.
- D. ALL FIRE ALARM AND VISUAL ALARM REQUIREMENTS SHOULD BE COORDINATED WITH FIRE PROTECTION CONSULTANTS TO CONFIRM INSTALLATION REQUIREMENTS AND COMPLIANCE WITH LOCAL BUILDING CODES.
- E. GENERAL CONTRACTOR TO VERIFY AVAILABLE CEILING PLENUM HEIGHT BASED ON ELEVATIONS OF DUCTWORK, SPRINKLER LINES, AND CONDUIT LOCATIONS. CONFIRM LIGHT FIXTURE HEIGHT WITH AVAILABLE PLENUM SPACE PRIOR TO COMMENCING CEILING FRAMING. GENERAL CONTRACTOR TO NOTIFY ARCHITECT / INTERIOR DESIGNER OF ALL LIGHT FIXTURE CONFLICTS.
- F. ALL RECESSED LIGHTS ARE TO BE CENTERED ON THE CEILING TILE IN BOTH DIRECTIONS UNO.
- G. GENERAL CONTRACTOR TO COORDINATE COMPATIBILITY OF ALL LIGHT FIXTURE TRIMS AND MECHANICAL DIFFUSERS AND GRILLS WITH SPECIFIED CEILING GRID OR OTHER CEILING TYPES PRIOR TO ORDERING.
- H. REFER TO ARCHITECTURAL CEILING PLAN FOR LOCATION AND ORIENTATION OF ALL LIGHT FIXTURES. REFER TO ARCHITECTURAL LIGHT FIXTURE SCHEDULES FOR FIXTURE FINISHES.
- J. REFER TO MECHANICAL & ELECTRICAL DRAWINGS FOR EXIT LIGHTS, EMERGENCY LIGHTS, SMOKE DETECTORS, FIRE ALARM PULL STATIONS, AND OTHER LIFE SAFETY DEVICE LOCATIONS AND INFORMATION.
- K. GENERAL CONTRACTOR TO OBTAIN APPROVAL FROM THE ARCHITECT / INTERIOR DESIGNER ON ANY LIGHTING FIXTURE SUBSTITUTIONS PROPOSED PRIOR TO BIDDING AND ORDERING ANY FIXTURES.
- L. ALL NEW SUSPENDED CEILING GRID SHALL BE CENTERED IN ALL CLOSED ROOMS UNO.
- M. ALL CEILING HEIGHTS TO BE 9'-0" AFF UNO.
- N. ALL CEILING TO BE TYPE [C1] UNO.

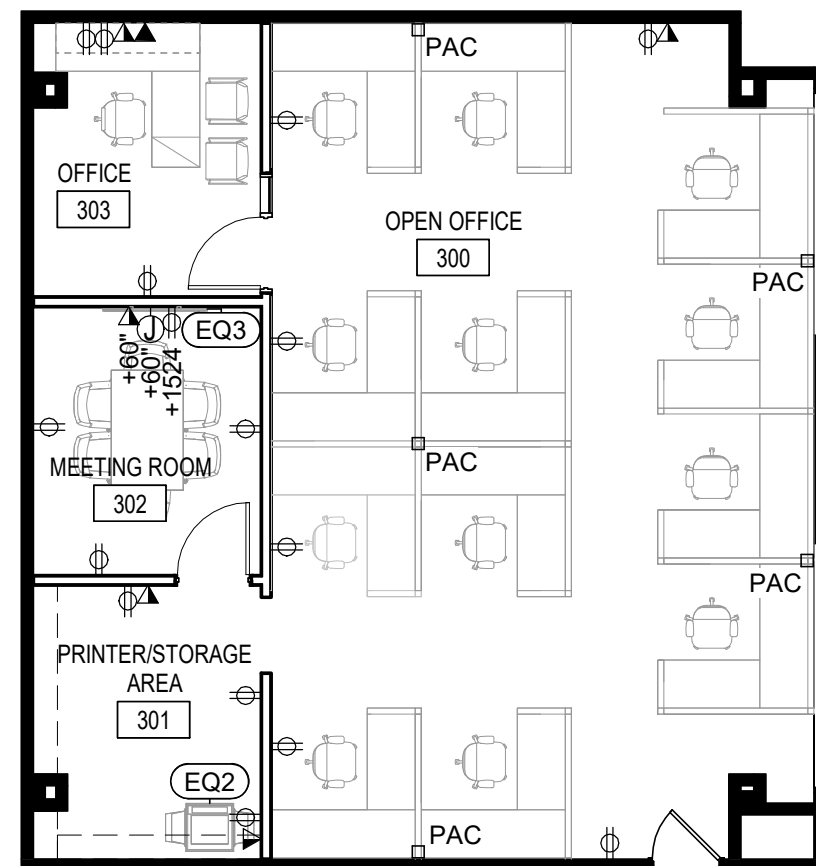


A4 TYPICAL IMAGING ROOM - LEVEL 03 - REFLECTED CEILING PLAN

SCALE: 1/8" = 1'-0"

POWER AND EQUIPMENT PLAN GENERAL NOTES

- A. ANY DISCREPANCIES BETWEEN THE ARCHITECTURAL POWER PLAN AND ENGINEER'S ELECTRICAL POWER PLAN TO BE BROUGHT TO THE ARCHITECT / INTERIOR DESIGNER PRIOR TO PROCEEDING.
- B. IF AN EXISTING OUTLET IS LOCATED WHERE A NEW OUTLET IS SHOWN, REUSE EXISTING IN LIEU OF ADDING AN OUTLET.
- C. ALL OUTLETS AT WET AREAS TO BE GFCI AS REQUIRED.
- D. ADD GYP BD FURRING TO COLUMNS AND CORRIDOR WALLS WHEN ADDING NEW ELECTRICAL IF REQUIRED TO MAINTAIN EXISTING FIRE RATING.
- E. ELECTRICAL, TELEPHONE AND DATA LINES SHOWN IN SOUND RATED PARTITIONS SHALL NOT BE PLACED BACK TO BACK, OFFSET AT LEAST ONE STUD AND SEAL FOR SOUND AS REQUIRED. COORDINATE STAGGERED LOCATIONS WITH TENANT FURNITURE.
- F. WHEN ADDING FLOOR OUTLETS, ALLOW FOR (2) CORE DRILLS: (1) AT FLOOR OUTLET AND (1) AT WALL LOCATION TO BE DETERMINED. PROVIDE AND INSTALL CONDUIT FROM FLOOR OUTLET TO ADJACENT WALL WITH PULL STRING. UNO. COORDINATE FLUSH FLOOR ELECTRICAL OUTLET WITH STRUCTURE BELOW AND WITH FURNITURE PLANS. VERIFY THE LOCATION OF ALL CORE DRILL PENETRATIONS WITH ARCHITECT / INTERIOR DESIGNER PRIOR TO GPR / X-RAY.
- G. GENERAL CONTRACTOR TO PROVIDE PULL STRING AT ALL NEW TELEPHONE / DATA RECEPTACLE LOCATIONS TO AN ACCESSIBLE CEILING LOCATION. PROVIDE (2) PULL STRINGS AT ALL TELEPHONE/DATA COMBO LOCATIONS. GENERAL CONTRACTOR TO COORDINATE ALL TELEPHONE/DATA WORK WITH TENANT CABLING, SECURITY, AND AV VENDORS.
- H. ALL NEW OUTLETS, SWITCHES, COVER PLATES THAT OCCUR ON STONE, SOLID SURFACE, MILLWORK, GLASS, WOOD PANELING, OR WALLCOVERING TO BE BRUSHED STAINLESS STEEL. ALL OTHER COVER PLATES AT PAINTED WALLS TO BE WHITE.
- J. ALL OUTLETS, SWITCHES, AND STROBES PLACED ABOVE EACH OTHER OR NEXT TO EACH OTHER TO BE ALIGNED VERTICALLY OR HORIZONTALLY WITH EACH OTHER ON THE WALL.
- K. GROUP TOGETHER, AS TIGHT AS POSSIBLE, ALL ELECTRICAL, TELEPHONE, AND DATA OUTLETS / RECEPTACLES SHOWN ADJACENT TO EACH OTHER.
- L. COORDINATE POWER OUTLET LOCATIONS WITH FURNITURE PLAN AS REQUIRED.
- M. ALL ABOVE COUNTER DEVICES ARE TO BE ORIENTED HORIZONTALLY 42" AFF, UNO.
- N. GENERAL CONTRACTOR TO LAY OUT THE LOCATION OF ALL PROPOSED OUTLETS FOR FIELD VERIFICATION BY ARCHITECT / INTERIOR DESIGNER PRIOR TO ACTUAL INSTALLATION OF OUTLETS, DATA, POKE-THROUGHS, AND JUNCTION BOXES. GENERAL CONTRACTOR TO REVIEW AND COORDINATE ALL ELECTRICAL DEVICES WITH MILLWORK ITEMS.
- P. ALL MOUNTING HEIGHTS ARE TO THE CENTERLINE OF THE DEVICE AFF, UNO. ALL THERMOSTATS AND SWITCHES TO BE MOUNTED AT 48" AFF.
- Q. CONFORMANCE OF ALL APPLICABLE CODES SHALL BE THE RESPONSIBILITY OF THE ELECTRICAL ENGINEER AND THE GENERAL CONTRACTOR. ALL ELECTRICAL WORK AND MATERIALS SHALL CONFORM WITH NEC AND OTHER APPLICABLE ORDINANCES. WHEN CONFLICT OCCURS, THE MOST RESTRICTIVE SHALL APPLY.
- R. ALL FURNITURE SIZES AND FURNITURE PLACEMENT ARE SCHEMATIC. EXACT FURNITURE SIZE TO BE COORDINATED WITH TENANT'S FURNITURE VENDOR.
- S. ALL OUTLETS TO BE MOUNTED AT 18" AFF, UNO.

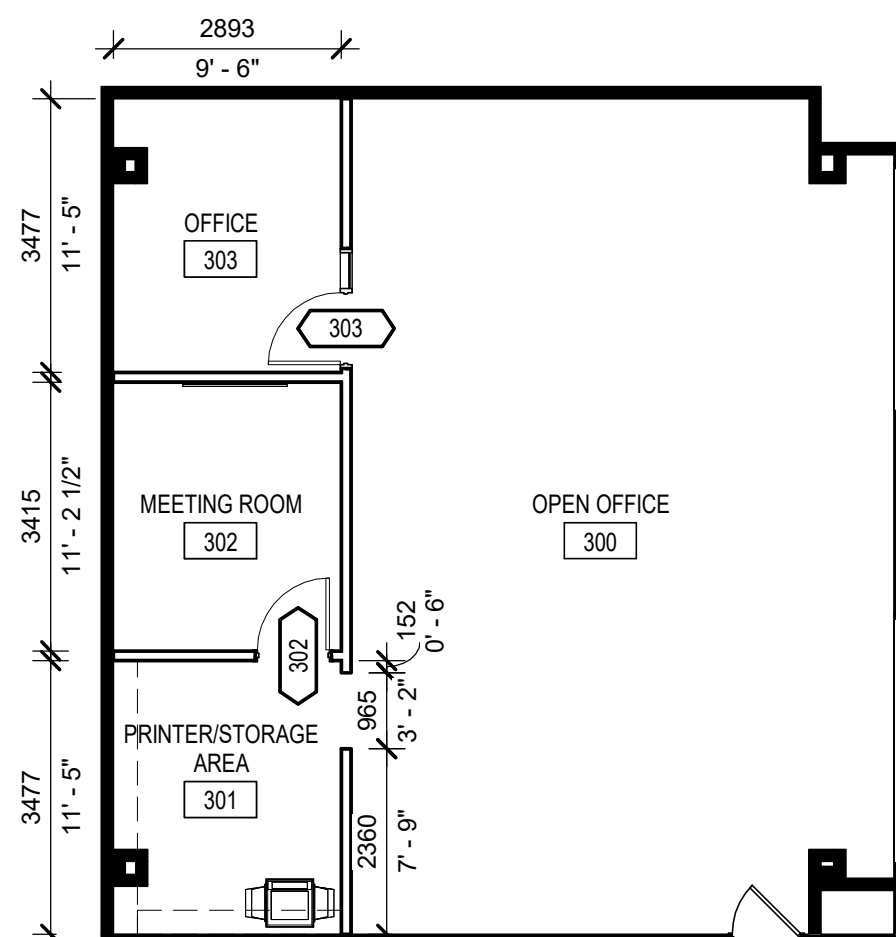


C2 TYPICAL IMAGING ROOM - LEVEL 03 - POWER & EQUIPMENT PLAN

SCALE: 1/8" = 1'-0"

FLOOR PLAN GENERAL NOTES

- A ALL ALTERATIONS TO MEET CURRENT LOCAL ACCESSIBILITY CODES AND CURRENT MUNICIPALITY REQUIREMENTS.
- B THE ARCHITECT / INTERIOR DESIGNER IS NOT RESPONSIBLE FOR ANY ALTERATIONS MADE WITHOUT PRIOR APPROVAL FROM THE GOVERNING AUTHORITY.
- C GENERAL CONTRACTOR IS TO DETERMINE FIRE RATING OF EXISTING COMPONENTS AND MATCH FIRE RATING AS REQUIRED FOR ANY NEW WORK, WHICH INCLUDES REPAIR OR REPLACEMENT OF FIRE RATED WALLS OR FOR ANY NEW PENETRATIONS IN FIRE RATED COMPONENTS. GENERAL CONTRACTOR IS TO NOTIFY THE ARCHITECT / INTERIOR DESIGNER IMMEDIATELY IF ANY FIRE RATED COMPONENTS ARE UNCOVERED DURING DEMOLITION THAT WERE NOT IDENTIFIED ON THE CONSTRUCTION DOCUMENTS.
- D GENERAL CONTRACTOR IS RESPONSIBLE FOR PATCHING AND REPAIRING ANY SPRAY-APPLIED FIRE PROOFING THAT IS ON EXISTING STRUCTURAL ELEMENTS IF IT IS DISTURBED OR DAMAGED DURING CONSTRUCTION. REPAIR MUST BE DONE TO COMPLY WITH UL LISTING REQUIREMENTS FOR THE SYSTEM AND MUST ALSO COMPLY WITH EXISTING FIRE RATINGS.
- E ALL NEW WALL PARTITIONS TO BE TYPE 'A3D' UNO. SEE SHEET A601 FOR PARTITION TYPES AND DESCRIPTIONS.
- F PATCH / TAPE / FLOAT ALL EXISTING WALLS INCLUDING PERIMETER WALLS AND INTERIOR COLUMN ENCLOSURES AT NEW WALL LOCATIONS AS REQUIRED. FLOAT ALL EXISTING WALLS TO REMAIN IN PREP OF NEW FINISH.
- G PATCH AND REPAIR EXISTING PERIMETER GYP BD SURFACES AT EXTERIOR WALLS AND INTERIOR COLUMNS. GENERAL CONTRACTOR TO PROVIDE GYP BD FURRING WALLS AT ALL EXPOSED STRUCTURAL COLUMNS AND CMU BLOCK WALLS UNO.
- H ADD GYP BD FURRING AT CORE WALLS TO ALLOW FOR INSTALLATION OF NEW ELECTRICAL DEVICES, AS REQUIRED. ENSURE ANY PENETRATIONS IN EXISTING CORE WALLS COMPLY WITH EXISTING FIRE RATING IF APPLICABLE.
- J PROVIDE FIRE RATED BLOCKING IN WALLS AS REQUIRED FOR INSTALLATION OF NEW MILLWORK, FLAT PANEL DISPLAYS AND EQUIPMENT, SHELVING, ETC. GENERAL CONTRACTOR TO COORDINATE ALL BLOCKING REQUIREMENTS WITH THE POWER PLANS, ELEVATIONS, DETAILS, AND MANUFACTURER'S REQUIREMENTS.
- K ALL DIMENSIONS AND ALIGNMENTS SHOWN TO BE VERIFIED IN FIELD. ALL DIMENSIONS SHOWN ARE TO FACE OF FINISH UNO.
- L ALL NEW FLOOR PENETRATIONS SHOULD BE FIRE CAULKED TO COMPLY WITH UL REQUIREMENTS FOR PENETRATIONS IN ANY FLOOR SLABS. PREP FOR NEW FINISHES.
- M GENERAL CONTRACTOR TO COORDINATE ADEQUATE TIME FOR ARCHITECT / INTERIOR DESIGNER APPROVAL OF PARTITION LAYOUT FOR DIMENSIONAL ACCURACY PRIOR TO INSTALLATION OF METAL FRAMING. GENERAL CONTRACTOR TO NOTIFY ARCHITECT / INTERIOR DESIGNER OF ALL CONFLICTS BETWEEN EXISTING CONDITIONS AND NEW WORK PLANS PRIOR TO FRAMING NEW WALLS.
- N ALL NEW DOORS SHALL BE 4" FROM FINISH FACE OF WALL TO INSIDE EDGE OF DOOR OPENING ON THE HINGE SIDE OF DOOR, UNO.
- P REFER TO SHEET A602 FOR DOOR SCHEDULE, DOOR TYPES, AND HARDWARE SCHEDULE.



A2 TYPICAL IMAGING ROOM - LEVEL 03 - FLOOR PLAN

SCALE: 1/8" = 1'-0"

powers brown architecture

Architectural Consultant:
Powers Brown Architecture
354 Water Street,
Suite 402
St. John's, NL A1C 1C4
709.726.3941
www.powersbrown.com

PROJECT TITLE

WORKPLACE NL - INTERIOR FIT-OUT

148 FOREST ROAD
ST. JOHN'S, NL A1A 1E6

A PROJECT FOR
WORKPLACE NL

PLAN LEGEND

- NOT IN CONTRACT
- BUILDING CORE ELEMENTS
- INDICATES NEW MILLWORK
- INDICATES EXISTING MILLWORK TO REMAIN
- EXISTING CONSTRUCTION TO REMAIN
- NEW CONSTRUCTION
- EXISTING DOOR TO REMAIN
- NEW DOOR
- SUSPENDED 2' X 2' CEILING
- EXISTING 2' X 4' CEILING TO REMAIN
- CEILING HEIGHT SYMBOL
- 2' X 2' DIRECT/INDIRECT
- DUPLIX OUTLET - 110V, WALL MOUNTED
- DUPLIX OUTLET (DEDICATED) - 110V, WALL MOUNTED
NOTE: FOR EQUIPMENT - SEE MFR REQ
- DATA / TELEPHONE OUTLET - WALL MOUNTED NOTE: PROVIDE RING AND STRING
- PAC POWER AND COMMUNICATIONS POLE, DUAL CHANNEL, FROM CEILING TO INTO SYSTEMS FURNITURE.
- CARPET TILE

DATE	REVISION
2024-08-06	ISSUE FOR PERMIT
2024-11-06	ISSUE FOR TENDER

DATE	REVISION
2024-08-06	ISSUE FOR PERMIT
2024-11-06	ISSUE FOR TENDER

PROJECT NO: 243034
DRAWN BY: JM, CP
CHECKED BY: CS, AK

SHEET NAME

TYPICAL IMAGING ROOM PLANS

SEAL SHEET NUMBER

A103

NEWFOUNDLAND AND LABRADOR MEMBER
Amanda Allard-Singharia, NLAA
Expires Dec 31 2024
Date: 2024-11-06
LICENSED TO PRACTICE
ASSOCIATION OF ARCHITECTS

Autodesk Docs://243034_Workplace NL Interior Renovation/243034_ARCH_CS_R23.rvt

2024-11-06 3:40:20 PM

COPYRIGHT © 2024 POWERS BROWN ARCHITECTURE. THIS DRAWING AND THE ARCHITECTURAL WORKS DEPICTED THEREIN ARE THE SOLE PROPERTY OF POWERS BROWN ARCHITECTURE. NO PORTION OF THIS DRAWING MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE EXPRESS WRITTEN CONSENT OF THE ARCHITECT.

