# WorkplaceNL 2024-74-T First and Third Floor Renovations – St. John's Office 146-148 Forest Road



Tender: 2024 74-T

First and Third Floor Renovations - St. John's Office 146-148 Forest Road

Issue Date: Friday, November 22, 2024

Tender Closing Date: Friday, December 6, 2024 before 2:00pm (NL Time)

MANDATORY SITE VISIT REQUIRED on Wednesday, November 27, 2024

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#### SECTION 1 - SCOPE OF WORK AND SPECIFICATIONS

#### 1.1 INTENT

The Workplace Health, Safety and Compensation Commission (WorkplaceNL) invites submission on the tender call for the provision of all equipment, labour, disposals, materials and incidentals required to complete renovation work consisting of installation of interior walls and finishes, electrical and mechanical updates and upgrades, kitchenette upgrades, floor coverings, ceiling panels and lighting for two office areas located on the first floor, and one office area located on the third floor of WorkplaceNL's building located at 146-148 Forest Road, St. John's, NL

#### 1.2 OVERVIEW

WorkplaceNL provides services to employers, injured workers and their dependents, and the public through the administration of the **Workplace Health**, **Safety and Compensation Act**, **2022**. These services include promoting workplace health and safety in order to prevent and reduce workplace injury and illness. WorkplaceNL strives to ensure injured workers receive the best care possible and the benefits to which they are entitled. WorkplaceNL facilitates injured workers' recovery, and early and safe return to work. In addition, WorkplaceNL administers an employer classification and assessment system and ensures adequate funding for services through sound financial management.

WorkplaceNL is organized along two main functional areas: 1) prevention and workplace services; and 2) corporate and financial services. These functional areas support the organization's three main lines of business:

- 1. Education on the prevention of workplace injuries, illnesses, and occupational disease;
- 2. Claims management for injured workers; and
- 3. Employer assessments (no-fault compensation coverage).

#### 1.3 SCOPE OF WORK

1.3.1 The successful Applicant will provide WorkplaceNL all equipment, labour, disposals, materials and incidentals required to complete renovation work on two office areas located on the first floor, and one office area located on the third floor of WorkplaceNL's property located on 146-148 Forest Road, St. John's, NL as described in these Tender documents.

The general components of the work include, but are not limited to:

- Removal of existing floor coverings and baseboard trims
- Supply and installation of floor coverings and baseboard trims

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- Demolition of a kitchenette
- Supply and installation of new kitchenette millwork
- Supply and installation of wall and floor coverings in kitchenette
- Replacement of plumbing fixtures in kitchenette
- Supply and installation of all piping including drains and water lines to relocate kitchenette sink
- Supply and installation of interior office walls for new office additions
- Supply and installation of interior office doors for new office additions
- Supply and installation of wall, floor coverings and baseboard trims in new office additions
- Supply and installation of thermostats for ventilation and heating in new offices
- Supply and installation of interior wall located in the mailroom with opening for mail cabinet
- Removal, cleaning, refurbishment and reinstallation of mail cabinet into new wall in mailroom
- Repair, plastering and painting of walls, doors
- Repair, plastering and painting of perimeter hard ceilings located in the third floor office area
- Ceilings and Walls to be painted 1 coat primer, 2 latex finish coats
- Door frames are to be painted both sides of the frame for any doors in the identified common areas and doors leading from the common areas into offices and office areas
- Removal and replacement and/or upgrade (as identified by WorkplaceNL) of ceiling tiles and grids. All grids to be 2'X2' with 2'X2' ceiling tiles
- Replacement of doors and related door hardware and equipment
- Replacement and/or upgrade of lighting fixtures
- Installation of any and all necessary electrical equipment as it relates to fixture upgrades and tie back into nearest existing electrical panels
- Existing 2'X4' lights located in tiled ceiling is to be replaced to 2'X2' LED panels.
- Supply and installation of three commercial grade metal handrails in first floor hallway (1 – 16 ft in length and 2 – 9 ft in length). Handrails to be painted matching existing handrail.
- Supply and installation of transition carpets to indicate two separate sloped inclines in first floor hallway.
- Disposal of waste

Refer to the project drawings and specifications in **Appendix "A"** for a complete description of the scope of work and services required.