PROJECT TITLE

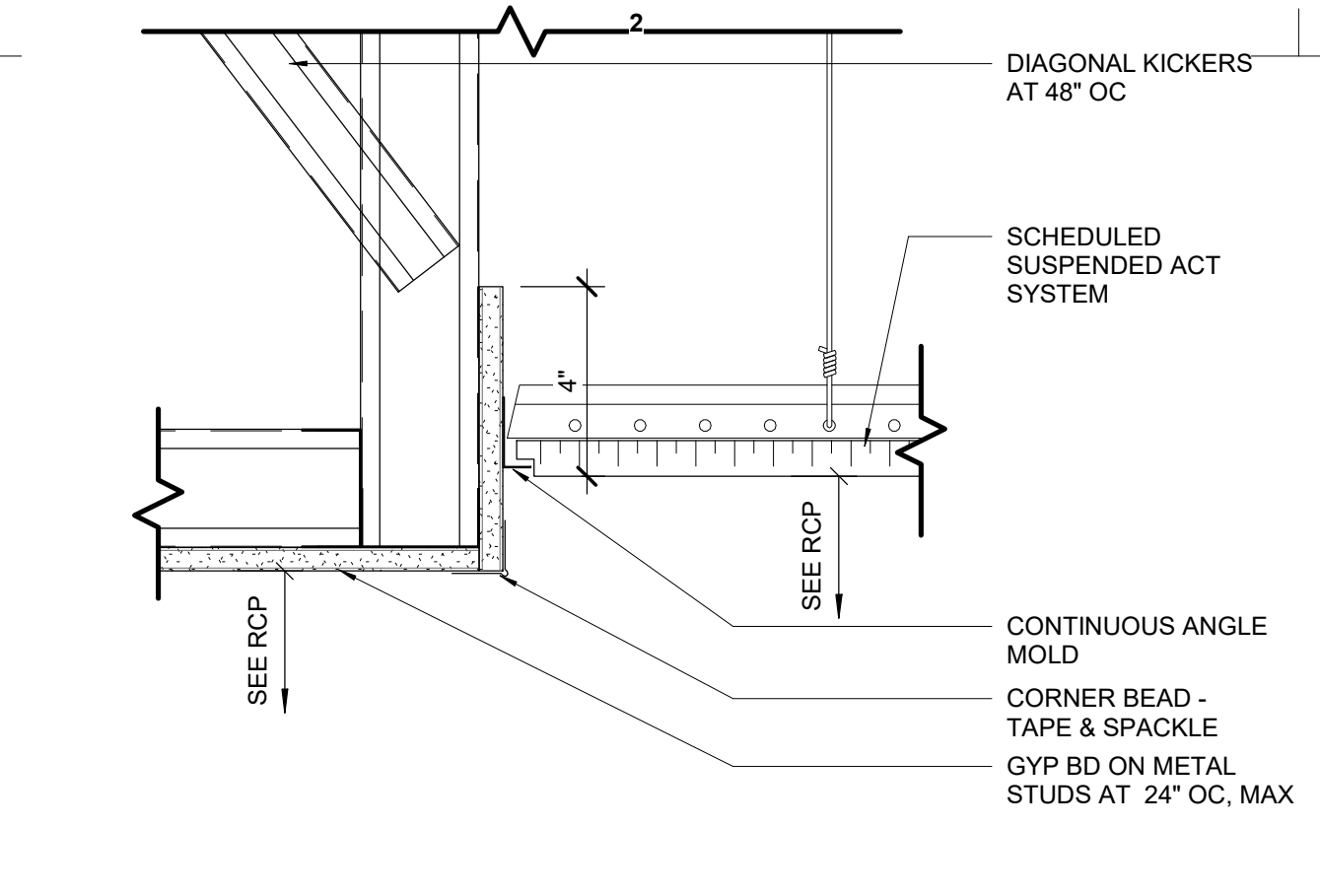
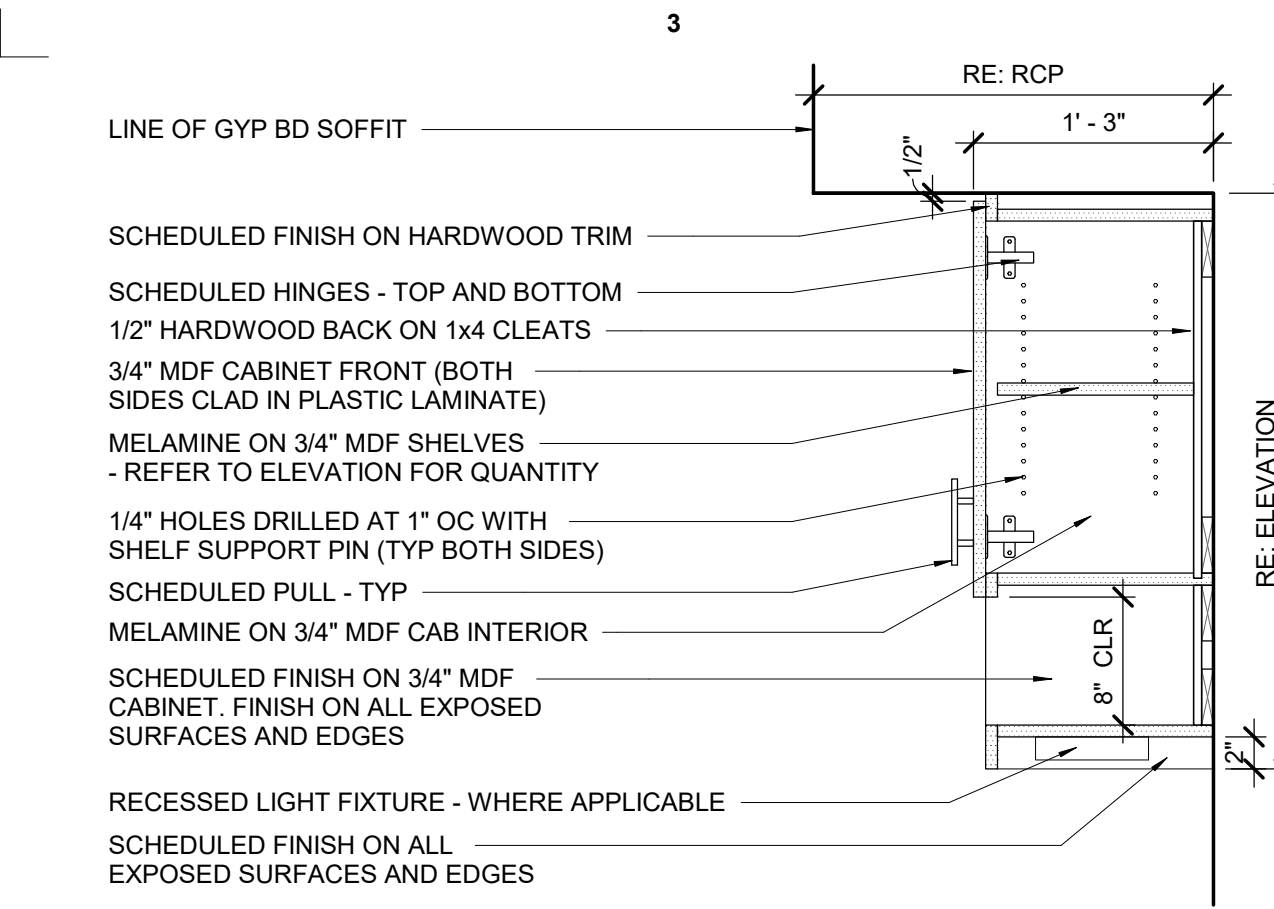
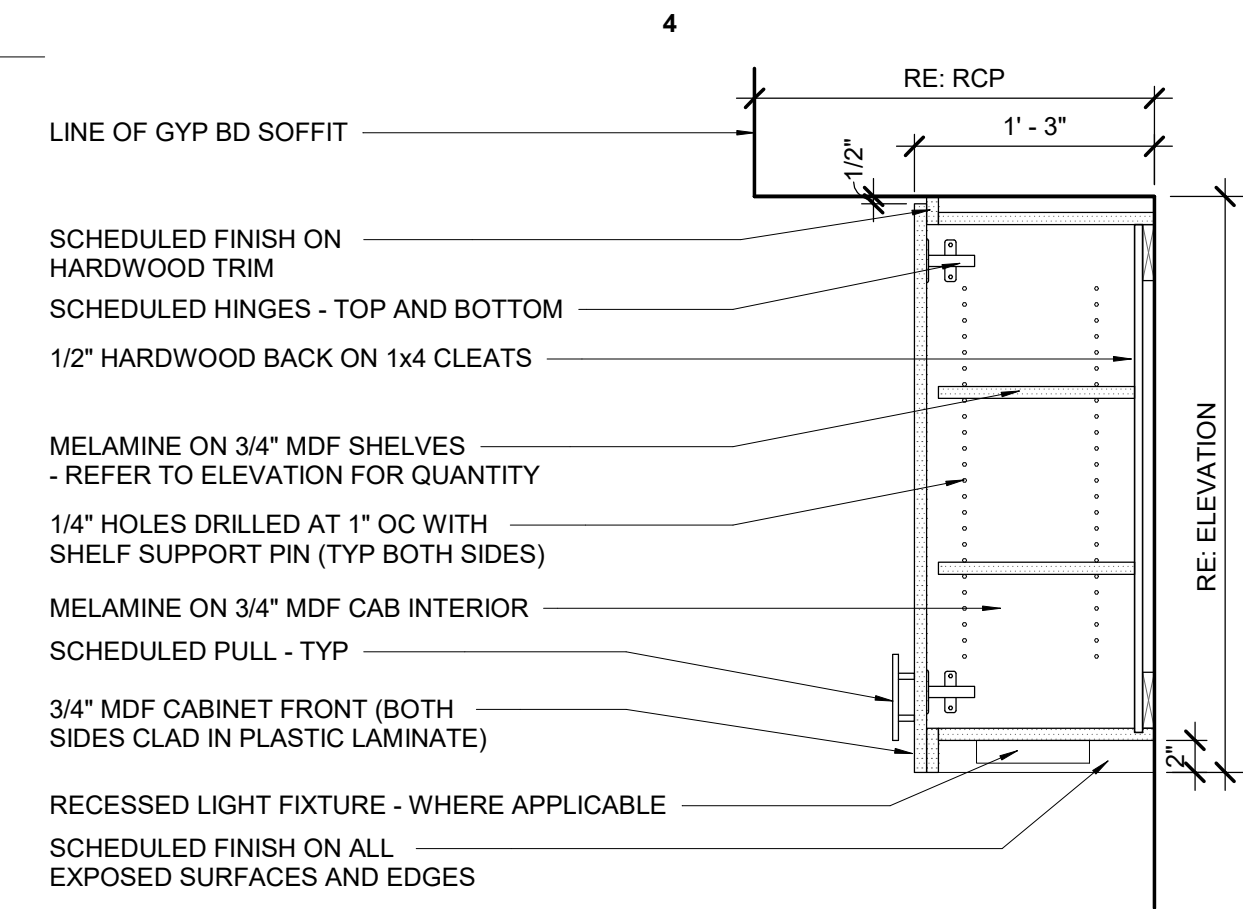
WORKPLACE NL - INTERIOR FIT-OUT

148 FOREST ROAD
 ST. JOHN'S, NL A1A 1E6

A PROJECT FOR
WORKPLACE NL

GENERAL NOTES

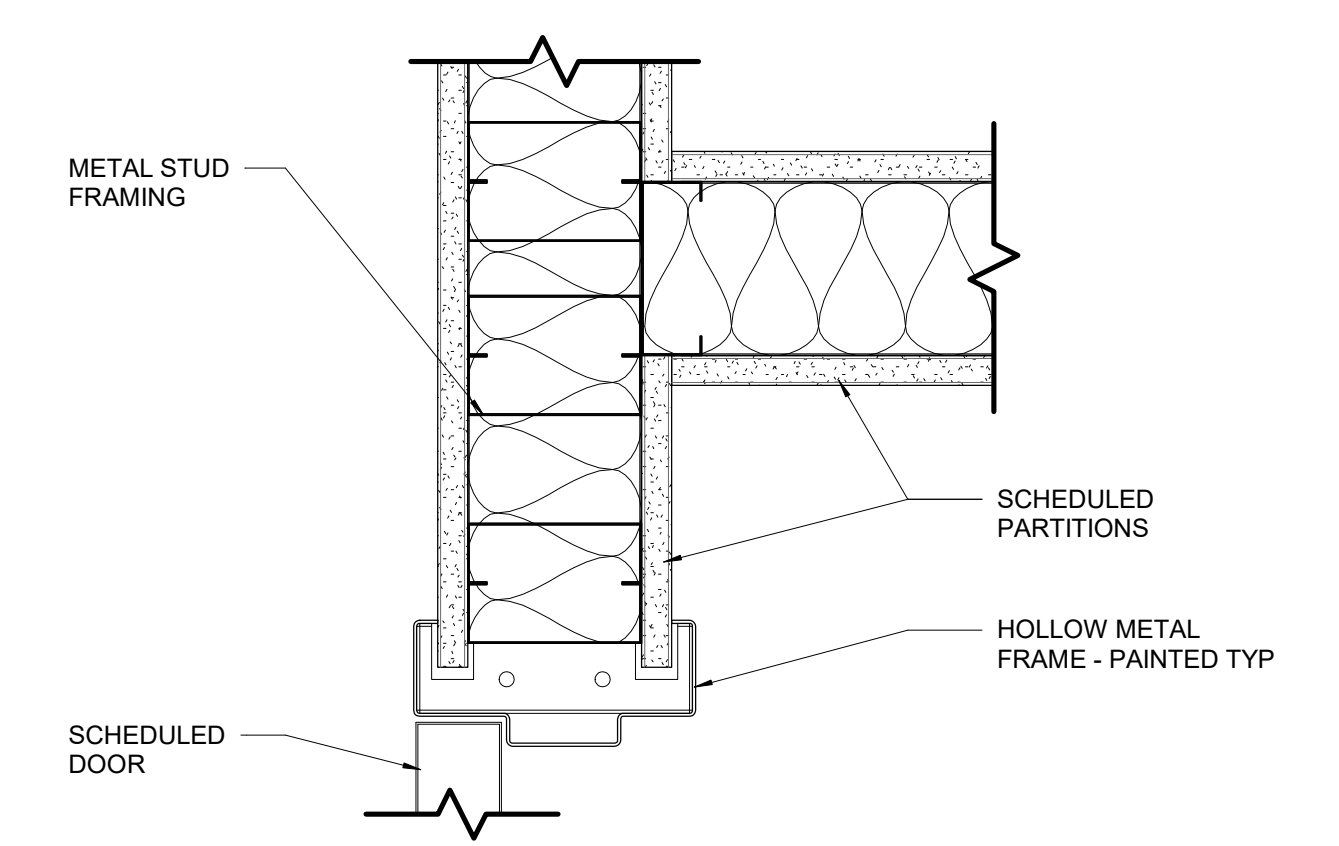
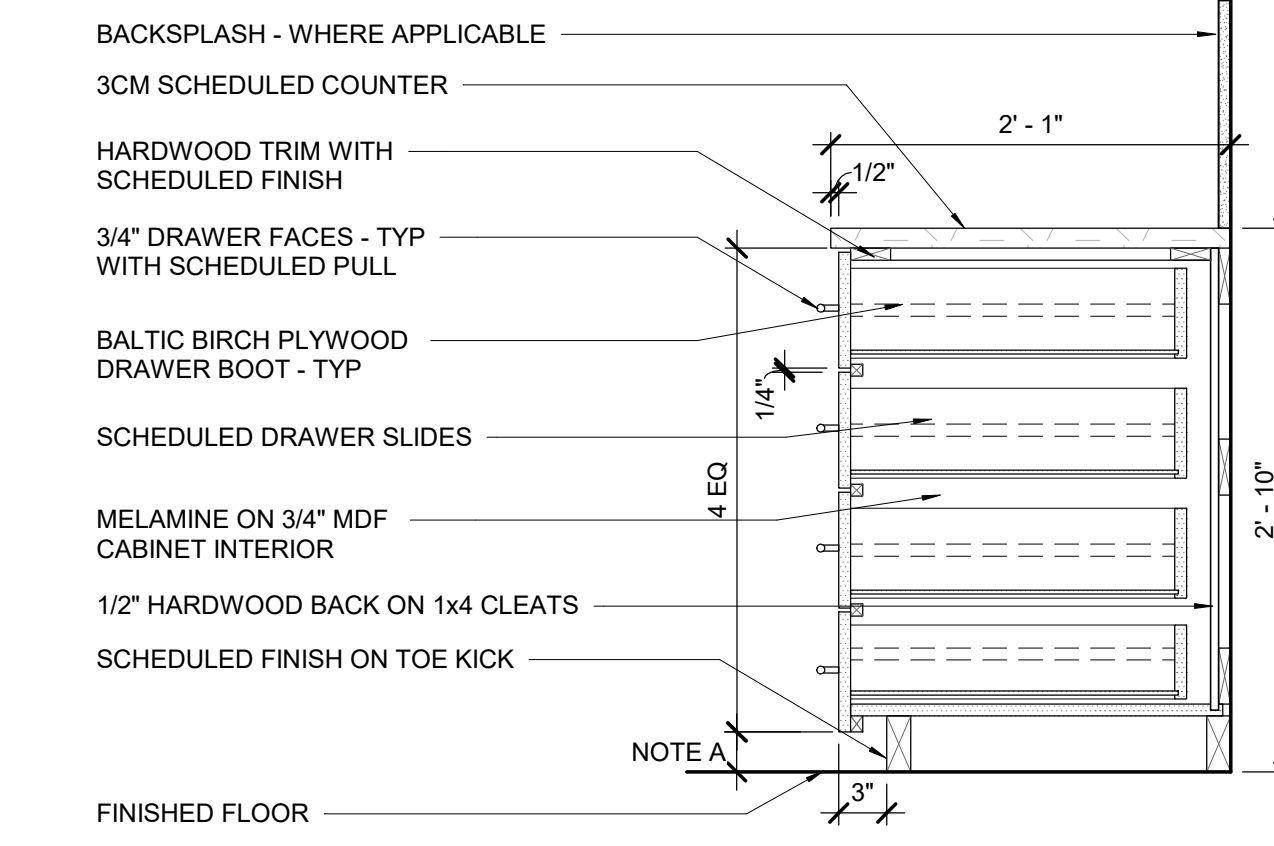
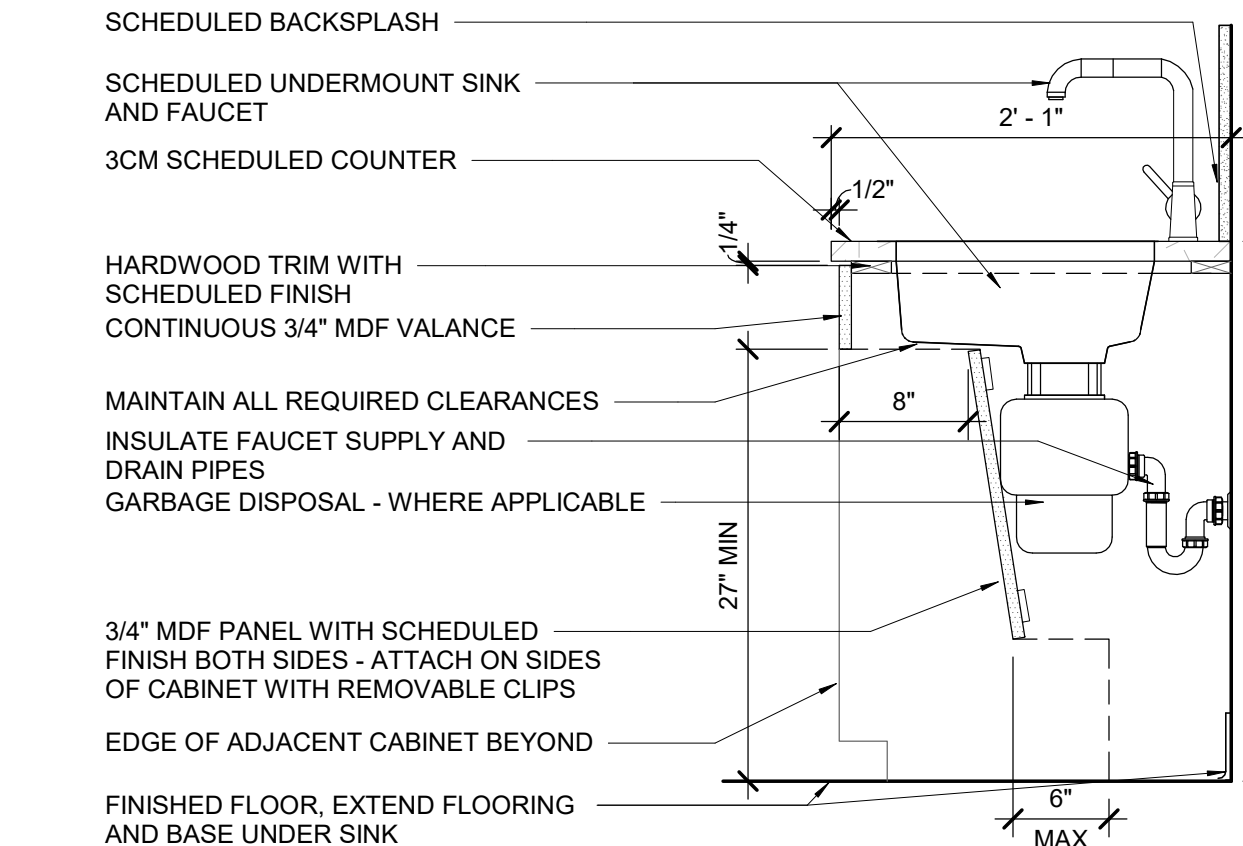
- A. HEIGHT OF TOE KICK AT MILLWORK CABINETS TO MATCH ADJACENT BASE HEIGHT, UNO.
- B. ALL MILLWORK TO BE CONSTRUCTED PER AWI PREMIUM GRADE SPECIFICATIONS.
- C. SCHEDULED HINGES TO BE FULLY CONCEALED 170 DEGREE OPENING, SOFT CLOSE UNO.
- D. SCHEDULED DRAWER SLIDES TO BE FULL EXTENSION BALL BEARING GLIDES, 100 POUND RATING MIN.
- E. UNLESS OTHERWISE NOTED, ALL TV LOCATIONS CONTRACTOR TO PROVIDE FRT BLOCKING INSIDE PARTITION FOR MOUNTING, TENANT VENDOR TO PROVIDE MOUNTING BRACKET AND TV WITH CONTRACTOR TO INSTALL. CONTRACTOR TO LAYOUT TV NICHE DEVICES WITH TV AND TV MOUNT SPECS TO ENSURE DEVICES WILL BE HIDDEN AFTER INSTALL IS COMPLETE. COORDINATE EXACT PLACEMENT WITH TENANT VENDOR IN FIELD.
- F. ALL DEVICES LOCATED BELOW TV NICHE TO BE CENTERED ON TV NICHE AS SHOWN IN ELEVATIONS. DEVICES BEHIND TV TO BE COORDINATED WITH TENANT TV MOUNTS PRIOR TO DEVICE INSTALLATION. COORDINATE WITH AV VENDOR.



D4 UPPER CABINET - TYP
 SCALE: 1" = 1'-0"

D3 UPPER CABINET - DOOR W/OPEN CUBBY
 SCALE: 1" = 1'-0"

D2 GYP BD TO ACT
 SCALE: 3" = 1'-0"

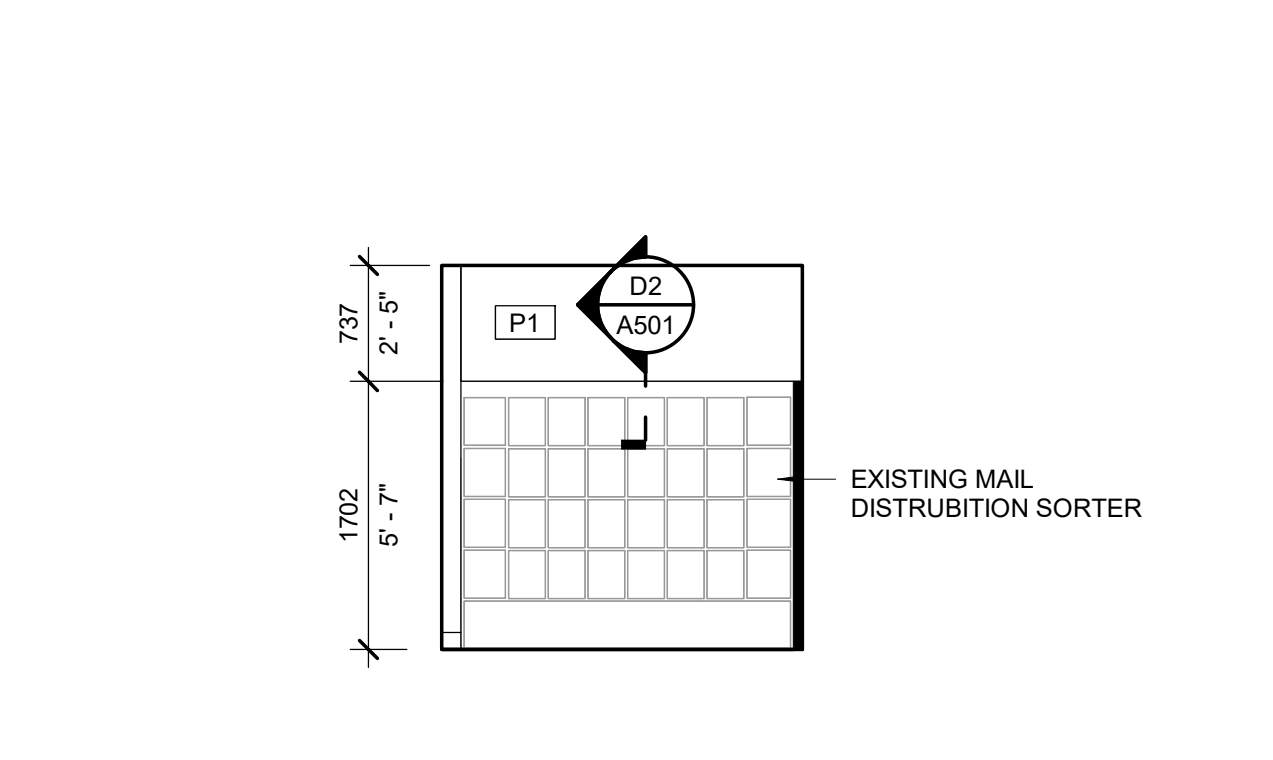
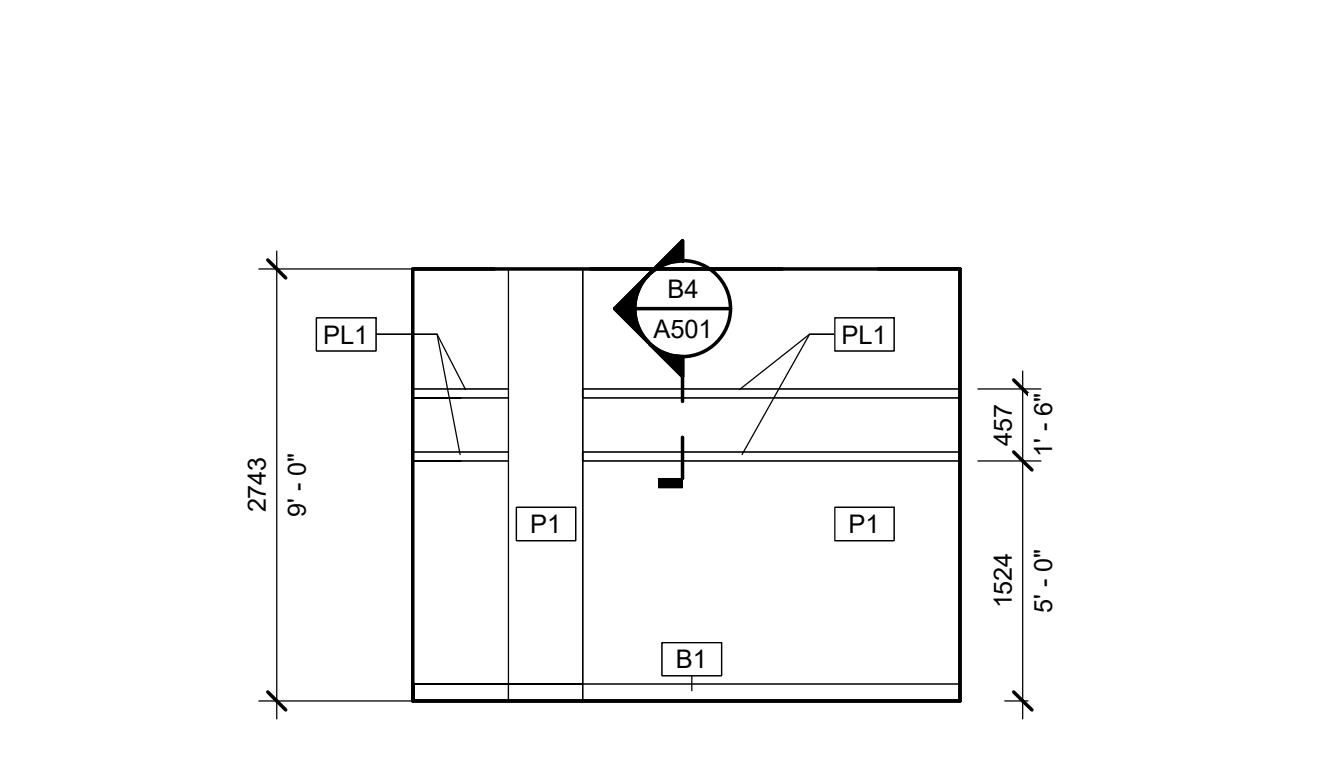
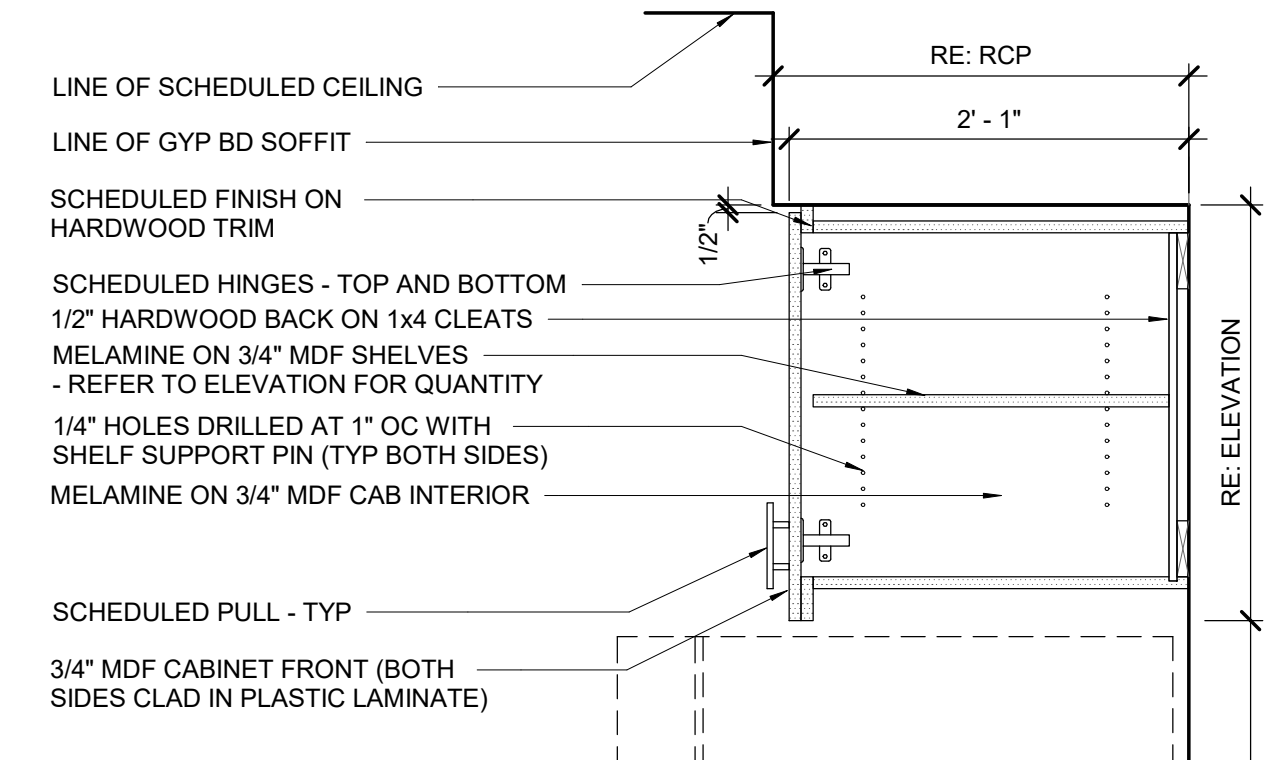
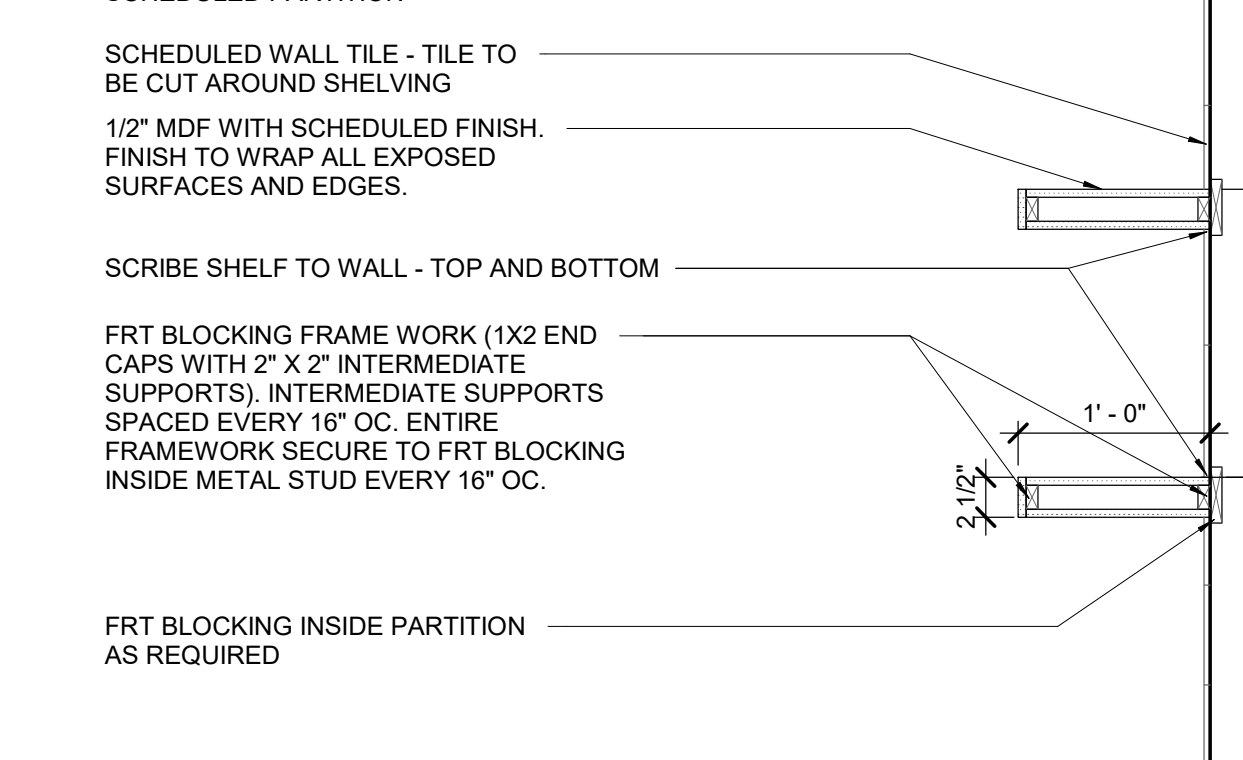


C4 BASE CABINET AT SINK ADA SKIRT
 SCALE: 1" = 1'-0"

C3 BASE CABINET - 4 DRAWERS
 SCALE: 1" = 1'-0"

C2 HOLLOW METAL DOOR FRAME JAMB - INTERIOR
 SCALE: 3" = 1'-0"

C1 INT. ELEV. - PRINTER/STORAGE AREA 301 (S)
 SCALE: 1/4" = 1'-0"

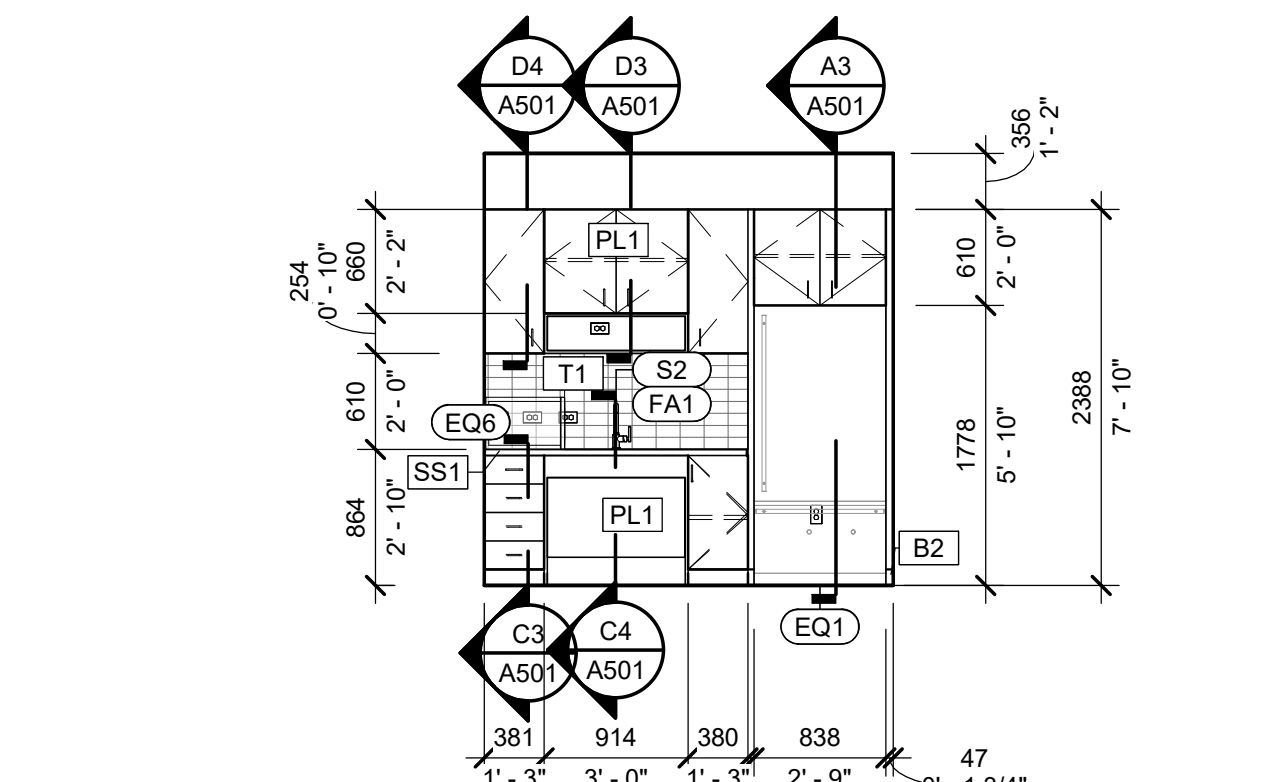
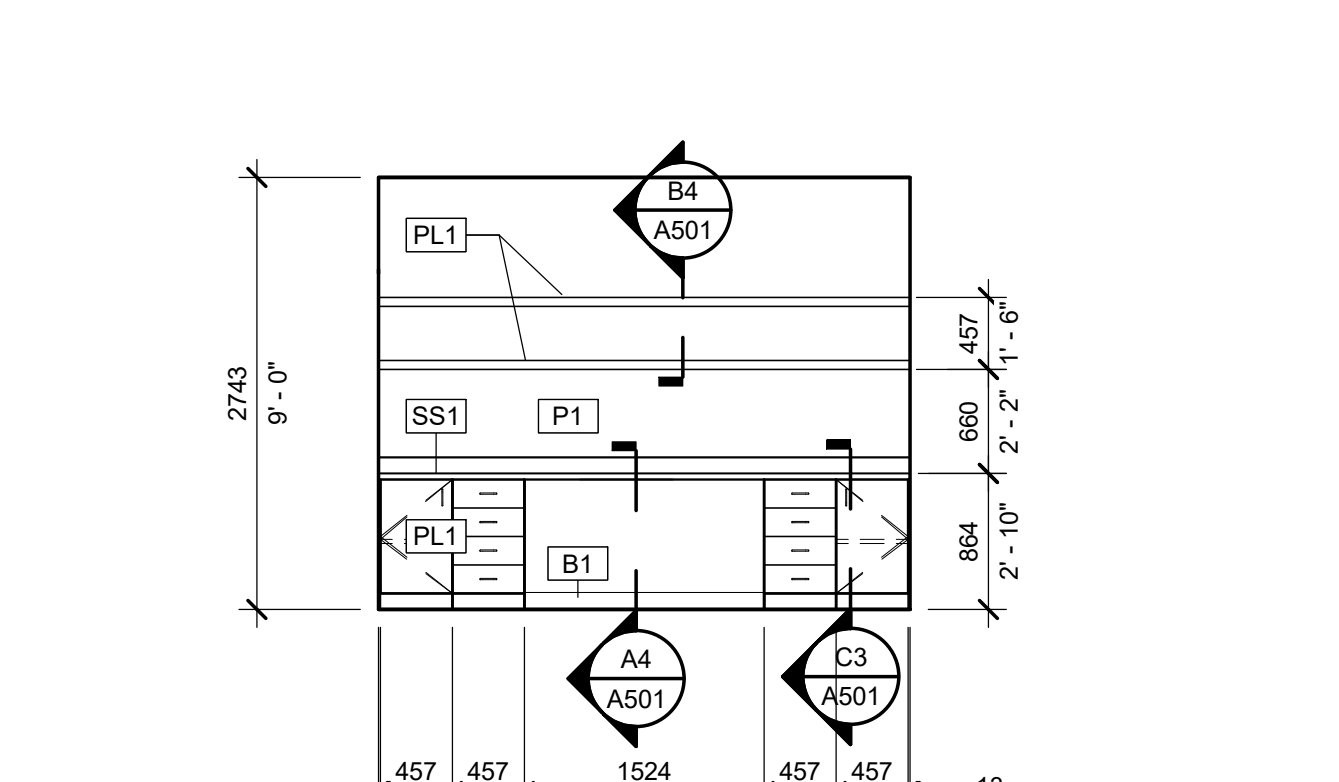
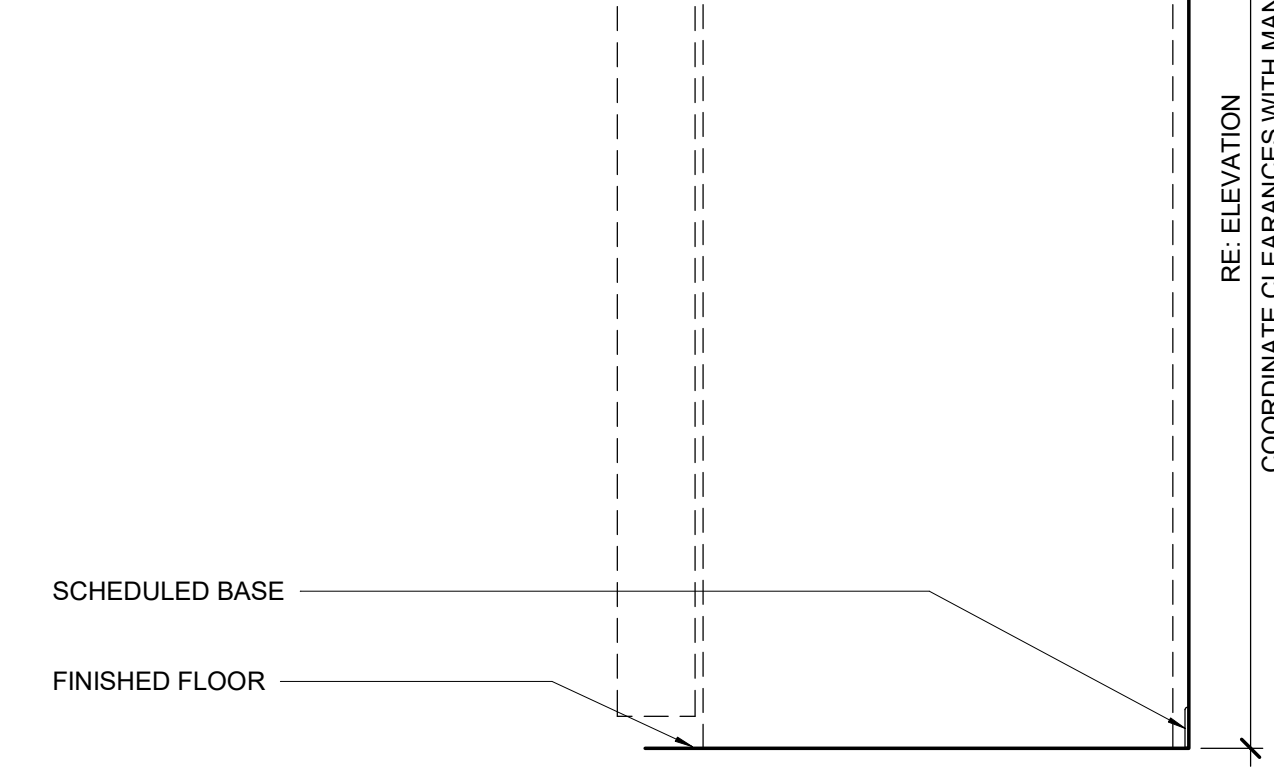
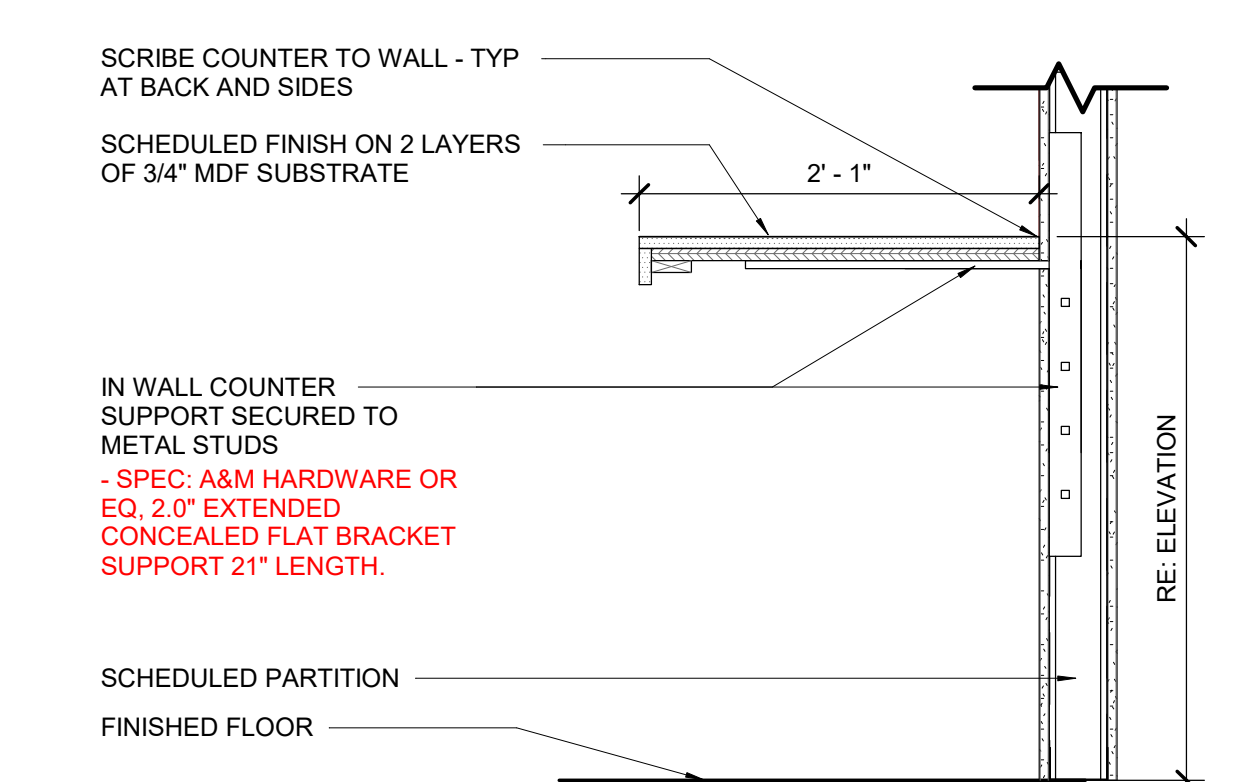