#### 1.3.2 Material Specifications

- Ceiling Types:
  - 2'x2' Mineral Fiber, USG, Radar Basic R2110 Acoustic Ceiling, White (Currently estimated 684 2'x2' tiles)

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- Suspension system: USG Donn® Brand DX®/DXL™ 15/16" Acoustical Suspension System in Flat White
- Lighting Types:
  - 2' X 2' LED Panel, Standard, Model #: 67216 (estimated 46 units)
- Flooring Types
  - Carpet tiles (estimated 3700 ft²)
    - Tarkett (Tandus Centiva), GeoKnit 10887 Shadow Gris 42710, ER3
       Modular 24" x 24" laid in the vertical Ashlar Pattern
  - Vinyl Base (estimated 610 linear ft)
    - Tarkett, Perceptions Contour base in 63 Burnt Umber, 4.25" Vinyl Cove Toe Base installed with premium quality wall base adhesives, DTC40 4" Vinyl Corners, 4.25" height helps hide old adhesive and paint lines
  - Porcelain tiles (estimated 200 ft²)
    - Azteca, Sweet Home Natural Elements Stone Collection Soft Dry 60 B48 in Graphite, 60cm x 60cm tile

All counts and measurements are approximations and Contractor must confirm on site as part of the bid preparation and submission.

Refer to the project drawings and specifications in **Appendix "A"** for a complete description of the scope of work and services required.

The expectation of this work is to be completed during regular WorkplaceNL operational hours, 8:30 a.m. to 4:30 p.m. Monday to Friday with the exception of scheduled Statutory holidays. The work is expected to be completed as per the Tender Bid amount. Any hours that are deemed necessary and exceptional, and required outside regular work day hours and must be approved and coordinated with WorkplaceNL.

The successful Bidder will be required to attend weekly meetings with WorkplaceNL to provide progress and status updates and address any concerns or issues that may exist.

The work is required to begin in **January 2025** and be completed within three months from the start date. WorkplaceNL will work with the successful Bidder to determine an appropriate work schedule.

#### 1.3.3 Foreperson and Supervision

While the work is ongoing, the successful Bidder shall assign a competent foreperson and any necessary assistants to the work, who are satisfactory to WorkplaceNL. The foreperson shall represent the successful Bidder in their absence, and all directions provided to the foreperson shall be held to be given to the successful Bidder. The

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successful Bidder shall give efficient and appropriate supervision to the work, in a professional, skillful and safe manner.

## 1.3.4 Inspection and Quality of Work

- 1.3.4.1 All plumbing, electrical and construction work must meet the most current requirements of the National Plumbing Code of Canada, Canadian Electrical Code and be in strict compliance with the National Building Code and all applicable rules and regulations that may be imposed by the Municipal and Provincial Governments, Fire Commissioner and WorkplaceNL.
- 1.3.4.2 If the specifications, instructions, laws, ordinances or any public authority require any work to be specifically carried out, tested or approved, the successful Bidder shall give WorkplaceNL timely notice of its readiness for inspection and if the inspection is by an authority other than WorkplaceNL, the date and time must be fixed for such inspection.
- 1.3.4.3 Re-examination of questioned work may be ordered by WorkplaceNL. If such work is in accordance with the agreement, WorkplaceNL shall pay the cost of re-examination. If such work is not in accordance with the agreement, through the fault of the successful Bidder, the successful Bidder shall pay such costs.

## 1.3.5 Quality of Goods

- **1.3.5.1** Unless otherwise stated in the Tender, all material included in the Bid must be new, first quality goods. Used, refurbished, second, obsolete, discontinued or demonstrator items must only be proposed if the Tender specifically request or otherwise states that such goods will be allowed.
- **1.3.5.2** Where applicable, the end user must be provided with complete operation manuals, warranty registration forms, user licenses/authentications and/or other associated documentation normally provided by the manufacturer, reseller, installer and/or consultants.

#### **1.3.6** Safety

1.3.6.1 The successful Bidder is responsible for the safety of its employees while on the job site and must abide by WorkplaceNL's safety procedures as well as the requirements of the Occupational Health and Safety Act, RSNL 1990, c. O-3, and the Regulations thereto, as amended.