B4 FIXED SHELVES
 SCALE: 1" = 1'-0"

C3 BASE CABINET - 4 DRAWERS
 SCALE: 1" = 1'-0"

B2 INT. ELEV. - PRINTER/STORAGE AREA 301 (W)
 SCALE: 1/4" = 1'-0"

B1 INTERIOR ELEVATION - MAIL ROOM 200
 SCALE: 1/4" = 1'-0"



A4 COUNTER W/HIDDEN SUPPORT
 SCALE: 1" = 1'-0"

A3 UPPER CABINET AT REF
 SCALE: 1" = 1'-0"

A2 INTERIOR ELEVATION - PRINT ROOM 104
 SCALE: 1/4" = 1'-0"

A1 INTERIOR ELEVATION - BREAK ROOM 103
 SCALE: 1/4" = 1'-0"

DATE	REVISION
2024-08-06	ISSUE FOR PERMIT
2024-11-06	ISSUE FOR TENDER

PROJECT NO: 243034
 DRAWN BY: RH
 CHECKED BY: CS, AK

INTERIOR ELEVATIONS, MILLWORK SECTIONS & DETAILS

SEAL SHEET NUMBER

A501

NEWFOUNDLAND AND LABRADOR MEMBER *Carla King*
 Amanda Allard-Singh, NLAA
 Expires Dec 31 2024
 Date: 2024-11-06
 LICENSED TO PRACTICE
 ASSOCIATION OF ARCHITECTS

- GENERAL NOTES**
- NOT ALL PARTITION TYPES SHOWN MAY BE USED; REFER TO PLANS FOR LOCATIONS AND EXTENT.
 - PROVIDE CEMENTITIOUS WALL BOARD IN LIEU OF GYP BOARD AT ALL WALLS TO RECEIVE PORCELAIN TILE, STONE, CERAMIC TILE OR FRP.
 - WHERE UL ASSEMBLIES OR OTHER TESTED ASSEMBLIES ARE INDICATED, COMPLY WITH DETAILED REQUIREMENTS SHOWN ON UL ASSEMBLY SHEETS. UL ASSEMBLIES (OR OTHER TESTED ASSEMBLIES) REQUIREMENTS OVERRIDE THE PBA PARTITIONS.
 - REFER TO FINISH SCHEDULE AND/OR FINISH PLAN FOR LOCATIONS OF SPECIAL FIRE-RESISTIVE WALLBOARD, FOIL-BACKED GYPSUM WALLBOARD, WATER-RESISTANT GYPSUM WALLBOARD, GLASS-MAT WATER-RESISTANT BACKING BOARD, OR CEMENTITIOUS BACKER UNITS THAT MAY BE REQUIRED IN PLACE OF GYPSUM WALLBOARD INDICATED.
 - INSTALL CONTROL JOINTS AT LOCATIONS INDICATED. IF NOT INDICATED, DETERMINE LOCATIONS BY CONSULTING WITH ARCHITECT.
 - BATT INSULATION TO BE INSTALLED B/W STUD FRAMING INSIDE EXTERIOR WALL FURRING AND BETWEEN ALL ROOF FRAMING MEMBERS. SECURE ROOF INSULATION BATTS IN PLACE WITH WIRE MESH ATTACHED TO FRAMING MEMBERS. MAXIMUM CLEAR SPAN HEIGHTS FOR INTERIOR METAL STUDS SHALL BE SUCH THAT DEFLECTION SHALL NOT EXCEED L/240 UNDER A 5 PSF LOAD (CERAMIC TILE FINISHES AND/OR WALLS TO DECK) AND L/120 AT ALL OTHER AREAS.
 - PROVIDE 2 INCH SLIP RUNNER TRACK AT ALL METAL STUD HEAD CONDITIONS.

DATE	REVISION
2024-08-06	ISSUE FOR PERMIT
2024-11-06	ISSUE FOR TENDER

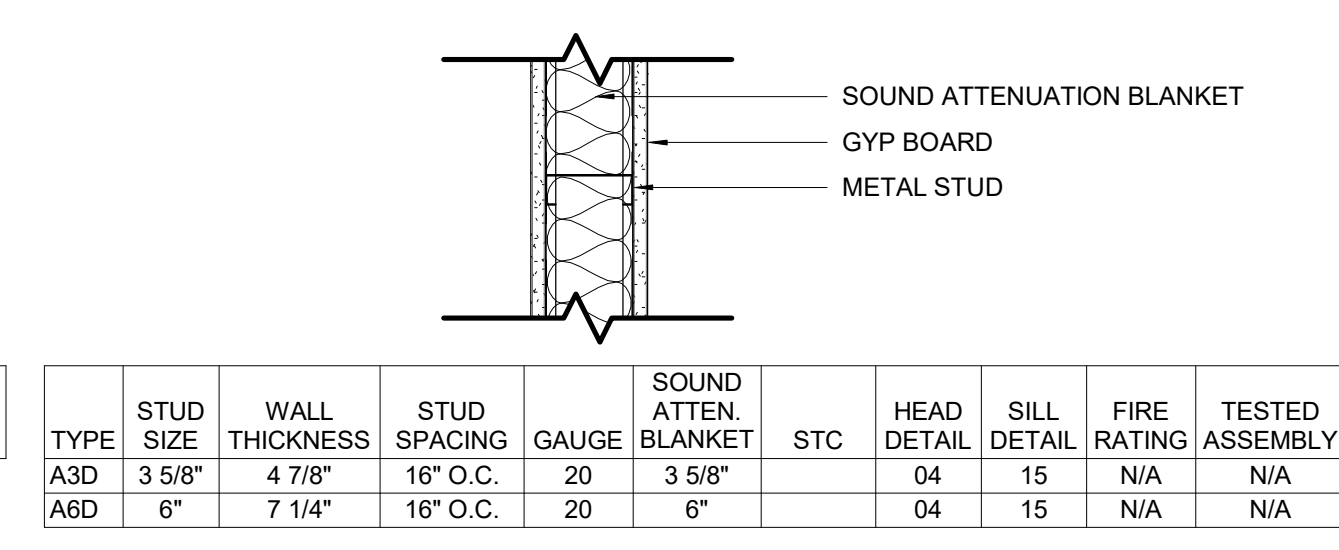
PROJECT NO: 243034
 DRAWN BY: CP
 CHECKED BY: CS, AK
 SHEET NAME

PARTITION TYPES

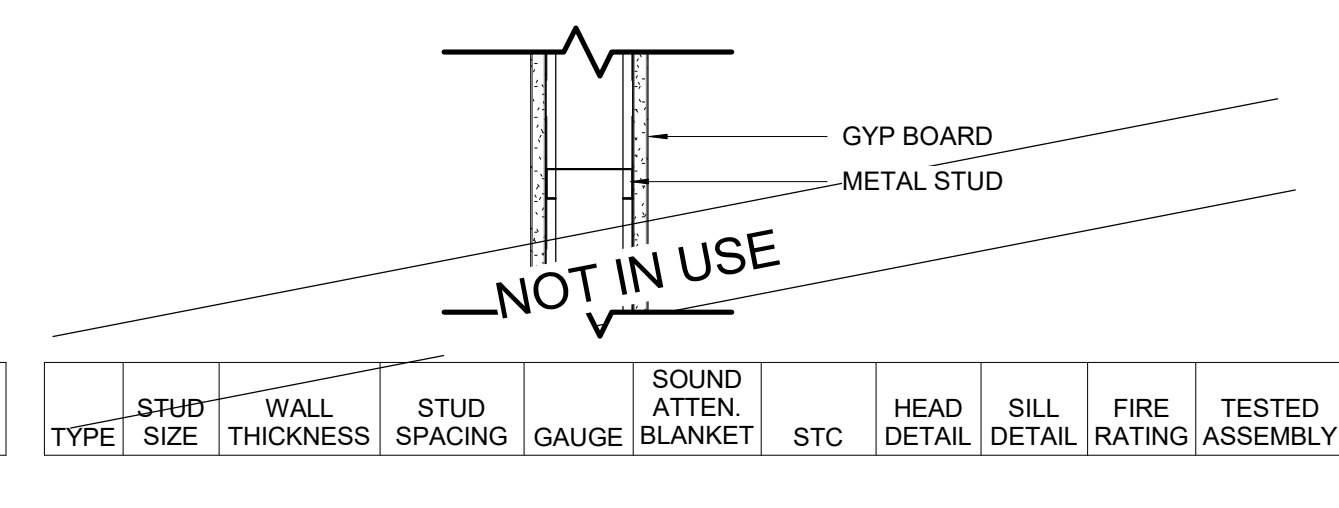
SEAL

SHEET NUMBER
A601

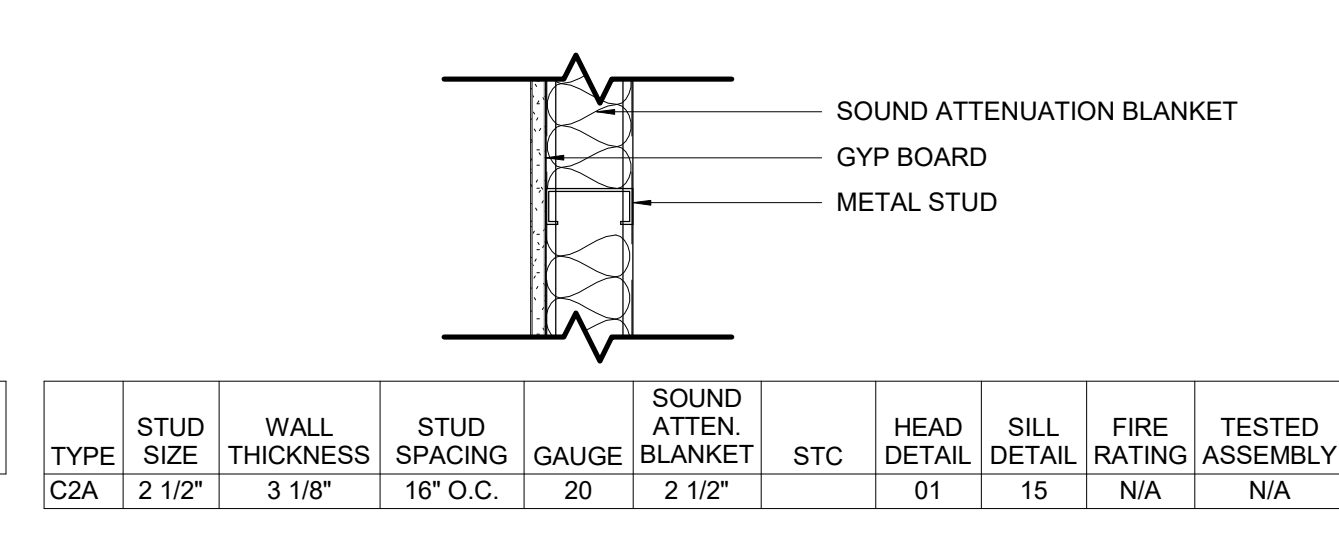
NEWFOUNDLAND AND LABRADOR
 MEMBER
Amelia Allard
 Amanda Allard, NLAA
 Expires Dec 31 2024
 Date: 2024-11-06
 LICENSED TO PRACTICE
 ASSOCIATION OF ARCHITECTS



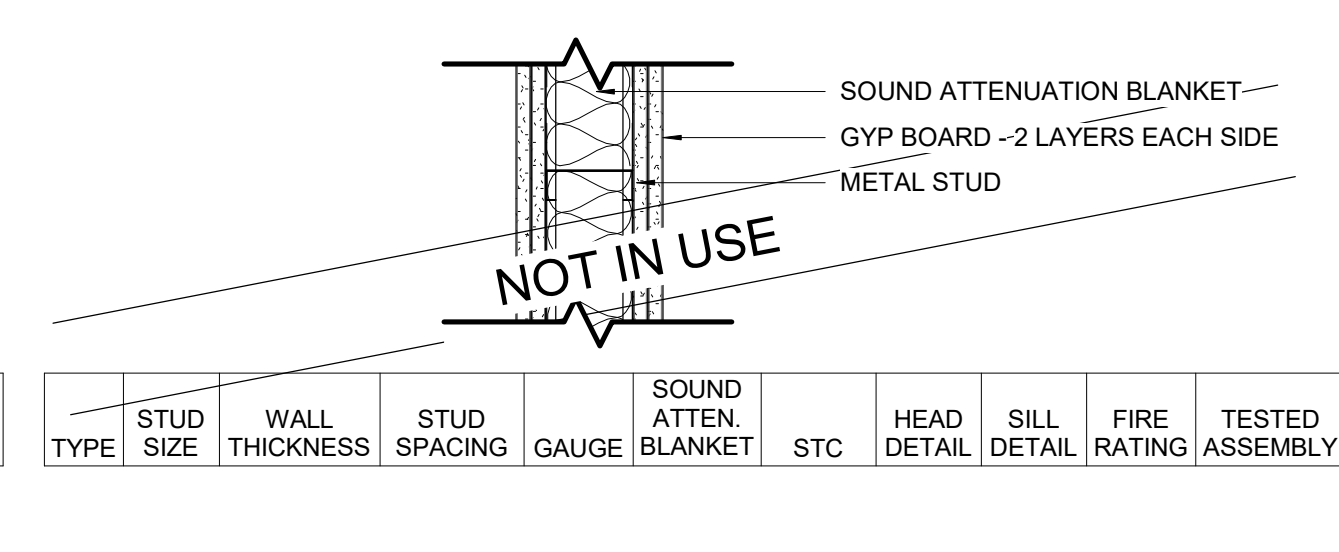
PARTITION TYPE 'A'
 SCALE: 1 1/2" = 1'-0"



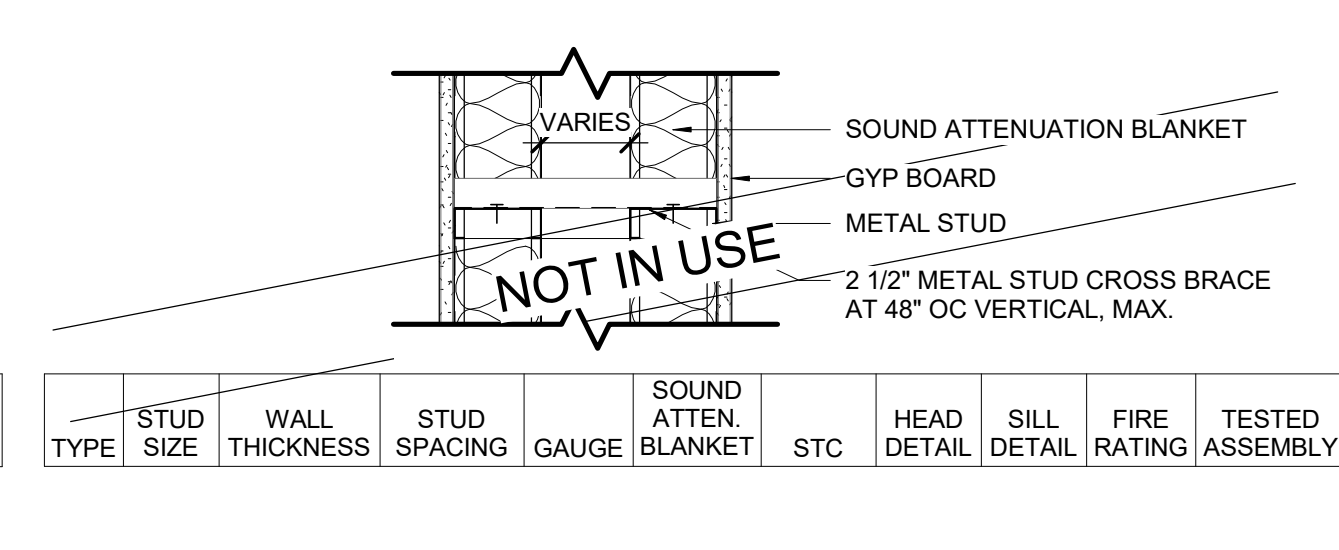
PARTITION TYPE 'B'
 SCALE: 1 1/2" = 1'-0"



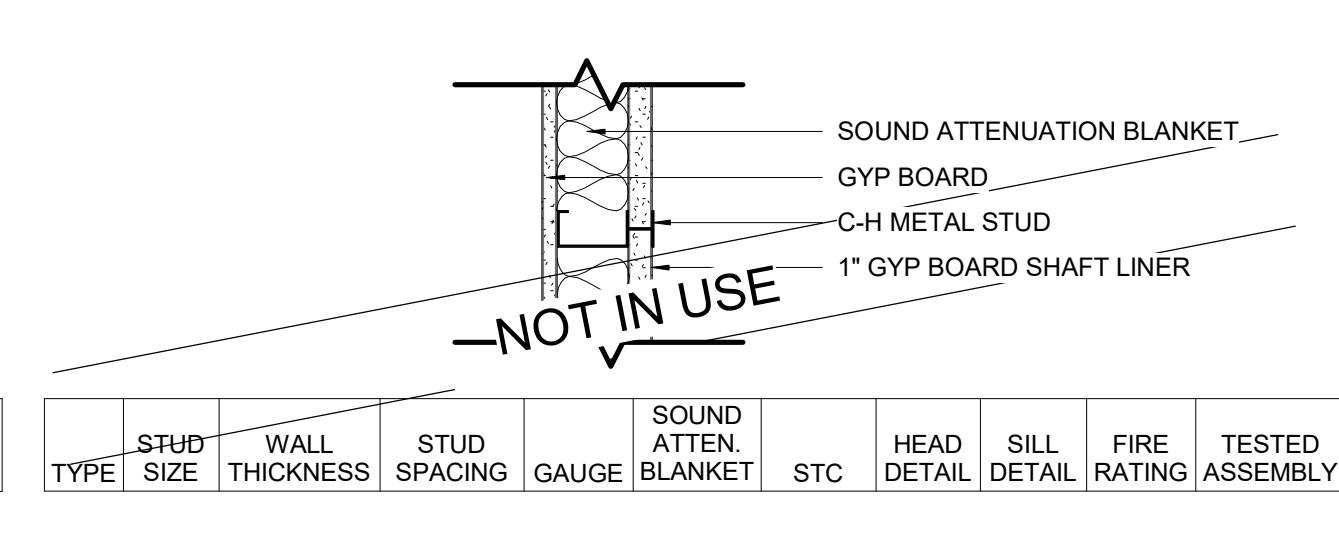
PARTITION TYPE 'C'
 SCALE: 1 1/2" = 1'-0"



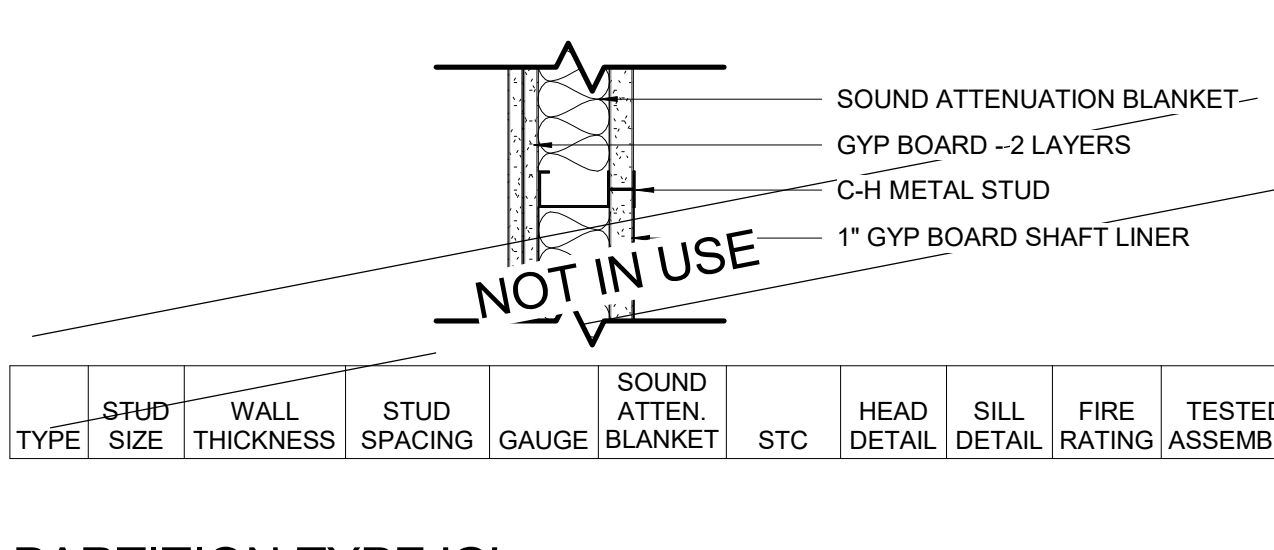
PARTITION TYPE 'D'
 SCALE: 1 1/2" = 1'-0"