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- **1.3.6.2** The successful Bidder must submit its Safety Policy Manual to WorkplaceNL within fourteen (14) days of award. The Safety Policy Manuel must be acceptable to WorkplaceNL.
- 1.3.6.3 The successful Bidder <u>must be **COR** certified</u> through the Newfoundland and Labrador Construction Safety Association and must maintain their good standing throughout the duration of the agreement. A Certificate of Recognition program "letter of good standing' must accompany the Bid documents.
- **1.3.6.4** The successful Bidder and all persons assigned to perform services shall attend a safety meeting held by the Building Superintendent or his designate and shall complete WorkplaceNL's contractor orientation prior to the commencement of the services.
- **1.3.6.5** The successful Bidder shall ensure that its employees wear proper protection for the work; including but not limited to safety hats, safety shoes, eye or face protection, and other safety equipment at all times.

## 1.3.7 Cleaning Up

The successful Bidder shall at all times keep the premises free from accumulations of surplus materials caused by work. At the completion of the work, the successful Bidder shall remove all materials from and about the premises and all equipment, tools and surplus materials unless specifically outlined herein. In case of dispute, WorkplaceNL, in its sole discretion, may remove surplus materials and charge the cost to the successful Bidder.

# 1.3.8 Changes and Extra Work

WorkplaceNL may, at any time, without invalidating the agreement, make changes in the scope of work and may require the successful Bidder to perform changes and/or extra services. Changes may also include reduced servicing due to floor plan changes, period of renovation, and/or changes made due to technology innovations as determined by WorkplaceNL. Before any changes in the scope of work is instituted, such changes and/or extra work shall be authorized by a written change order specifying the basis of compensation to be paid to the successful Bidder. The value of any changes shall be determined in one or more of the following ways:

- by the successful Bidder's estimate in lump sum subject to acceptance by WorkplaceNL. The estimate must be submitted with a breakdown estimate for equipment, materials and labour, and signed quotations for any sub-contractors and supplies;
- by unit prices agreed upon; or

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 by cost and percentages or by cost and a fixed sum as agreed between WorkplaceNL and the successful Bidder.

#### 1.3.9 Hazardous or Controlled Products

- 1.3.9.1 The successful Bidder shall not use or deliver a hazardous or controlled product, as defined by the Hazardous Products Act, R.S.C. 1985, c. H-3, as amended, for the purposes of the agreement without the prior approval of WorkplaceNL. If such products are approved by WorkplaceNL, the successful Bidder shall be familiar with and fully comply with the Hazardous Products Act, and the Workplace Hazardous Materials Information System (WHMIS) Regulation 1149/96 under the Occupational Health and Safety Act, RSNL 1990, c. O-3, as amended.
- 1.3.9.2 The successful Bidder shall ensure that a hazardous or controlled product is not used, stored or handled in the performance of services unless all of the requirements of the aforesaid **Act** and regulations in respect of labels, identifiers, material safety data sheets and worker education are complied with.
- **1.3.9.3** The successful Bidder shall ensure that each product has a MSDS sheet and is provided in a binder to WorkplaceNL. It is the responsibility of the successful Bidder to ensure these binders are updated when any new product had been added or any changes to existing products.
- 1.3.9.4 The successful Bidder shall ensure that all persons who work with a hazardous or controlled product or work in proximity to a hazardous or controlled product are informed about all hazard information received from the supplier of the said product as well as any other hazard information of which the successful Bidder is aware of, or ought to be aware of, concerning the use, storage and handling of the hazardous or controlled product.
- 1.3.9.5 The successful Bidder shall ensure that, prior to delivery of the hazardous or controlled product to the job site; it is labeled with the supplier's label in accordance with requirements of the aforesaid **Act** and regulations. The successful Bidder shall provide WorkplaceNL with all such information prior to delivery of the hazardous or controlled product to the job site.

#### 1.3.10 Insurance and Bonding

**1.3.10.1** In addition to the insurance requirements outlined in the WorkplaceNL Standard Terms and Conditions, the successful Bidder shall, without limiting its obligation or liabilities and at its own expense, provide and

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maintain the following insurance in the forms and amounts acceptable to WorkplaceNL:

- Products and Completed Operations insurance in an amount not less than \$5,000,000 insuring its liability resulting from errors and omissions in the performance of professional services under this Agreement; and
- Automobile Liability Insurance in an amount not less than \$2,000,000 per occurrence, including insurance against accidents while at the WorkplaceNL premises. The deductibles applicable to this insurance shall not exceed Five Thousand Dollars (\$5,000) per occurrence.
- **1.3.10.2** The successful Bidder hereby warrants that it shall provide only bonded employees and shall have Dishonesty coverage in the amount of \$10,000 for each employee. The successful Bidder shall provide satisfactory written confirmation of such bonding throughout the term of this Agreement upon request by WorkplaceNL.
- 1.3.10.3 Prior to commencing performance of this Agreement and annually thereafter, the successful Bidder shall supply a Criminal Records Screening Certificate, which is acceptable to WorkplaceNL, in relation to all of the successful Bidder's employees, officers, directors, associates, and/or approved sub-contractors who will perform Services under the within Agreement from the Royal Newfoundland Constabulary and any other police force having jurisdiction over the area(s) in which the said employees, officers, directors, associates, and/or approved sub-contractors have resided in the past 5 years.