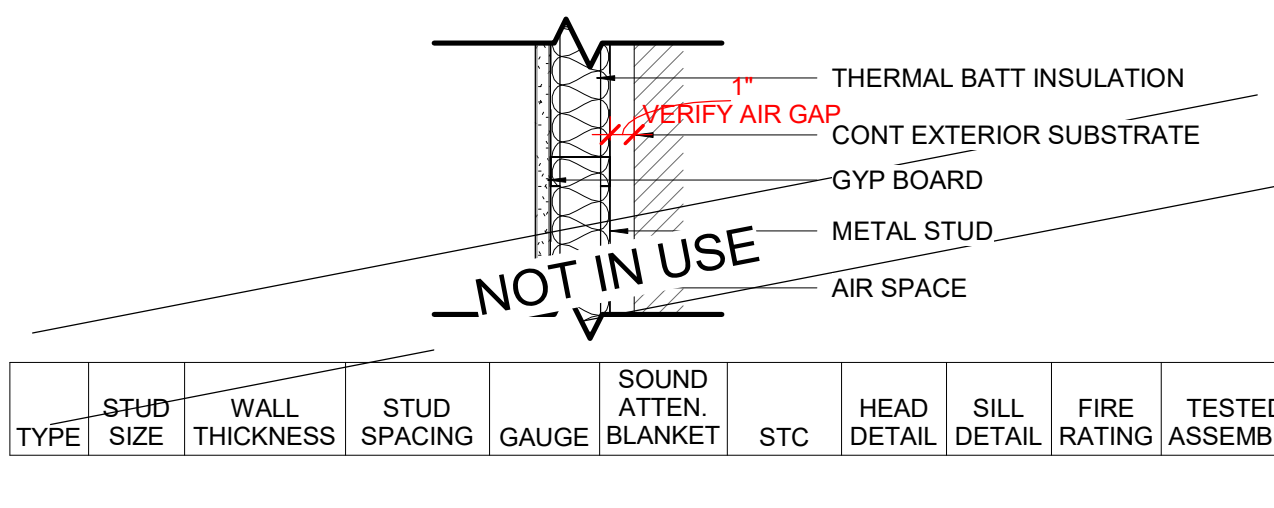
PARTITION TYPE 'E'
 SCALE: 1 1/2" = 1'-0"



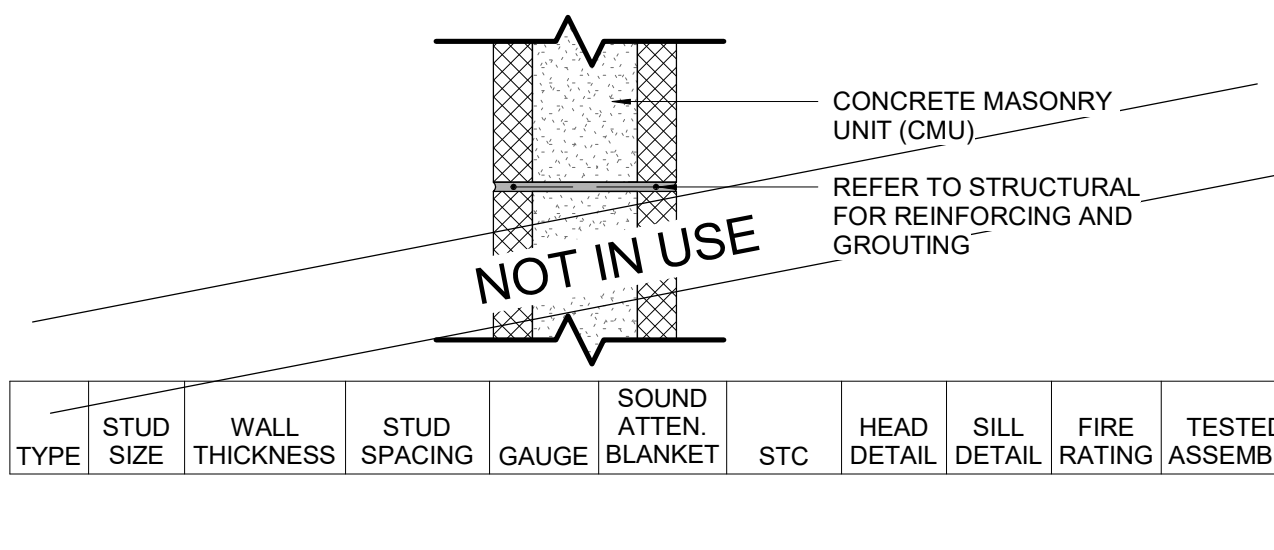
PARTITION TYPE 'F'
 SCALE: 1 1/2" = 1'-0"



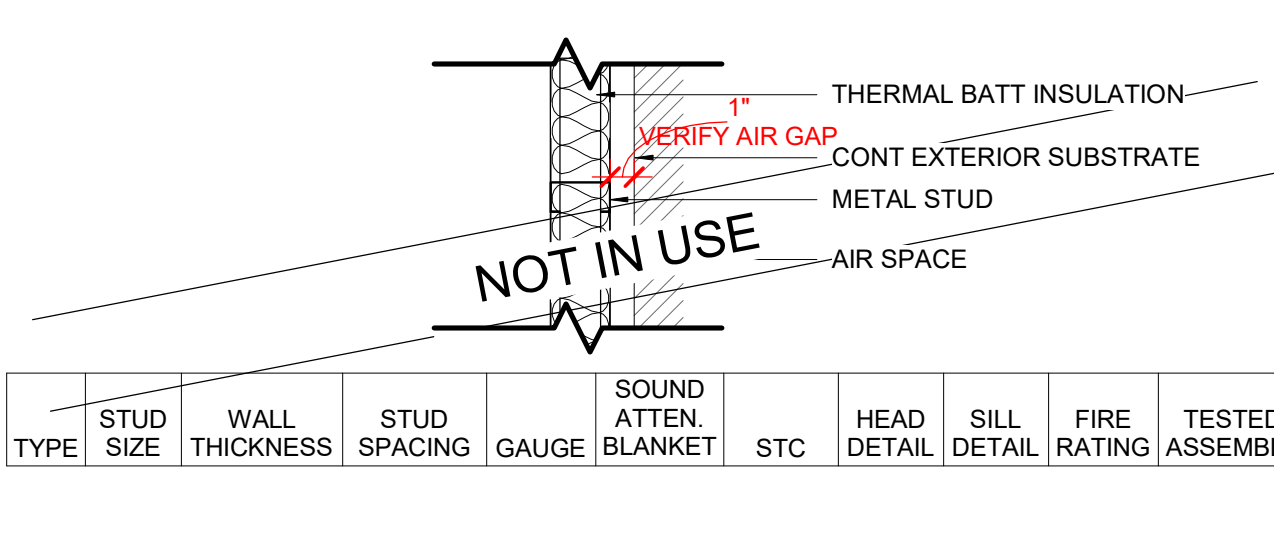
PARTITION TYPE 'G'
 SCALE: 1 1/2" = 1'-0"



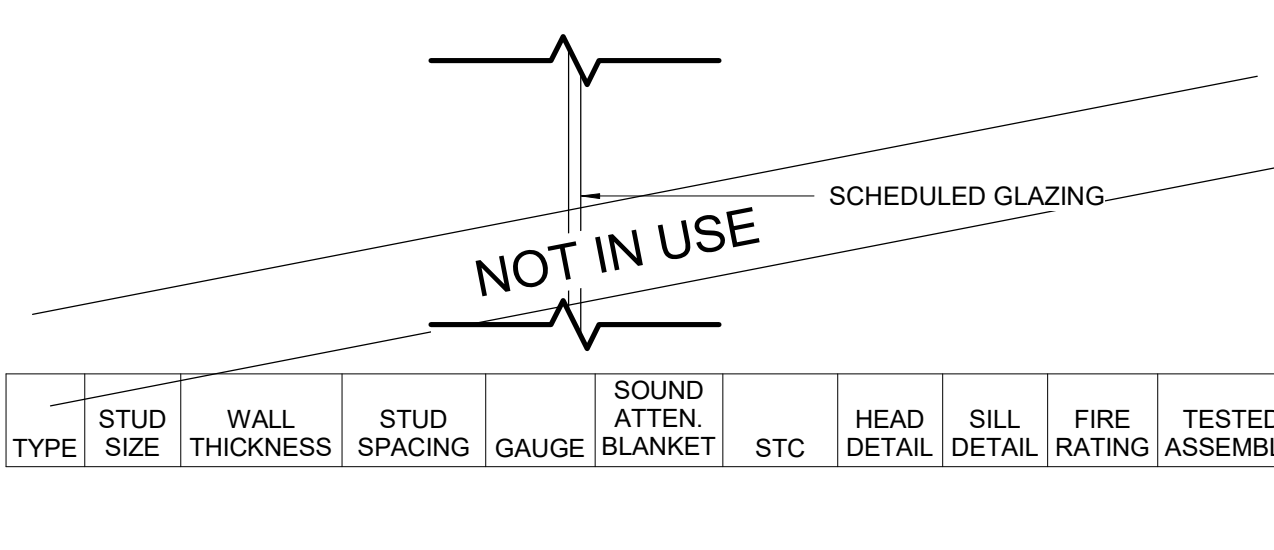
PARTITION TYPE 'H'
 SCALE: 1 1/2" = 1'-0"



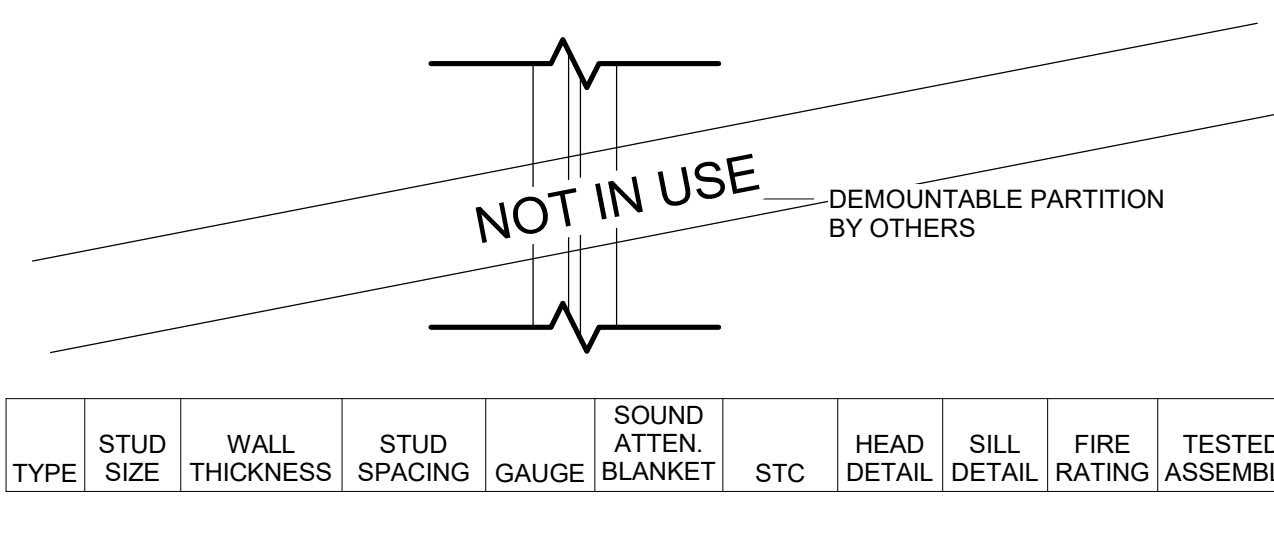
PARTITION TYPE 'J'
 SCALE: 1 1/2" = 1'-0"



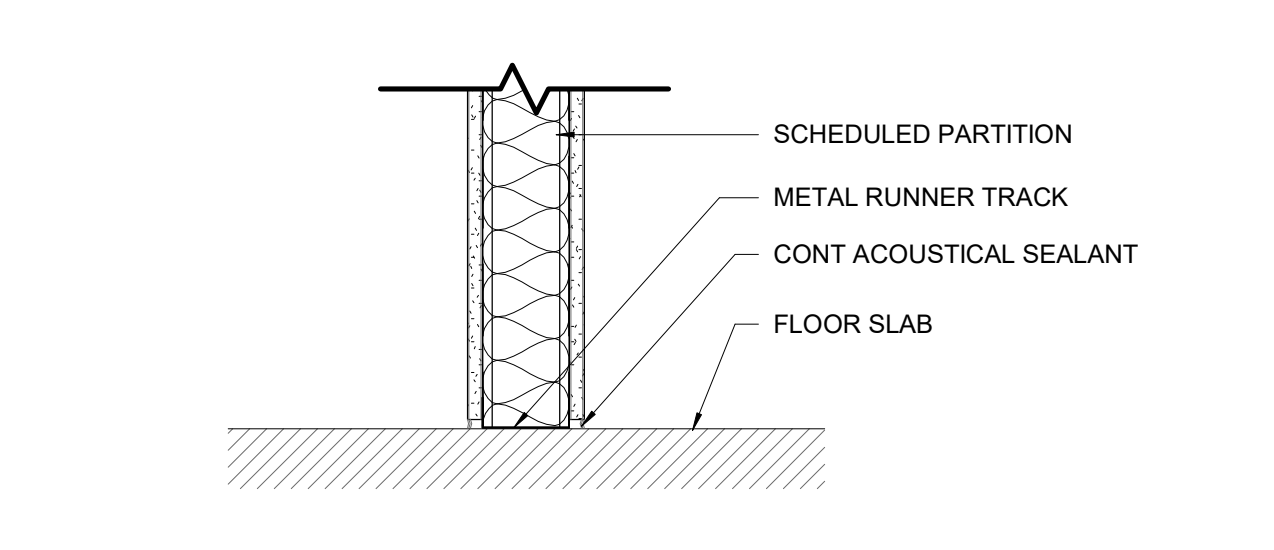
PARTITION TYPE 'K'
 SCALE: 1 1/2" = 1'-0"



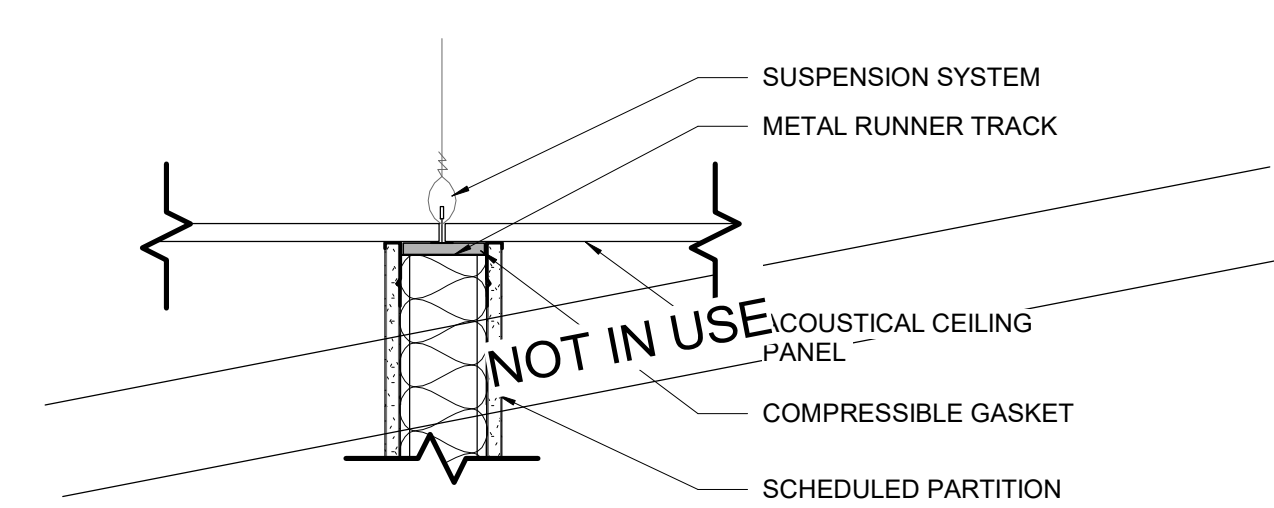
PARTITION TYPE 'L'
 SCALE: 1 1/2" = 1'-0"



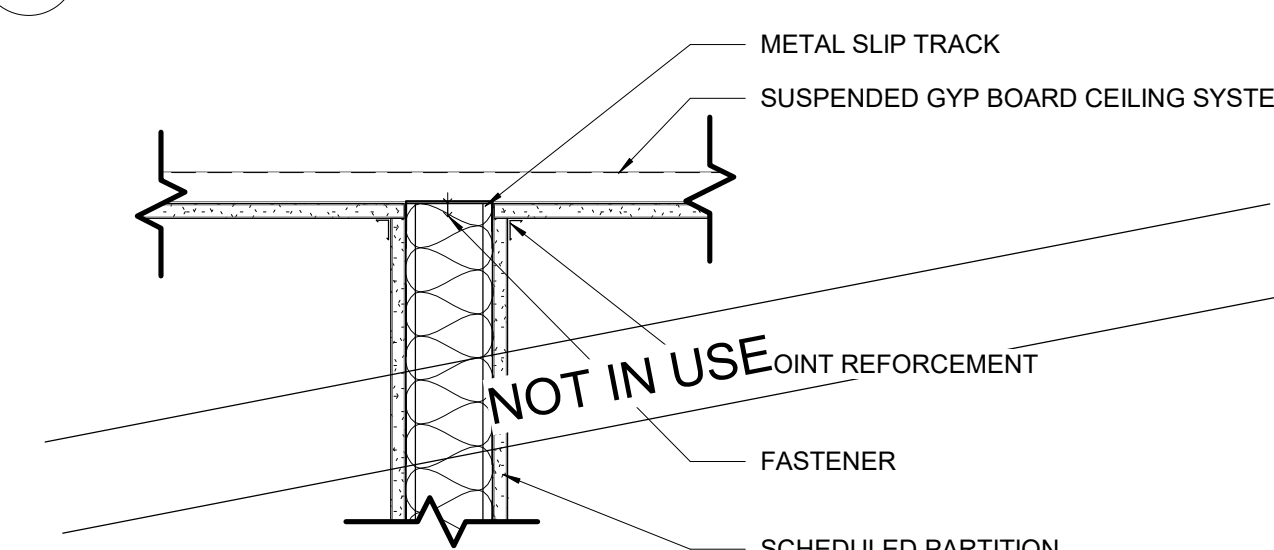
PARTITION TYPE 'M'
 SCALE: 1 1/2" = 1'-0"



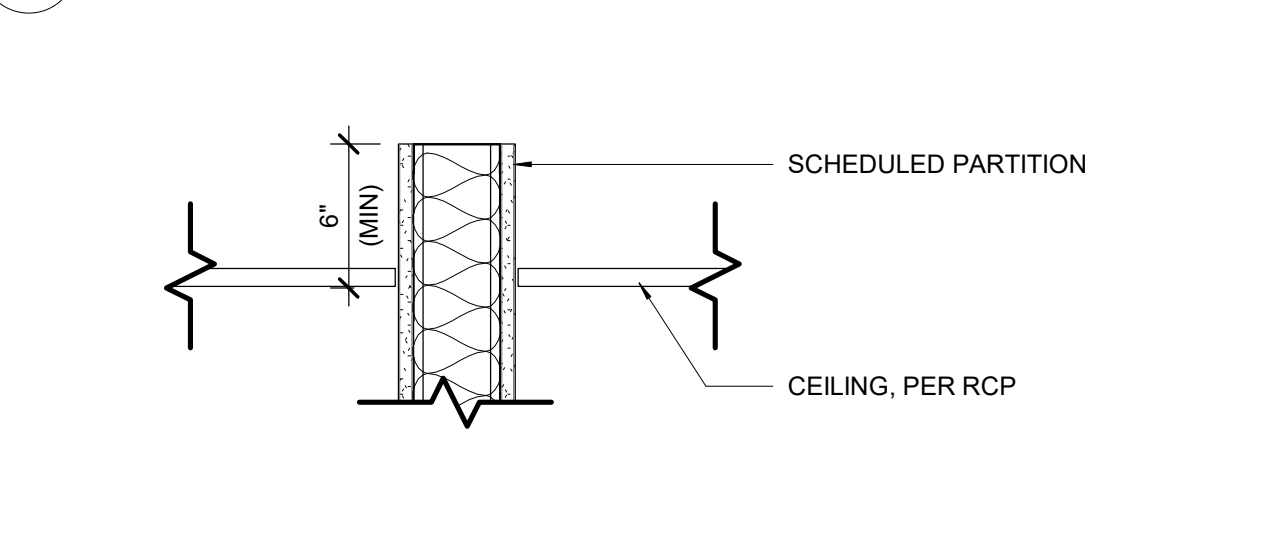
BASE DETAIL 01
 SCALE: 1 1/2" = 1'-0"



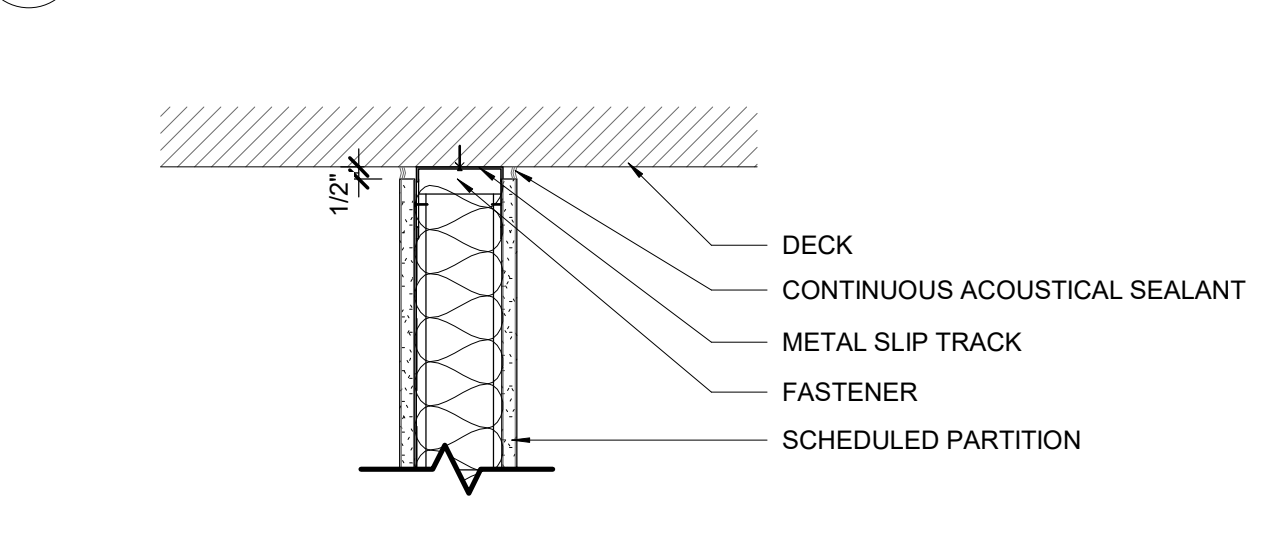
HEAD DETAIL (A)
 SCALE: 1 1/2" = 1'-0"



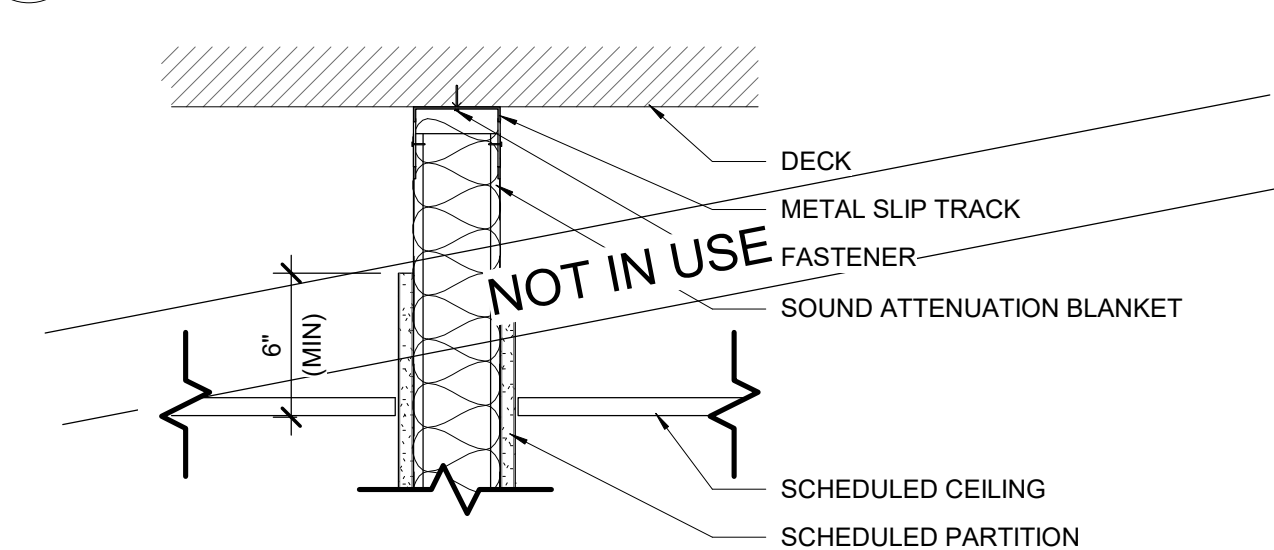
HEAD DETAIL (B)
 SCALE: 1 1/2" = 1'-0"



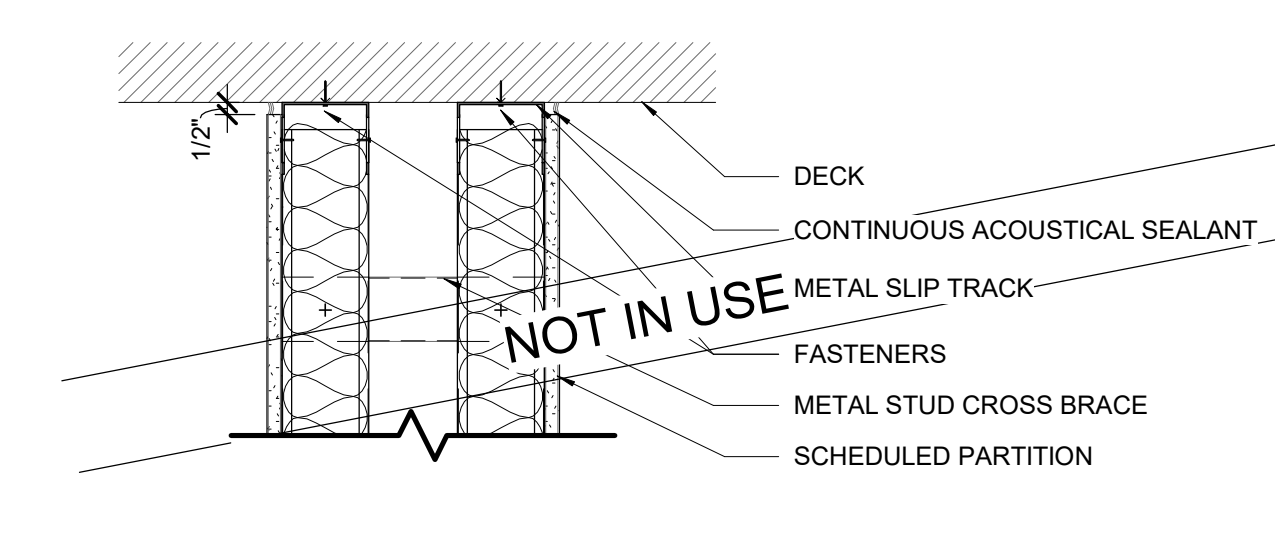
HEAD DETAIL (C)
 SCALE: 1 1/2" = 1'-0"



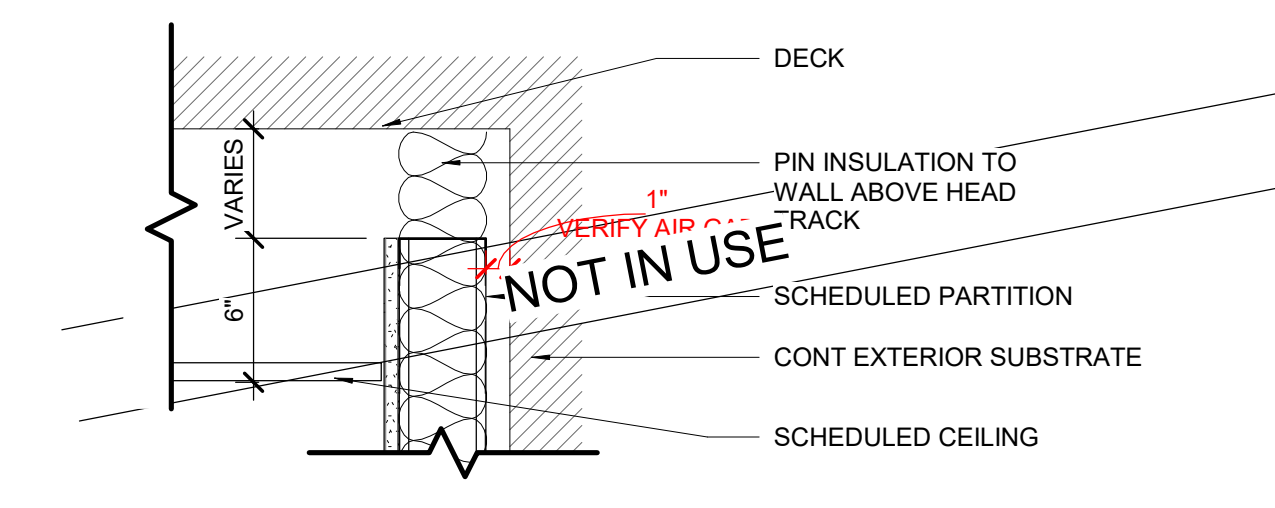
HEAD DETAIL (D)
 SCALE: 1 1/2" = 1'-0"



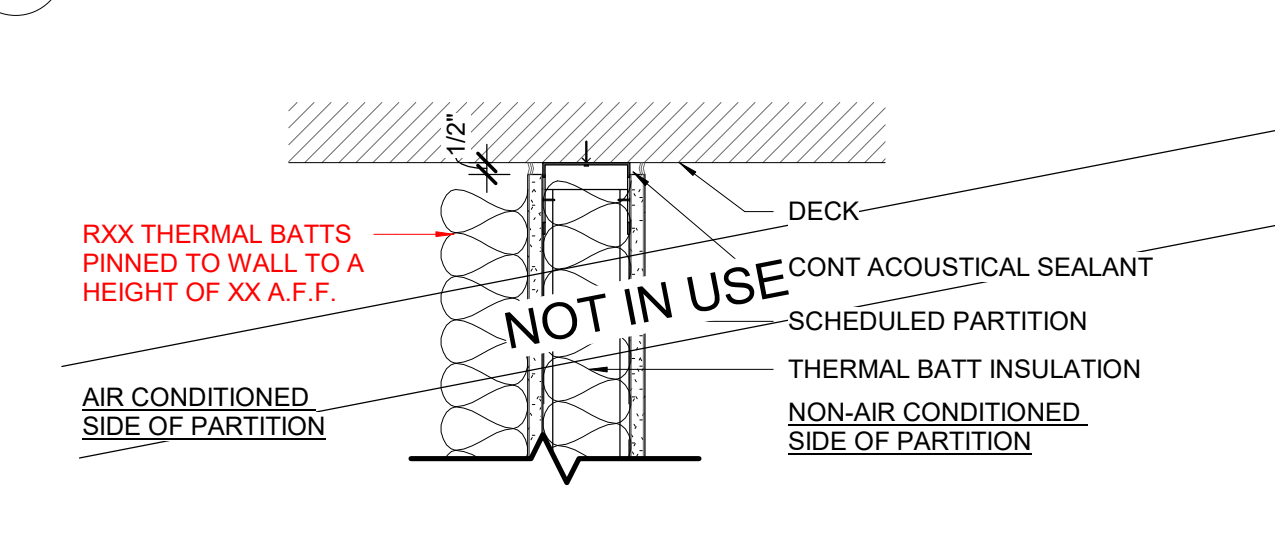
HEAD DETAIL (E)
 SCALE: 1 1/2" = 1'-0"



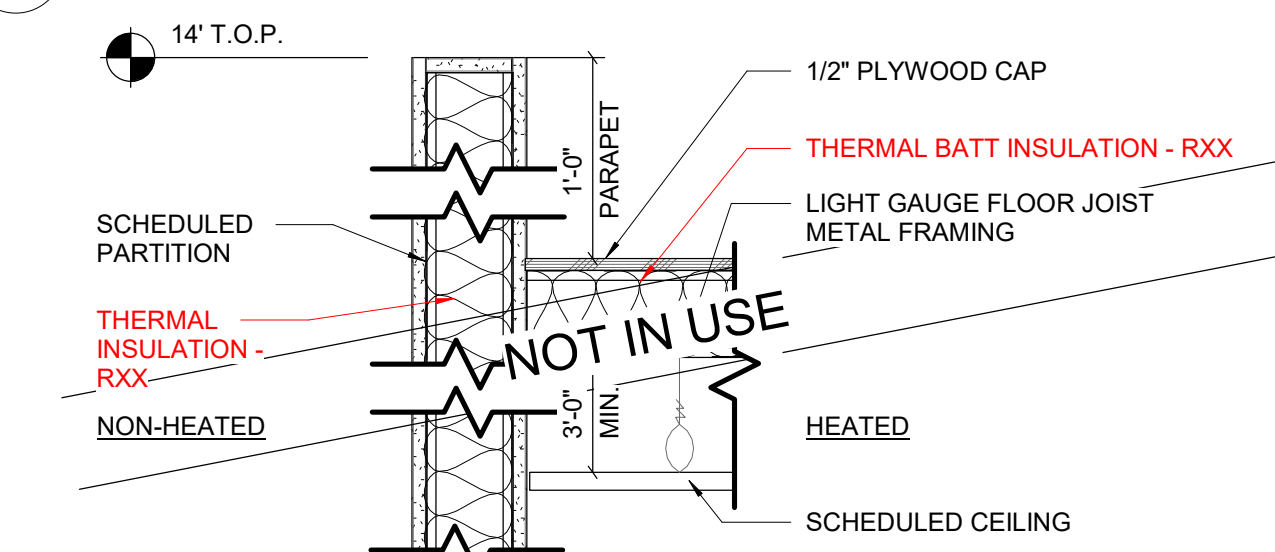
HEAD DETAIL (F)
 SCALE: 1 1/2" = 1'-0"



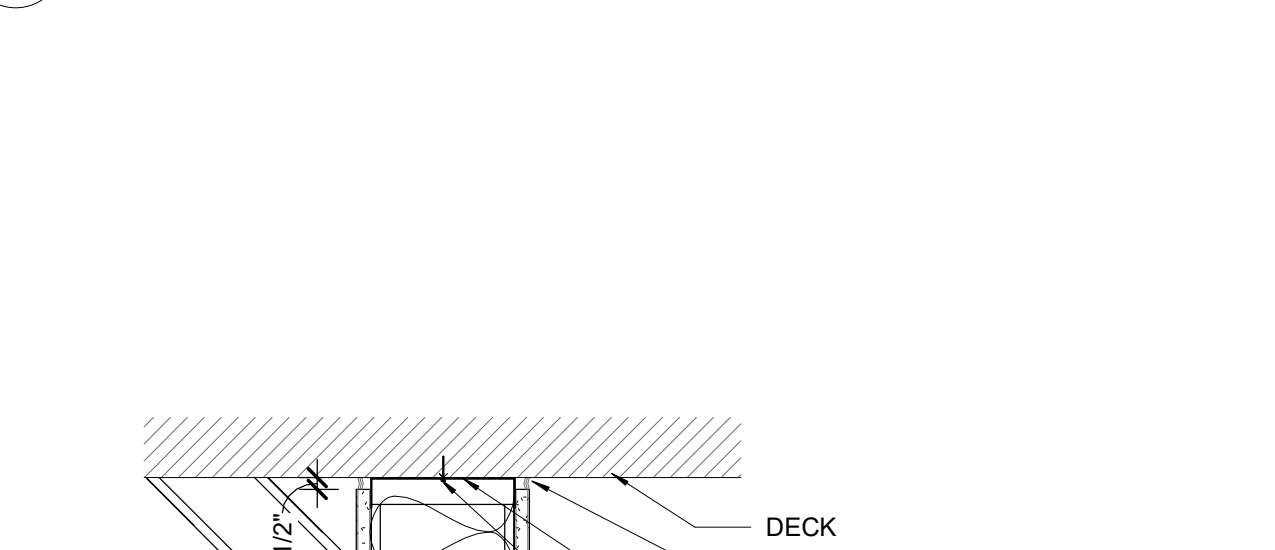
HEAD DETAIL (G)
 SCALE: 1 1/2" = 1'-0"



HEAD DETAIL (J)
 SCALE: 1 1/2" = 1'-0"



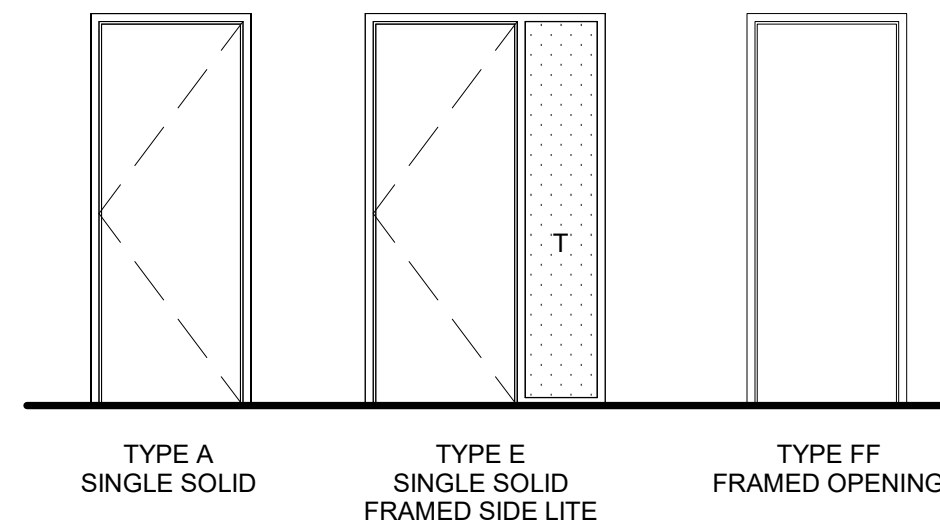
HEAD DETAIL (K)
 SCALE: 1 1/2" = 1'-0"



HEAD DETAIL (M)
 SCALE: 1 1/2" = 1'-0"

Autodesk Docs://243034_Workplace NL Interior Renovation/243034_ARCH_CS_R23.rvt

DOOR TYPES



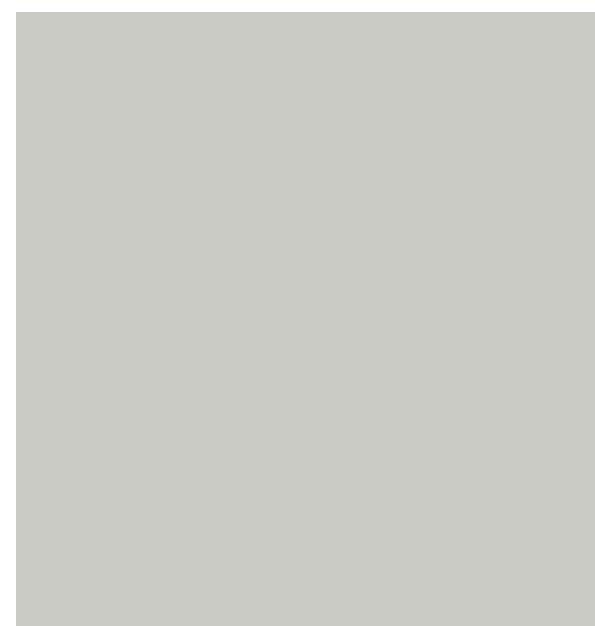
HARDWARE SCHEDULE

QTY	EACH OR SET	COMPONENT	DESCRIPTION	FINISH	MANUFACTURER
HW SET 1 - PROVIDE EACH SGL DOOR(S) WITH THE FOLLOWING:					
4	EACH	HINGE, FULL MORTISE	TA2714 4-1/2" X 4-1/2" (NRP)	US26D	MK
1	EACH	PASSAGE LATCH	MO 4701LN	626	YA
1	EACH	SURFACE CLOSER	3521	689	YA
1	EACH	KICK PLATE	K1050 10" X 2" LDW CSK BEV	US32D	RO
1	EACH	STOP AS REQUIRED.	409/442	US32D	RO
1	EACH	THRESHOLD	171A		PE
1	EACH	PERIMETER SEAL	S773BL		PE
1	EACH	SWEEP	S773BL		PE
HW SET 2 - PROVIDE EACH SGL DOOR(S) WITH THE FOLLOWING:					
4	EACH	HINGE, FULL MORTISE	TA2714 4-1/2" X 4-1/2" (NRP)	US26D	MK
1	EACH	ENTRY LOCK	MO 4707LN	626	YA
1	EACH	SURFACE CLOSER	3501	689	YA
1	EACH	STOP AS REQUIRED.	409/442	US32D	RO
1	EACH	PERIMETER SEAL	S773BL		PE

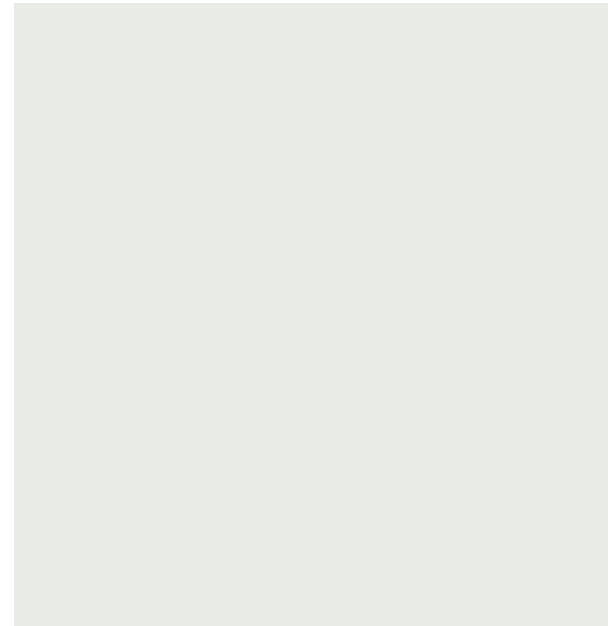
FINISH SCHEDULE

CODE	MATERIAL	MANUFACTURER	DESCRIPTION	COLOR	REP NAME	CONTACT NO	REMARKS
CEILING							
C1	ACOUSTICAL CEILING TILE	USG	RADAR BASIC R2110 ACOUSTICAL CEILING, 24"x24" TILE WITH 15/16" ACOUSTICAL SUSPENSION SYSTEM IN FLATE WHITE	050 FLAT WHITE			GENERAL
C2	GYP BOARD	BENJAMIN MOORE	FLAT OVER LEVEL IV FINISH; 1 COAT PRIMER, 2 LATEX FINISH COATS	CEILING BRIGHT WHITE			GENERAL
WALL							
P1	PAINT	BENJAMIN MOORE	LEVEL IV DRYWALL FINISH; 1 COAT PRIMER AND 2 COATS FINISH PAINT, EGGSHELL FINISH	HC-170 STONINGTON GRAY			GENERAL
P2	PAINT	BENJAMIN MOORE	LEVEL IV DRYWALL FINISH; 1 COAT PRIMER 2 COATS FINISH PAINT, SEMI-GLOSS FINISH	2062-20 GENTLEMANS GRAY			TYP. AT INTERIOR DOOR FRAMES
T1	CERAMIC TILE	DALTILE	RETROSPACE REMIX; 3"x6" STACK BOND INSTALLATION	RS30 MODERN WHITE			TYPICAL @ BREAKROOM BACKSPLASH
BASE							
B1	RUBBER BASE	TARKETT	STYLE: TRADITIONAL 4" BASE	63 BURNT UMBER			COVE BASE, TYP.
B2	CERAMIC TILE	DALTILE	COLLECTION: BALANS - 3 x 12 FLOOR BULLNOSE (PC-43C9)	WHITE BA30			TYP @ ALL TILE FLOORS
FLOOR							
CP1	CARPET - TILE	TARKETT	COLLECTION: GEOKNIT - STYLE: 10887 - 24 X 24 TILE - VERTICAL ASLAR INSTALL PATTERN	42710 SHADOW GRIS			GENERAL
T2	CERAMIC TILE	DALTILE	COLLECTION: BALANS - 12 x 24 TILE - VERTICAL ASHLAR INSTALL PATTERN	WHITE BA30			GROUT - (MANUFACTURER AND COLOR)
MILLWORK							
PL1	PLASTIC LAMINATE	FORMICA	NATURAL GRAIN; MATTE FINISH	8907-58 FOX TEAKWOOD			TYPICAL @ CABINETS, SHELVING & INTERIOR DOORS
SS1	ENGINEERED QUARTZ	CAESARSTONE	2CM QUARTZ COUNTERTOP WITH LAMINATED EASED EDGE	5141 FROSTY CARRINA			TYPICAL @ COUNTERTOPS
TRANSITION							
TR1	METAL TRANSITION	SCHLUTER SYSTEMS	SCHIENE; COORDINATE MATERIAL THICKNESS	ANODIZED ALUMINUM			CARPET TO PORCELAIN