#### 1.3.11 Performance Bond and Failure to Complete Work

- **1.3.11.1** The successful Bidder shall, within fourteen (14) days from the receipt of notification of acceptance of its Tender, furnish at its expense:
  - A Performance Bond in the amount of fifty (50) percent of the contract price (see **Appendix "E"**, **Performance Bond**); or
  - An irrevocable Letter of Credit from a chartered Canadian bank, in a form acceptable to WorkplaceNL, for an amount of not less than fifty (50) percent of the contract price. Such Letter of Credit shall expire forty-five (45) days following the date set herein for completion of the agreement and drafts drawn upon the Letter of Credit shall be exercised by advice to the Royal Bank of Canada, Main Branch, Water Street, St. John's, Newfoundland, Canada

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- 1.3.11.2 The Performance Security in the form of a letter of credit, subject to any adjustments as provided for in this document will be returned to the successful Bidder immediately following satisfactory completion of the agreement.
- **1.3.11.3** Where, in the opinion of WorkplaceNL, the successful Bidder has failed to perform its duties and obligations under the agreement, WorkplaceNL, shall use the Performance Security to provide for completion of the work, to the limits of the Performance Security as follows:
  - Where, the Performance Security has been provided in the form of a Performance Bond, the work shall be completed in accordance with the terms and conditions stipulated in the Bond.
  - Where the Performance Security has been provided in the form of a letter of credit, WorkplaceNL shall use sufficient funds obtained from the Performance Security to the limit of the Performance Security, to complete the work, including for any other costs and damages that WorkplaceNL may suffer.
  - Any use of the Performance Security to secure completion of the work shall not invalidate any recourse WorkplaceNL may have under the agreement for damages for failure of the successful Bidder to perform under the agreement.

#### SECTION 2 – INSTRUCTIONS TO BIDDERS

#### 2.1 MANDATORY SITE ASSESSMENT/EXAMINATION

Bidders <u>must</u> visit the project site at **9:00 am** on **Wednesday, November 27, 2024** and become familiar with the surroundings and scope of work prior to submitting a Bid. Upon arrival for site assessment, please ask for the Manager, Purchasing and Facilities. A "Declaration of Confidentiality/Conflict of Interest" in the form attached hereto must be completed upon visit to the site for the assessment/examination.

#### 2.2 QUALIFICATIONS AND EXPERIENCE

2.2.1 The successful Bidder must possess the necessary knowledge, skill and experience to perform renovation work in an industrial environment and must meet the following mandatory criteria:

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- The successful Bidder must have a proven record of performing renovation work of a similar size and scope with a minimum of five (5) years' experience.
- The Bid must include a Certificate of Recognition program "letter of good standing" which confirms that the Bidder is COR certified through the Newfoundland and Labrador Construction Safety Association.

#### 2.3 ELECTRONIC COPY OF DOCUMENT

- 2.3.1 WorkplaceNL reserves the right to modify the terms of the Tender by issuance of addenda at any time prior to the Tender Closing Date. It is the responsibility of the Bidder to monitor WorkplaceNL's website (<a href="http://www.workplacenl.ca">http://www.workplacenl.ca</a>) or the Tender posting at <a href="http://www.workplacenl.ca">www.merx.com</a> for any addendum to the Tender issued up to and including the Tender Closing Date.
- 2.3.2 It is the Bidder's responsibility to ensure that they have received a complete set of documents. By submitting a Bid, the Bidder verifies that they have received a complete set of Tender documents including any and all addenda. All terms, conditions, and/or specifications stated or referenced in the Tender are assumed to be accepted by the Bidder and incorporated in the Bid.
- **2.3.3** Bidders who have obtained the Tender electronically must not alter any portion of the document, with the exception of applying any addendum issued by WorkplaceNL.

#### 2.4 QUESTIONS AND CLARIFICATION

- 2.4.1 All questions related to this Tender must be directed in writing by email to <a href="mailto:purchasing@workplacenl.ca">purchasing@workplacenl.ca</a> or through the Tender posting on <a href="mailto:www.merx.com">www.merx.com</a> and received by WorkplaceNL before 4:30PM Newfoundland Time on Friday, November 29, 2024.
- 2.4.2 All questions should include the Bidder's name and address, contact person's name, telephone number, and email address, and the reference to the specific section and page number of the Tender in question. All email questions must include the Tender number and title in the email subject line.
- 2.4.3 To the extent that WorkplaceNL considers that the answer to the question may assist in the preparation of a Bid, WorkplaceNL will post an addendum on its website and through the Tender posting on www.merx.com which will be part of the Tender. WorkplaceNL may not answer a question where WorkplaceNL considers the information requested is not required to prepare a Bid, or where the answer to the question posed may be found in the Tender. No responses shall be binding upon

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WorkplaceNL unless made in writing. Information obtained from any other source is not official and may be inaccurate and it is not binding.

#### 2.5 CONFIDENTIALITY AND OWNERSHIP OF INFORMATION

- 2.5.1 Information pertaining to WorkplaceNL obtained by the Bidder as a result of participation in this Tender and/or negotiations with WorkplaceNL, if any, is confidential and shall not be disclosed without prior written authorization from WorkplaceNL.
- 2.5.2 The Tender and any supplementary document or portion thereof is proprietary information, and must not be used by the Bidder without the permission of WorkplaceNL, other than for the submission of Bids.
- **2.5.3** All Bids submitted become the property of WorkplaceNL. By submitting a Bid, the Bidder hereby grants WorkplaceNL a license to distribute, copy, print, or translate the Bid for the purposes of the Tender. Any attempt to limit WorkplaceNL's right in this area may result in rejection of the Bid.
- 2.5.4 The procurement process is subject to the Access to Information and Protection of Privacy Act, 2015, SNL 2015 c. A-1.2, as amended (ATIPPA). The Bidder's Bid package may be subject to disclosure under the ATIPPA. By submitting a Bid, the Bidder agrees to the appropriate disclosure of the information supplied, subject to the provisions of the governing law. WorkplaceNL cannot guarantee the confidentiality of the content of any Bid after the Tender Closing Date. WorkplaceNL shall not be liable to any Bidder for any claim, direct or indirect, whether for costs, expenses, losses or damages, or loss of anticipated profits, or for any other matter whatsoever incurred by the Bidder as a result of disclosure pursuant to the ATIPPA.
- 2.5.5 By submitting a Bid, the Bidder agrees that it has identified any specific information in its Bid that may qualify for an exemption from disclosure under subsection 39(1) of the ATIPPA. If no specific information has been identified it is assumed that, in the opinion of the Bidder, there is no specific information that qualifies for an exemption under subsection 39(1) of the ATIPPA and information may be released without further notice.
- **2.5.6** The financial value of a contract resulting from this procurement process will be publically released as part of the award notification process.

#### 2.6 NO CLAIMS BY BIDDER

**2.6.1** By participating in the process outlined in this Tender document, the Bidder consents to the procedures as described in this Tender.

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2.6.2 By submitting a Bid, each Bidder irrevocably waives any claim, action or proceeding against WorkplaceNL, including without limitation any judicial review or injunction application, or against any of WorkplaceNL's employees, advisors or representatives for damages, expenses or costs including costs of Bid preparation, loss of profits, loss of opportunity or any consequential loss for any reason including: any actual or alleged unfairness on the part of WorkplaceNL at any stage of the procurement process; if WorkplaceNL does not award or execute a contract; or if WorkplaceNL is subsequently determined to have accepted a noncompliant Bid or otherwise breached or fundamentally breached the terms of this procurement.