FINISH SAMPLES



P1 - PAINT



C1 - PAINT



SS1 - ENGINEERED QUARTZ COUNTERTOP



PL1 - PLASTIC LAMINATE



B1, T1 - GLAZED CERAMIC TILE



P2 - PAINT



CP1 - CARPET TILE

DOOR AND FRAME SCHEDULE

From Room: Name	DOOR ASSEMBLY		Dimensions			DOOR		FRAME		Hardware Set	Comments
	Number	Type	Width	Height	Thickness	Door Material	Door Finish	Frame Material	Frame Finish		
OPEN OFFICE	100	E	3' - 0"	7' - 0"	1 3/4"	SCWD (BIRCH)	CLR COAT STAINED	HM	PTD - P2	1	
OFFICE	101	E	3' - 0"	7' - 0"	1 3/4"	HM	PTD - P2	HM	PTD - P2	2	
OFFICE	102	E	3' - 0"	7' - 0"	1 3/4"	HM	PTD - P2	HM	PTD - P2	2	
BREAKROOM	103	FF	3' - 0"	7' - 0"	1 3/4"	NA	NA	WD	PTD - P2		WOOD TRIM TO MATCH THICKNESS OF HM FRAMES
PRINT ROOM	104	FF	3' - 0"	7' - 0"	1 3/4"	NA	NA	WD	PTD - P2		WOOD TRIM TO MATCH THICKNESS OF HM FRAMES
MAIL ROOM	106A	A	3' - 0"	7' - 0"	1 3/4"	SCWD (BIRCH)	CLR COAT STAINED	HM	PTD - P2	1	W/ AUTO OPERATOR
MAIL ROOM	106B	A	2' - 10"	7' - 0"	1 3/4"	HM	PTD - P2	HM	PTD - P2	2	
MEETING ROOM	302	A	3' - 0"	7' - 0"	1 3/4"	HM	PTD - P2	HM	PTD - P2	2	
OFFICE	303	E	3' - 0"	7' - 0"	1 3/4"	HM	PTD - P2	HM	PTD - P2	2	

LIGHT FIXTURE SCHEDULE

TYPE MARK	TYPE	MANUFACTURER	SPECIFICATION	REMARKS
AA	2' X 2' DIRECT / INDIRECT LED	METALUX	24CZSB-SCT3-UNV	TYP. AT FIELD

EQUIPMENT SCHEDULE

TYPE MARK	TYPE	MANUFACTURER	DESCRIPTION	FINISH	REMARKS
EQ1	REFRIGERATOR				PROVIDED BY OWNER
EQ2	PRINTER				PROVIDED BY OWNER
EQ3	FLAT SCREEN TV				PROVIDED BY OWNER
EQ4	MICROWAVE				PROVIDED BY OWNER

PLUMBING FIXTURE SCHEDULE

TYPE MARK	TYPE	MANUFACTURER	DESCRIPTION	FINISH	REMARKS
FA1	KITCHEN SINK FAUCET	GLACIER BAY	UPSON SINGLE HANDLE PULL-DOWN KITCHEN FAUCET, ONE HOLE	CHROME	TYP. @ KITCHEN
S1	SINK, KITCHEN UNDERMOUNT	KOHLER	20x23 UNDERMOUNT SINGLE BOWL KITCHENSINK, MODEL # K-80170-3-N1	STAINLESS STEEL	TYP. @ KITCHEN

powers brown architecture

Architectural Consultant:
Powers Brown Architecture
354 Water Street,
Suite 402
St. John's, NL A1C 1C4
709.726.3941
www.powersbrown.com

PROJECT TITLE

WORKPLACE NL - INTERIOR FIT-OUT

148 FOREST ROAD
ST. JOHN'S, NL A1A 1E6

A PROJECT FOR

WORKPLACE NL

- GENERAL NOTES**
- ALL PAINT GRADE DOORS AND FRAMES TO MATCH P1 IN SEMI-GLOSS FINISH UNO.
 - ALL GLASS TO BE 1/2" TH CLEAR TEMP UNO. GLASS AT INTERIOR SIDELITES AND WINDOWS TO BE 1/4" TH CLEAR TEMP.
 - ALL HARDWARE TO BE LEVER STYLE, UNO. ALL HARDWARE TO COMPLY WITH APPLICABLE ANSI AND ADA GUIDELINES FOR ACCESSIBILITY.
 - GENERAL CONTRACTOR TO COORDINATE ALL HARDWARE INSTALLATIONS WITH TENANT SECURITY VENDOR. ACCESS CONTROL HARDWARE TO COMPLY WITH APPLICABLE EGRESS AND FIRE CODE REQUIREMENTS. COORDINATE MOUNTING WITH TENANT SECURITY VENDOR AND ARCHITECT.
 - GENERAL CONTRACTOR TO COORDINATE LOCKSET MASTER KEYING WITH TENANT AND BUILDING OWNER / LANDLORD. GENERAL CONTRACTOR TO MATCH BUILDING KEYWAY STANDARD WHERE APPLICABLE.
 - GENERAL CONTRACTOR TO MOUNT ALL DOOR CLOSERS ON NON-PUBLIC SIDE OF DOOR. CLOSER PUSH/PULL FORCE TO MEET ADA REQUIREMENTS. HEIGHT OF ALL LATCHSETS / LOCKSETS TO BE INSTALLED WITHIN THE CENTER AT 3'-2" AFF OR COMPLY WITH BUILDING STANDARD WHERE APPLICABLE.
 - APPLIED FILM TO BE INSTALLED ON OUTSIDE OF ROOM UNO. REFER TO ELEVATIONS FOR SIZING AND PLACEMENT.
 - ALL EXISTING BUILDING CORE DOORS / FRAMES WITHIN SCOPE OF WORK TO BE PAINTED TO MATCH ADJACENT WALL FINISH IN SEMI-GLOSS FINISH UNO.

ABBREVIATIONS

ALUM	ALUMINUM
ANOD CLR	ANODIZED CLEAR
HM	HOLLOW METAL
PTD	PAINTED
SCWD	SOLID CORE WOOD DOOR
STD	STAINED
T	TEMPERED
VISION	VISION GLAZING, CLEAR

DATE	REVISION
2024-08-06	ISSUE FOR PERMIT
2024-11-06	ISSUE FOR TENDER

PROJECT NO: 243034
DRAWN BY: CP, RH
CHECKED BY: CS, AK

SCHEDULES

SEAL

SHEET NUMBER

A602

NEWFOUNDLAND AND LABRADOR
MEMBER
Amanda Allan
Amanda Allan Sangria, NLAA
Expires Dec 31 2024
Date: 2024-11-06
LICENSED TO PRACTICE
ASSOCIATION OF ARCHITECTS

**WorkplaceNL
2024-74-T
First and Third Floor Renovations – St. John’s Office 146-148 Forest Road**

APPENDIX “B”

Check List

Check Box to be completed and included with submission

Mandatory Site visit completed (2.1)	YES <input type="checkbox"/>	NO <input type="checkbox"/>
Tender documents are completely read and understood	YES <input type="checkbox"/>	NO <input type="checkbox"/>
All addenda (if applicable) are completely read and understood	YES <input type="checkbox"/>	NO <input type="checkbox"/>
Bid form signed and completed as required (Appendix “C”)	YES <input type="checkbox"/>	NO <input type="checkbox"/>
Checklist completed and included (Appendix “B”)	YES <input type="checkbox"/>	NO <input type="checkbox"/>
Written Statement of Company History included (2.10.4)	YES <input type="checkbox"/>	NO <input type="checkbox"/>
List of references included (2.10.6)	YES <input type="checkbox"/>	NO <input type="checkbox"/>
COR “letter of good standing” to be included (2.10.5)	YES <input type="checkbox"/>	NO <input type="checkbox"/>
Warranty Information on all Goods and Services (2.10.8)	YES <input type="checkbox"/>	NO <input type="checkbox"/>

The Successful Bidder must provide the following within fourteen (14) days of award:

- A list of employees, officers, directors, associates and approved sub-contractor assigned to perform the services, including their job titles and qualifications as per **Article 3** of WorkplaceNL Standard Terms and Conditions;
- Certificates of insurance as per **Article 14** of WorkplaceNL Standard Terms and Conditions;
- Performance Bond as per **Section 1.3.11** of this Tender;
- Criminal Records Screening Certificate which is acceptable to WorkplaceNL as per **Section 1.3.10.3** of this Tender;
- Declarations of Confidentiality/Conflict of Interest signed by the Contractor or an officer or director of the Contractor as per **Article 9** of WorkplaceNL Standard Terms and Conditions;
- Safety Policy Manual as per **Section 1.3.6.2** of this Tender;
- Proof of Workplace Hazardous Materials Information System (WHIMIS) training for all personnel as per **Section 1.3.9.4**;
- Proof of bonded employees and Dishonesty coverage as per **Section 1.3.10.2** of this Tender;
- Payment schedule as per **Section 3.2** of this Tender;
- Initialed WorkplaceNL Standard Terms and Conditions; and
- Initialed WorkplaceNL Confidentiality Schedule;

**WorkplaceNL
2024-74-T
First and Third Floor Renovations – St. John’s Office 146-148 Forest Road**

APPENDIX “C”

Bid Form

Name of Bidder: _____

Address: _____

Telephone No.: _____ **Fax No.:** _____

E-mail address: _____

Dated at: _____ **this** _____ **day of** _____ **2024**

Authorized Signature

Witness Signature

Authorized Name (Printed)

Witness Name (Printed)

HST No.: _____

Total Dollars (\$) _____) in Canadian Funds, **EXCLUDING** HST.

Direct Deposit **Agree** _____

Electronic Invoicing **Agree** _____

Price Protection Period for 90 days **Agree** _____

I hereby acknowledge that I have read and understand any and all addenda **Agree** _____

WorkplaceNL
2024-74-T
First and Third Floor Renovations – St. John’s Office 146-148 Forest Road

APPENDIX “D”

Electronic Bid Submission Instructions

1. In order to be accepted, Bids must be submitted through WorkplaceNL’s posting for this opportunity on www.merx.com.
2. Bidders shall create a supplier account and be registered on www.merx.com. This will enable the Bidder to download the bid opportunity, receive addenda/addendum email notifications, download addenda/addendum, and submit their Bid electronically through the MERX website.
3. The timing of the Bid is based on when the Bid is received by the bidding system, not when the Bid is submitted by the Bidder, as transmission can be delayed by “Internet Traffic” for any number of reasons. WorkplaceNL recommends that Bidder allow for ample time to provide for uploaded Bids to be received prior to the Tender Closing Date. Bids received after the Tender Closing Date will not be accepted.
4. It is the responsibility of the Bidder to ensure that the Bid is received on time. Once registered, MERX will send a confirmation email to the Bidder if the Bid was submitted successfully. If a confirmation has not been received by the Bidder, the Bid was not uploaded correctly and it is the responsibility of the Bidder to either reload the documents or to contact MERX to resolve any issues regarding their Bid.
5. Response materials should be prepared and submitted in accordance with the instructions in the bidding system, including any maximum upload file size. Documents should not be embedded within uploaded files, as the embedded files may not be accessible or evaluated.
6. To ensure receipt of the latest information and updates regarding this opportunity via email, the onus is on the Bidder to register with MERX, create a supplier account, and sign up for notices for this opportunity.
7. Clarifications and questions received for this opportunity electronically can be submitted via the opportunity listing on www.merx.com. Questions can be submitted, and confirmation will be received to the inquiry. Responses will be answered on an individual basis or collectively at the discretion of WorkplaceNL.

WorkplaceNL
2024-74-T
First and Third Floor Renovations – St. John’s Office 146-148 Forest Road

APPENDIX “E”

Form of Performance Bond

No. _____

Fifty (50) % of Contract Price

KNOW ALL MEN BY THESE PRESENTS THAT

_____, hereinafter called “**PRINCIPAL**” and _____ a corporations created and existing under the laws of _____ and duly authorized to transact the business of Surety ship in _____, hereinafter called “**SURETY**”, are held and firmly bound unto Workplace Health, Safety and Compensation Commission, Hereinafter canned “**OBLIGEE**”, in the amount of <insert **Fifty (50) % of Contract Price**> (**\$insert Fifty (50) % of Contract Price**) lawful money of Canada, for the payment of which sum, well and truly to be made, **PRINCIPAL** and **SURETY**, jointly and severally, bind themselves and each of them and their and each of their heirs, executors, administrators, successors and assigns firmly by these presents.

WHEREAS, PRINCIPAL has submitted a written Agreement to **OBLIGEE**, dated the _____ day of _____, which is by reference made part hereof and hereinafter referred to as the Agreement.

NOW, THEREFORE, THE CONDITION OF THE OBLIGATION is such that if **PRINCIPAL** shall promptly and faithfully perform the Agreement then this obligation shall be null and void; otherwise it shall remain in full force and effect.

Whenever **PRINCIPAL** shall be, and declared by **OBLIGEE** to be, in default under the Contract, **OBLIGEE** having performed **OBLIGEE’s** obligations up to the time of default thereunder, **SURETY** may promptly remedy the default or shall promptly:

- a. Complete the Agreement in accordance with its terms and conditions; or
- b. Obtain a bid or bids for submission to **OBLIGEE** for completing the Agreement in accordance with its terms and conditions, and upon determination by **OBLIGEE** and **SURETY** of the lowest responsible bidder, arrange for an Agreement between such bidder and **OBLIGEE** and make available as work progresses (even though there should be a default, or a succession of defaults, under the Agreement or Agreement of completion, arranged under this paragraph) sufficient funds to pay for the cost of completion less the balance of the Agreement price; but not exceeding, including other costs and damages for which **SURETY** may be liable hereunder, the amount herein before set forth. The term “balance of Agreement price”, as used in this paragraph, shall mean the total amount payable by **OBLIGEE** to **PRINCIPAL** under the Agreement, less the amount properly paid by **OBLIGEE** to **PRINCIPAL**,

**WorkplaceNL
2024-74-T
First and Third Floor Renovations – St. John’s Office 146-148 Forest Road**

Any suit under this Bond must be instituted before the expiration of two (2) years from the date on which final payment under the Agreement is due.

SURETY shall not be liable for a greater sum than the specified amount of this Bond.

No right of action shall accrue on this Bond to, or for the use of, any person or corporation other than **OBLIGEE** named herein, or the heirs, executors, administrators, or successors of **OBLIGEE**.

PROVIDED, HOWEVER, that no variation or alteration which may be made in the Agreement, or in the extent, nature, or method of performance of the Services to be performed thereunder, and no extension of time given by **OBLIGEE** for the performance of the Agreement, nor any waiver, forbearance or forgiveness on the part of either **PRINCIPAL** or **OBLIGEE** to the other shall in any way release **PRINCIPAL** and **SURETY**, or either of them, or their heirs, executors, administrators, successors and assigns from their liability hereunder, notice to **SURETY** of such variation, alteration, extension, waiver, forbearance or forgiveness being hereby expressly waived.

AND IT IS HEREBY DECLARED AND AGREED that **SURETY** shall be liable under this obligation as fully as if it were **PRINCIPAL** and that nothing of any kind or nature whatsoever that will not discharge **PRINCIPAL** shall operate as a discharge or a release of liability to **SURETY**, any law, rule or usage relating to the liability of sureties to the contrary notwithstanding.

IN TESTIMONY, WHEREOF, PRINCIPAL has hereto set its hand and affixed its seal, and **SURETY** has caused its corporate seal to be affixed hereto, in accordance with its regulations and in the presence of its duly authorized officers this _____ day of _____, 20__.

THE COMMON SEAL of PRINCIPAL
was hereon affixed in the presence of:

Witness

Principal (seal)

THE COMMON SEAL of SURETY
was hereon affixed in the presence of:

Witness

Surety (seal)

STANDARD TERMS AND CONDITIONS

1. Agreement - This Agreement includes the following documents and any conflict between the documents shall be resolved by giving priority to the documents in the order as they appear:

- (a) executed agreement between WorkplaceNL and the Contractor to which this document is appended (if applicable);
- (b) WorkplaceNL Confidentiality Schedule (if applicable);
- (c) WorkplaceNL Standard Terms and Conditions;
- (d) Declaration(s) of Confidentiality/Conflict of Interest;
- (e) procurement documents (including purchase orders) issued by WorkplaceNL; and
- (f) Contractor's bid, proposal or quote.

This Agreement constitutes the whole agreement of the parties relative to the purchase of Services from the Contractor by WorkplaceNL and supersedes all prior negotiations, representations, or agreements, either written or oral.

2. Services – Services means all goods, materials and/or services required under this Agreement.

The Contractor shall provide the Services. WorkplaceNL is responsible for the evaluation of the scope and suitability of the Services provided by the Contractor.

3. Independent Contractor Status - The Contractor is an independent contractor as to all Services. Neither the Contractor, its employees, officers, directors, associates nor approved sub-contractors, if any, are to be construed as constituting employees, agents, or representatives of WorkplaceNL. As an independent contractor, the Contractor assumes all legal and contractual obligations arising out of the performance of the Services.

The Contractor shall not enter into any contract or commitment in the name of or on behalf of WorkplaceNL, or bind WorkplaceNL in any respect or make statements or representations of any kind or take any other actions that would be binding on WorkplaceNL except as specifically provided in this Agreement.

The Contractor shall be fully responsible for any and all employee benefits to be provided to the Contractor's employees. Neither the Contractor nor its employees, officers, directors, associates or approved sub-contractors shall be entitled to participate in or receive any benefits whatsoever from WorkplaceNL as a result of performing Services. The Contractor is solely responsible for deducting the appropriate withholdings from the Contractor and its employees' pay cheques and for the remittance of such withholdings to the appropriate regulatory body as required by law.

Prior to commencing provision of Services, the Contractor shall provide to WorkplaceNL a list of employees, officers, directors, associates and approved sub-contractors assigned to perform the Services including their job titles and qualifications for the provision of Services. The employees, officers, directors, associates and sub-contractors assigned to perform Services shall not change except with prior written consent of WorkplaceNL.

WorkplaceNL may, in its sole discretion, request that any employee, officer, director, associate or approved sub-contractor of the Contractor be prohibited from the performance of Service and/or from access to any files and/or to WorkplaceNL's premises, and the Contractor shall immediately comply with this request. The Contractor hereby releases and forever discharges and holds harmless WorkplaceNL from any costs, claims, losses, and damages of any kind whatsoever based on negligence, defamation, wrongful discharge/dismissal or otherwise which the Contractor may suffer, sustain, pay or incur as a result of any actions under this paragraph and will indemnify, defend and hold harmless WorkplaceNL against any third party claims based on actions hereunder.

4. Sub-Contractor - Without the prior written consent of WorkplaceNL, the Contractor shall not sub-contract any part of the Services, assign or transfer any interest, or delegate any responsibility arising out of this Agreement, to anyone other than the approved employees, officers, directors, associates,

or sub-contractors of the Contractor in accordance with the provisions of this Agreement. Prior to approval of a sub-contractor, the Contractor must establish to the satisfaction of WorkplaceNL, that the sub-contractor also meets the requirements of this Agreement.

5. Payment - Provided the Contractor has complied with all terms, conditions and provisions of this Agreement, WorkplaceNL shall make payments to the Contractor of those fees as set forth in this Agreement, following appropriate invoicing by the Contractor. WorkplaceNL shall not be liable to the Contractor for any other costs or expenses, unless such costs or expenses are approved in advance and in writing by WorkplaceNL, or are specifically set out in this Agreement. The Contractor shall submit expense claims in a format acceptable to WorkplaceNL.

WorkplaceNL shall effect payment of invoices within thirty (30) days of receipt of an acceptable invoice by WorkplaceNL provided that the amounts so billed are correct and properly payable under this Agreement. All invoices shall include the Contractor's registration number for Harmonized Sales Tax (HST) and shall separately identify the amounts of such tax. Payment of invoices may be delayed through failure of the Contractor to identify the registration number and the amount of HST. The Contractor shall maintain records sufficient to verify invoices submitted to WorkplaceNL and WorkplaceNL shall not be responsible for reconciliation and/or review of incorrect bookkeeping by the Contractor.

WorkplaceNL will not pay interest on late or overdue accounts.

Payment for Services shall be made by direct deposit. The Contractor shall supply the necessary banking information to WorkplaceNL within seven (7) working days of awarding the contract.

Purchase orders and notices of payments will be forwarded to the Contractor from WorkplaceNL. The Contractor shall supply facsimile information to WorkplaceNL within seven (7) working days of awarding the contract.

Services which have been performed prior to the issuance of a purchase order shall not be invoiced to WorkplaceNL. Only Services rendered within the date range delineated on the purchase order will be paid by WorkplaceNL.

The Contractor shall only submit an invoice for payment once. If the Contractor has not received payment for an invoice, the Contractor may contact the Accounts Payable Department of WorkplaceNL but it shall not resubmit the invoice unless expressly requested by WorkplaceNL. If the Contractor sends a Statement of Account, it shall be clearly marked "Statement of Account" at the top of the page.

6. Set-Off - At its sole option and without notice to the Contractor, WorkplaceNL shall have the right to set-off any amount due to WorkplaceNL by the Contractor under this Agreement or otherwise against any amount due and owing by WorkplaceNL to the Contractor under this Agreement.

7. Non-exclusive - This Agreement does not create an exclusive relationship between the Contractor and WorkplaceNL. WorkplaceNL may also, at any time, retain other contractors to perform work in relation to the Services or any changes or additions to such Services. The Contractor is free to, and it is anticipated that the Contractor will, engage with other clientele in addition to its engagement herein with WorkplaceNL.

8. Conflict of Interest – Conflict of interest includes, but is not limited to, any situation or circumstance where in relation to the Services, the Contractor's other commitments, relationships, financial interests (i) could, or could be seen to, exercise an improper influence over the objective, unbiased, and impartial exercise of its independent judgement; or (ii) could, or could be seen to, compromise, impair, or be incompatible with the effective performance of its contractual obligations. The Contractor shall not provide Services if the Contractor is in a conflict of interest. The Contractor shall not permit any actual, possible or perceived conflict of interest between the interest of WorkplaceNL and/or its clients and the interest of the Contractor.

STANDARD TERMS AND CONDITIONS

The Contractor shall immediately disclose any such conflict of interest to WorkplaceNL in writing. WorkplaceNL shall, in its sole discretion, determine if an actual, possible or perceived conflict of interest exists and determine the appropriate course of action to be taken by WorkplaceNL and/or the Contractor. WorkplaceNL's decision in this regard shall be final and conclusive.

The Contractor:

- (a) shall conduct all duties related to this Agreement with impartiality;
- (b) shall not influence, seek to influence, or otherwise take part in a decision of WorkplaceNL and/or WorkplaceNL's client, knowing that the decision might further its private interests;
- (c) shall not offer, solicit, receive or accept any communication, discount, allowance, payment, gift, or other benefit that is connected, directly or indirectly, with the performance of any Services, that causes, or would appear to cause, a conflict of interest; and
- (d) shall have no financial interest in the business of a third party that causes, or would appear to cause, a conflict of interest in connection with the performance of any Services.

9. Confidentiality - All data and information of or concerning WorkplaceNL, WorkplaceNL clients, or of third parties to whom WorkplaceNL owes a duty of confidence, obtained by the Contractor, its employees, officers, directors, associates, and/or approved sub-contractors, is:

- (a) to be treated as confidential;
- (b) to be used only to supply or perform Services to WorkplaceNL pursuant to this Agreement;
- (c) not to be reproduced or disclosed to anyone other than WorkplaceNL personnel as required in the performance of this Agreement;
- (d) not to be removed from the offices of WorkplaceNL without prior written consent of WorkplaceNL;
- (e) to be delivered to WorkplaceNL without cost forthwith upon demand, including all copies and records of same; and
- (f) to be protected by making reasonable security arrangements against such risks as unauthorized access, collection, use, disclosure, disposal, and disaster.

Nothing in the Agreement will prohibit or limit either Party's use or disclosure of information (including, but not limited to, ideas, concepts, knowledge, techniques, and methodologies) which is:

- (a) previously known to it without an obligation of confidence;
- (b) independently developed by or for it;
- (c) acquired by it from a third party which is not under an obligation of confidence with respect to such information; or
- (d) required by law. In the case of a disclosure required by law, the Contractor shall notify WorkplaceNL in writing prior to the disclosure to provide an opportunity to restrain the disclosure.

The Contractor will notify WorkplaceNL both verbally and in writing in the event of any unauthorized access to or disclosure of data or information.

The Contractor acknowledges that WorkplaceNL is bound by the terms of the **Workplace Health, Safety and Compensation Act, 2022**, SNL 2022, c. W-11.1, as amended (the "**Act**"), the **Access to Information and Protection of Privacy Act, 2015**, SNL 2015, c. A-1.2, as amended ("**ATIPPA**"), the **Management of Information Act**, SNL 2005, c. M-1.01, as amended, the **Privacy Act**, RSNL 1990, c. P-22, as amended, and the **Personal Health Information Act**, SNL 2008, c. P-7.01, as amended ("**PHIA**"), and agrees to abide strictly by the terms of these and any other applicable laws and professional standards respecting the collection, use and disclosure of data or information that the Contractor, its employees, officers, directors, associates, and/or approved sub-contractors, could become exposed to directly or indirectly during the performance of Services. WorkplaceNL may be compelled to disclose data or information pursuant to **ATIPPA**.

The Contractor shall observe all requirements, standards and protocols of WorkplaceNL, relating to confidentiality, conflict of interest, and collection, storage, transfer, copying, modification, use, disclosure and disposition of

information. The Contractor shall comply with the provisions of the attached "Declaration of Confidentiality/Conflict of Interest" and shall ensure compliance of the Contractor's employees, officers, directors, associates, and/or approved sub-contractors with the provisions of the said Declaration of Confidentiality/Conflict of Interest. The Contractor shall provide to WorkplaceNL the said Declaration of Confidentiality/Conflict of Interest which has been executed by the Contractor or an officer or director of the Contractor.

Without limiting the generality of the foregoing, the Contractor acknowledges that WorkplaceNL shall have the right to obtain injunctive relief for violation of the terms of the clause. All those carrying out this Agreement on the Contractor's behalf are subject to this Agreement and may be liable to suit by WorkplaceNL for breaching this clause.

When deemed appropriate by WorkplaceNL, in its sole discretion, WorkplaceNL may also require the Contractor and its employees, officers, directors, associates, and/or approved sub-contractors to comply with the WorkplaceNL Confidentiality Schedule. The Contractor must initial the WorkplaceNL Confidentiality Schedule which will form part and parcel of this Agreement.

10. Ownership of Information - All materials, data, designs, plans, drawings, specifications, research, reports, notes, estimates, summaries, calculations, surveys, papers, completed work, and work in progress and such other information and materials or parts thereof as are compiled, drawn and produced by the Contractor in performing the Services, including without limitation computer printouts and computer models and all copyrights thereto and all patents, trademarks and industrial designs arising therefrom are the sole and exclusive property of WorkplaceNL and the contents thereof are privileged and confidential. Nothing in the Agreement shall give the Contractor a right, however arising, to assert any lien, claim, demand, property right, remedy or security right of any kind over the information provided to the Contractor pursuant to the terms of the Agreement. The Contractor acknowledges that WorkplaceNL's right to this information shall at all times be paramount to any rights of the Contractor, at law or in equity, and that the Contractor's remedies against WorkplaceNL for WorkplaceNL's breaches under the Agreement do not include the right to deprive WorkplaceNL of access to WorkplaceNL's information in the Contractor's possession.

11. Access to Information - WorkplaceNL is subject to the **ATIPPA** and consequently the public has a right of access to WorkplaceNL's records. WorkplaceNL shall not be liable for any claims, costs, losses or damages experienced by the Contractor as a result of WorkplaceNL's release of information to another party pursuant to the provisions of **ATIPPA** or due to any other legal requirements.

12. Warranty and Liability - The Contractor represents, warrants and covenants that:

- (a) the information contained in its bid, proposal or quote is true and accurate;
- (b) all equipment supplied meets and is operated in accordance with the manufacturer's specifications and applicable regulatory requirements;
- (c) all Services provided are free from any defects in design, materials and workmanship, and that the Services fully comply with specifications and are suitable and fit for its intended purpose;
- (d) the supply of Services will not infringe any patent, trademark or copyright;
- (e) the Contractor provides good and clear title to the Services to WorkplaceNL;
- (f) the Contractor, its employees, officers, directors, associates and approved sub-contractors have the necessary skills, expertise, materials and experience, are qualified in the safe work procedures and operations of equipment, and shall provide and perform the Services in accordance with the provisions of this Agreement;
- (g) the Contractor shall provide and perform the Services in accordance with all applicable law and professional standards, and in a skilful, safe, efficient and professional manner satisfactory to WorkplaceNL;

STANDARD TERMS AND CONDITIONS

- (h) the Contractor, its employees, officers, directors, associates and approved sub-contractors shall comply with all safety and security rules and workplace policies and procedures in effect from time to time while using or accessing WorkplaceNL's premises, assets, and/or resources;
- (i) the Contractor, its employees, officers, directors, associates, and/or approved sub-contractors will not commence work while under the influence of alcohol, marijuana or illegal drugs;
- (j) the Contractor, its employees, officers, directors, associates, and/or approved sub-contractors shall comply with the **Occupational Health and Safety Act**, RSNL 1990, c. O-3, and the Regulations thereto, as amended; and
- (k) if the Contractor is carrying on an undertaking in the Province of Newfoundland and Labrador, the Contractor will during the term of this Agreement continue to be registered and authorized to carry on business in compliance with the laws of the Province of Newfoundland and Labrador.

The Contractor shall supply all labour, materials, and supervision to complete the Services in accordance with the Agreement. The Contractor shall obtain all permits and licences, pay such fees, and give all notices necessary for the lawful performance of the Services. Except as otherwise specifically stated in this Agreement, all facilities and equipment required for the provision of the Services shall be provided by the Contractor and shall remain the property and responsibility of the Contractor.

The Contractor is fully and solely responsible for the actions of the Contractor and its employees, officers, directors, associates, and/or approved sub-contractors in performance of the Services and to ensure compliance with this Agreement. WorkplaceNL's approval of employees, officers, directors, associates, or sub-contractors does not relieve the Contractor of the Contractor's responsibilities under this Agreement.

13. Indemnity - The Contractor shall indemnify and hold harmless WorkplaceNL from and against all claims, actions, losses, expenses, costs and direct damages of every nature and kind whatsoever which WorkplaceNL or its employees, officers, directors, associates, or agents may suffer where the same are based upon or arise out of anything done or omitted to be done by the Contractor or its employees, officers, directors, associates, and/or approved sub-contractors.

14. Insurance - The Contractor shall, at its own expense and without limiting its liability herein, insure its operations under a contract of General Liability Insurance, with an insurer licensed in Newfoundland and Labrador, in an amount not less than Two Million Dollars (\$2,000,000) per occurrence, with an annual general aggregate, if any, of not less than Four Million Dollars (\$4,000,000) for each of its locations, insuring against any and all bodily injury, personal injury and property damage including loss of use thereof. Such insurance shall include blanket contractual liability and shall be in effect for the duration of the Agreement and any extensions or renewals. The deductibles applicable to the insurance required shall not exceed Five Thousand Dollars (\$5,000) per occurrence.

Certificates of insurance shall be provided to WorkplaceNL prior to the provision of Services under this Agreement and within thirty (30) days of any insurance renewal. All insurance called for under this Agreement shall be endorsed to provide WorkplaceNL with thirty (30) days advance written notice of cancellation, failure to renew or material change (material defined as any change restricting or reducing required coverage). WorkplaceNL may, at any time, request certified true copies of the policies and they shall be provided within fourteen (14) working days of the request. All insurance called for under this Agreement shall be primary insurance and shall not require the pro rata sharing of any loss by WorkplaceNL or any insurer of WorkplaceNL.

15. Good Standing and Safety – If the Contractor is engaged in, about or in connection with an industry in the province of Newfoundland and Labrador under the **Act**, prior to commencing provision of Services and during the term of this Agreement, the Contractor and any approved sub-contractors must be registered as an employer or have independent operator coverage under the

Act, must be in good standing with WorkplaceNL, and shall comply with the **Act** and the Regulations thereto, as amended. The Contractor authorizes WorkplaceNL to obtain confirmation of the same.

16. Performance Standards

Time is of the essence in the performance of the Agreement.

WorkplaceNL may notify the Contractor of any deficiencies, and in the event that the Contractor has failed to rectify the deficiencies within the time allocated by WorkplaceNL, WorkplaceNL may, at its discretion, obtain the Services, complete the work or rectify the deficiencies to its satisfaction and shall be entitled to deduct and set-off the costs of such work or rectification from any moneys due to the Contractor.

WorkplaceNL shall not be obligated to make any payments for Services rendered by the Contractor to remedy errors or omissions for which, in the reasonable opinion of WorkplaceNL, the Contractor is responsible.

17. Inspection – All Services are subject to final inspection and acceptance by WorkplaceNL. Services failing to conform to the specifications of this Agreement will be held at the Contractor's risk and may be returned to the Contractor. If so returned, all related costs are the responsibility of the Contractor. Services failing to conform to specifications of the Agreement may result in WorkplaceNL making adjustments to invoices.

18. Non-waiver – Mere acceptance of shipment of the Services specified and any inspection thereto by WorkplaceNL, shall not alter, limit or affect the obligations of the Contractor or the rights of WorkplaceNL herein or at law.

19. Title and Risk - Title to Services shall not pass to WorkplaceNL until delivered to a WorkplaceNL location and until such time shall be at the sole risk of the Contractor.

20. Canadian Standards Association (CSA) Approval – The Contractor shall ensure that all electrical, materials, hardware and assemblies supplied under the Agreement are fully CSA approved.

21. Workplace Hazardous Materials Information System (WHIMIS) – When dealing with materials designated as hazardous, the Contractor shall ensure all goods and materials are provided with appropriate labels and material safety data sheets where required by WHIMIS legislation.

22. Changes – WorkplaceNL, without invalidating the Agreement, may alter, add to or delete from the work, the Agreement sum being adjusted accordingly provided the Contractor has agreed to the same in writing. All such changes shall be governed by the conditions of the original Agreement. Any changes and unforeseen extras must be documented by change orders and approved by WorkplaceNL prior to proceeding. Supplementary invoices not supported by change orders will not be honored. The Contractor must notify WorkplaceNL of changes in the Contractor's policy or organization that affects its ability to meet its obligations outlined in the Agreement.

23. Termination - This Agreement may be terminated at any time by the mutual consent of the Parties.

WorkplaceNL may terminate this Agreement at any time, without cause, by giving thirty (30) calendar days written notice to the Contractor. WorkplaceNL shall not be subject to a claim for damages by the Contractor for any such termination.

WorkplaceNL may, in addition to and not in lieu of any other right or remedy available, at law or in equity, on the terms outlined in this paragraph terminate this Agreement at any time without notice, for cause and without compensation to the Contractor should:

- (a) the Contractor, its employees, officers, directors, associates, and/or approved sub-contractors be in breach of any provision of this Agreement;
- (b) WorkplaceNL determine, in its sole discretion, that the Services are being provided in a manner inconsistent with this Agreement;

STANDARD TERMS AND CONDITIONS

- (c) the Contractor fail to make adequate progress in the performance of the Agreement, or alternatively, an indication by the Contractor that they cannot or will not meet any or all of the requirements of the Agreement;
- (d) WorkplaceNL determines, in its sole discretion, that the invoicing practices of the Contractor are unsatisfactory or improper; or
- (e) the Contractor becomes insolvent or bankrupt or makes an assignment for the benefit of creditors or receivers appointed of its business, or a voluntarily or involuntary petition in bankruptcy is filed, or proceedings for the reorganization or winding up of the Contractor is instituted.

WorkplaceNL may terminate the Agreement immediately or may provide the Contractor with written notice of the above noted default and provide the Contractor an opportunity to rectify the said default within 72 hours. If the default is not rectified to the satisfaction of WorkplaceNL within 72 hours, then WorkplaceNL can proceed to terminate this Agreement, for cause, without further notice.

Where this Agreement is terminated, either by mutual consent or otherwise, the Contractor shall, without any further fee or cost whatsoever to WorkplaceNL:

- (a) upon the effective date of termination of this Agreement cause all Services being provided under this Agreement to be discontinued, unless WorkplaceNL has provided its express, written consent to the continuation of Services; and
- (b) within thirty (30) working days of the effective date of termination, provide all work product and all final invoices for Services completed to the date of termination pursuant to this Agreement. The obligations of WorkplaceNL to make payment to the Contractor shall continue for Services performed up to and including the date of termination but do not continue beyond that time period. If the Agreement stipulates a lump sum payment, any such payment for Services performed shall be valued proportionately to the value of the contract.

The Contractor shall not be entitled to any other payment in respect of such termination including, without prejudice to the generality of the foregoing, any payment for any consequential loss or damage or loss of profits arising from termination of this Agreement or in any other way related thereto.

24. Force Majeure – Neither the Contractor nor WorkplaceNL shall be deemed to be in default of its obligations under this Agreement, if, and for as long as, any delay or non-performance is directly or indirectly caused by or results from events of Force Majeure beyond the reasonable control of that party. These events shall include, but not be limited to, strikes or other labour disturbance, riots, civil disturbances, wars, fires, explosions, floods, acts of God, epidemics, pandemics and acts of any government or branch or agency thereof. The performance of this Agreement shall resume as soon as practicable after force majeure has ceased.

Force Majeure shall not include the following:

- (a) late delivery of equipment or materials caused by congestion at a manufacturer's plant or elsewhere, an oversold condition of the market, inefficiencies, or similar occurrences; and
- (b) late performance by a sub-contractor(s) unless the delay arises out of a Force Majeure occurrence in accordance with this clause.

25. Records and Audit - The Contractor shall maintain appropriate records and files in relation to the Services provided under this Agreement for seven (7) years, at which time the Contractor will destroy any and all copies and versions of the said records and files. The Contractor will retain copies of the records and files only to the extent required by law and applicable professional standards. The Contractor shall provide a copy of the said records and files within seven (7) working days of receipt of a written request from WorkplaceNL.

In addition to any other rights of inspection or audit that WorkplaceNL may have under this Agreement or under statute, WorkplaceNL or a person

authorized by WorkplaceNL, may, at any reasonable time and upon reasonable notice to the Contractor, inspect, audit and evaluate the Contractor's compliance with the terms of this Agreement, including but not limited to compliance with Service and invoice obligations, privacy, security and information management, under this Agreement through any means including but not limited to the following means:

- (a) on-site visit and examination of records and files, and inspection of electronic devices upon WorkplaceNL's request;
- (b) observation of the performance of the Services in progress;
- (c) full access to records and files and the ability to make copies of the record; and
- (d) oral or written communication pertaining to Services with any clients, employees, associates, directors, officers, agents and approved sub-contractors of the Contractor.

Notwithstanding any other provision of this Agreement, WorkplaceNL shall not be responsible for the Contractor's costs or fees associated with compliance with this section.

26. General - The paragraph headings shall not be considered in interpreting the text.

27. Invalid or Unenforceable Provision - If any term or provision of this Agreement is found to be illegal, invalid, or unenforceable, notwithstanding this Agreement may, at WorkplaceNL's option, remain in full force and effect and such term or provision shall be deemed removed from this Agreement and the remaining provisions form a valid agreement.

28. Waiver - Any waiver of, or consent to depart from, the requirements of any provision of this Agreement shall be effective only if it is in writing and signed by the party giving it, and only in the specific instance and for the specific purpose for which it has been given. Failure on the part of any party to exercise, and/or delay in exercising, any right under this Agreement shall not operate as a waiver of such right. No single or partial exercise of any such right shall preclude any other or further exercise of such right or the exercise of any other right.

29. Governing Law - This Agreement shall be governed by and interpreted in accordance with the laws of the Province of Newfoundland and Labrador, and the forum for all disputes shall be the Courts of the Province of Newfoundland and Labrador.

30. Survival of Obligations – All the obligations of the Contractor under this Agreement, including but not limited to independent contractor status, confidentiality, warranty and liability, records and audit, termination, indemnification and insurance provisions, shall survive the termination or completion of this Agreement.

31. Promotion - The Contractor shall not associate WorkplaceNL in any advertising or other promotional materials or messages associated with it without WorkplaceNL's prior written consent. The Contractor, its employees, officers, directors, associates and/or approved sub-contractors shall not approach WorkplaceNL personnel, to in any way promote the business of the Contractor.

32. Enurement – Subject to the express limitations set out in the Agreement, this Agreement shall enure to the benefit of and be binding upon the respective heirs, executors, administrators, successors and permitted assigns of the Parties.

33. Agreement Amendment - The Agreement may only be modified by a written agreement signed by persons duly authorized by the Contractor and WorkplaceNL.

STANDARD TERMS AND CONDITIONS

DECLARATION OF CONFIDENTIALITY/CONFLICT OF INTEREST

As a Contractor to WorkplaceNL, _____, its employees, officers, directors, associates and/or approved sub-contractors (collectively, the "Company") will perform Services pursuant to the Agreement between the Contractor and WorkplaceNL. All information of or concerning WorkplaceNL, WorkplaceNL clients, or of third parties to whom WorkplaceNL owes a duty of confidence, that is received or obtained by the Company in the course of performing the Services, either directly or indirectly, is Confidential Information.

As a Contractor, I _____, (name), an officer or director of the Company, hereby swear (or affirm) on behalf of the Company:

1. I have read and understand the following documents and shall comply with all terms and conditions outlined therein:
 - WorkplaceNL Policy GP-01, Information Protection, Access and Disclosure;
 - WorkplaceNL Standard Terms and Conditions; and
 - WorkplaceNL Confidentiality Schedule (if attached to the Agreement).
2. I will comply with all professional standards and all obligations imposed under any applicable privacy laws, which may include the **Access to Information and Protection of Privacy Act, 2015**, SNL 2015, c. A-1.2, as amended ("**ATIPPA**"), the **Management of Information Act**, SNL 2005, c. M-1.01, as amended, the **Privacy Act**, RSNL 1990, c. P-22, as amended, and the **Personal Health Information Act**, SNL 2008, c. P-7.01, as amended ("**PHIA**").
3. I shall not collect, use, or retain, or disclose any Confidential Information whatsoever except to the extent necessary to perform Services, which shall be limited to the minimum amount of information necessary to accomplish the purpose. Further, I acknowledge and agree that these obligations continue indefinitely, beyond the completion of the Agreement.
4. When required, I shall return to WorkplaceNL any and all Confidential Information obtained in the course of performing Services. Upon termination of the Company's relationship with any employees, officers, directors, associates, and/or approved sub-contractors, or when required, I will ensure the return to the Company of any and all Confidential Information obtained in the course of performing Services. I will retain copies of Confidential Information only to the extent required by law and applicable professional standards.
5. I will immediately notify WorkplaceNL if the Company becomes aware of a breach or possible breach of confidentiality, whether the awareness of the breach is by an employee, officer, director, associate, and/or approved sub-contractor or any other party that the Company may engage to assist in any part of the performance of Services.
6. I will communicate WorkplaceNL's confidentiality and conflict of interest requirements to the Company's employees, officers, directors, associates, and/or approved sub-contractors and I will bind them to comply with those requirements and sign an oath which addresses the principles of confidentiality contained therein. I acknowledge and agree that the Company is fully and solely responsible for the actions of the Company and its employees, officers, directors, associates, and/or approved sub-contractors to ensure compliance with WorkplaceNL's confidentiality and conflict of interest requirements.
7. I will not permit any actual, possible or perceived conflict of interest between the interests of WorkplaceNL and/or its clients and the interests of the Company, and will immediately disclose any such conflict to WorkplaceNL in writing.
8. In particular, the Company is aware of its obligation:
 - to comply with the requirements of applicable legislation to protect the confidentiality of Confidential Information and the privacy of the individuals who are the subject of that information;
 - to protect the confidentiality of the information that is in the Company's custody or control and the privacy of any individual who is the subject of that information;
 - to provide for the secure storage, retention and disposal of Confidential Information to minimize the risk of unauthorized access to or disclosure of the Confidential Information.

SWORN/AFFIRMED at _____,
in the Province of _____, this
_____ day of _____, 20____, before me:

Commissioner of Oaths

Signature of Individual

Print Name