#### 2.7 CONFLICT OF INTEREST

- **2.7.1** For the purposes of this Tender, the term "conflict of interest" includes, but is not limited to, any situation or circumstance where:
  - in relation to the Tender process, the Bidder has an unfair advantage or engages in conduct, directly or indirectly, that may give it an unfair advantage, including but not limited to:
    - (i) having or having access to confidential information of WorkplaceNL in the preparation of its response that is not available to other Bidders;
    - (ii) having been involved in the development of the Tender, including having provided advice or assistance in the development of the Tender;
    - (iii) receiving advice or assistance in the preparation of its response from any individual or entity that was involved in the development of the Tender;
    - (iv) communicating with any person with a view to influencing preferred treatment in the Tender process (including but not limited to the lobbying of decision makers involved in the Tender process); or
    - (v) engaging in conduct that compromises, or could be seen to compromise, the integrity of the open and competitive Tender process or render that process non-competitive or unfair;
  - in relation to the performance of its contractual obligations under an agreement for services, the Bidder's other commitments, relationships, or financial interests:
    - (i) could, or could be seen to, exercise an improper influence over the objective, unbiased, and impartial exercise of its independent judgement; or
    - (ii) could, or could be seen to, compromise, impair, or be incompatible with the effective performance of its contractual obligations.
- 2.7.2 The Bidder, its employees, officers, directors, associates and/or approved subcontractors shall not and will not have any conflict of interest (actual or potential) in submitting its Bid or, if selected, in providing services under the agreement. Where applicable, the Bidder must declare in its Bid any situation that may be a conflict of interest in submitting its Bid or, if selected, with the contractual obligations under the agreement.

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- 2.7.3 If, at the sole and absolute discretion of WorkplaceNL, the Bidder, its employees, officers, directors, associates and/or approved sub-contractors is found by WorkplaceNL to be in an actual or perceived conflict of interest either during the Tender or after award of the contract, WorkplaceNL may, in addition to any other remedies available at law or in equity, disqualify the Bid submitted by the Bidder or terminate the agreement.
- 2.7.4 Sub-contracting to any firm or individual whose current or past corporate or other interests may, in WorkplaceNL's opinion, give rise to an actual or perceived conflict of interest in connection with this Tender will not be permitted. This includes, but is not limited to, any firm or individual involved in the preparation of the Tender.

#### 2.8 AGREEMENT

- 2.8.1 The successful Bidder shall comply with the WorkplaceNL Standard Terms and Conditions attached hereto. To be eligible to provide services to WorkplaceNL, the successful Bidder shall initial all 5 pages of the WorkplaceNL Standard Terms and Conditions within the time frame established by WorkplaceNL.
- **2.8.2** Any awards made pursuant to this Tender process are subject to receipt by WorkplaceNL of the initialed WorkplaceNL Standard Terms and Conditions.
- **2.8.3** Claims made by the Bidder in the Bid will constitute Contractual warranties.

#### 2.9 TENDER CLOSING

- **2.9.1** Bids must be received in their entirety before **2:00 p.m**. Newfoundland Time on **Friday, December 6, 2024** ("Tender Closing Date"). Bids, or any portion thereof, received after the Tender Closing Date will not be accepted.
- 2.9.2 Bidders are solely responsible to ensure receipt of their Bid by WorkplaceNL in its entirety, in the manner and time prescribed. Bidders must submit their Bid via <a href="https://www.merx.com">www.merx.com</a> (see Appendix "C" Electronic Bid Submission Instructions). Hard copy paper Bids or Bids submitted by facsimile or email will not be accepted.

#### 2.10 BID INSTRUCTIONS

- **2.10.1** The Bidder must submit the Bid and related documentation, including **Appendix "B", Check List**.
- **2.10.2** The Bidder must submit the attached **Appendix "C", Bid Form**, which must be signed by the Bidder or an authorized representative of the Bidder. If the Bidder is a

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- corporation, the Bid must be signed by the authorized signing officer of the corporation.
- **2.10.3** It is essential that the Bid is complete and thoroughly addresses each requirement identified in the Tender, as incomplete Bids may be declared "non-responsive". Bids that are improperly signed, conditional, illegible, obscure, or contain arithmetical errors, erasures, alterations, or irregularities of any kind may be considered invalid.
- **2.10.4** The Bid must include a written statement of the company history, including, but not limited to, the length of time in business, and the length of time completing renovation work of a similar size and scope and describing how the Bidder meets the mandatory criteria listed in paragraph 2.2.1.
- **2.10.5** The Bid must include a Certificate of Recognition program "letter of good standing" which confirms that the Bidder is <u>COR certified</u> through the Newfoundland and Labrador Construction Safety Association.
- 2.10.6 The Bid shall be accompanied by a list with a minimum of three (3) client references with appropriate contact information who can provide evidence of previous experience providing similar services with comparable scope and tender value. This list shall include the name of a contact person for reference purposes. References may be contacted as part of the review process. The list of references should exclude any potential references from WorkplaceNL.
- 2.10.7 The successful Bidder must provide bonded employees and Dishonesty coverage in the amount of \$10,000 for each employee. Proof of bonding must be provided to WorkplaceNL for any and all employees working under the agreement within 14 days from the receipt of notification of acceptance of its tender. Notice of cancellation of bonding must be immediately provided to WorkplaceNL.
- **2.10.8** The Bidder must describe the duration, type (e.g. on site, depot, ship-in or carry-in) and terms of the manufacturer's warranty on all goods. If the Bidder provides any additional/supplementary warranty coverage, the Bidder must describe this as well.
- **2.10.9** If warranties can be upgraded or extended, the Bidder must identify the upgrade costs separately. Do not include warranty upgrade or extension costs in the Bid price unless the Tender specifically states that the upgrade is a mandatory requirement.
- 2.10.10 The Bidder must acknowledge that they have read and understood any and all addenda in both the **Appendix "B"**, **Check List** and the **Appendix "C"**, **Bid Form**.
- 2.10.11 Travel costs are not to be included in the Bid. WorkplaceNL will discuss travel arrangements with the successful Bidder prior to scheduling work. Unless otherwise specified in writing, all travel must be pre-approved by WorkplaceNL. The Contractor shall comply with WorkplaceNL's Procedure 100.00: "Travel Procedures" for all travel

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- expenses. The requirement for approval of out of province travel by the Chief Executive Officer and the Chair of the Board of Directors does not apply to the Contractor.
- **2.10.12** Shipping, cartage, lading, insurance, duties, levies, and handling charges must be included in the total price. If these charges have not been stated specifically, it will be assumed that they have been included in the Bid price.
- **2.10.13** By submitting a Bid, the Bidder guarantees that, unless the Tender specifies otherwise, all components required to make the required equipment or system operable or to deliver the required services have been included in the Bid, or will be provided at no additional charge to WorkplaceNL.
- 2.10.14 While WorkplaceNL has tried to ensure the accuracy of the Tender, it is not guaranteed or warranted by WorkplaceNL to be accurate, nor is it necessarily comprehensive or exhaustive. WorkplaceNL will assume that all Bidders have resolved any questions they might have about the Tender and have informed themselves as to the existing conditions and limitations, site restrictions, etc. before submitting their Bids. Nothing in the invitation is intended to relieve Bidders from forming their own opinions and conclusions with respect to the matters addressed in the Tender.
- **2.10.15** Any error in the Bid is the responsibility of the Bidder.
- **2.10.16** A Bid cannot be withdrawn, altered or changed in any way after the Tender Closing Date.

## 2.11 BID EVALUATION

- **2.11.1** Tender evaluation and award of contract will be done in accordance with the **Public Procurement Act**, SNL 2016, c. P-41.001, as amended, and WorkplaceNL's procedures.
- 2.11.2 Tenders will be opened publicly immediately following the Tender closing in accordance with the Public Procurement Regulations, as amended. The names of all Bidders will be provided at public opening. Bidders may email <a href="mailto:purchasing@workplacenl.ca">purchasing@workplacenl.ca</a> to request a Webex meeting invite to attend the public opening. Bidders must include their name, email address, and tender number in the request. Meeting requests must be received by WorkplaceNL before 4:30 p.m. Newfoundland Time on Monday, December 2, 2024.
- 2.11.3 WorkplaceNL reserves the right to non-disclosure of pricing submitted by Bidders during the public opening. All Bidders will be notified electronically of the Bidder names and Bid prices within two (2) business days of the public opening. This

#### First and Third Floor Renovations - St. John's Office 146-148 Forest Road

- information is for reference purposes only, and a full Bid evaluation will be conducted to determine the preferred supplier.
- **2.11.4** The Bid shall remain open for acceptance and is irrevocable for a period of ninety (90) days after the Tender Closing Date.
- 2.11.5 WorkplaceNL reserves the right to waive any minor irregularity or non-compliance where such irregularity or non-compliance is not of a material nature in its sole and absolute discretion. Such minor irregularity or non-compliance will be deemed substantial compliance and capable of acceptance. WorkplaceNL will be the sole judge of whether a Bid is accepted or rejected.
- **2.11.6** WorkplaceNL, in its sole discretion, reserves the right to cancel the Tender without award. WorkplaceNL reserves the right to accept or reject any or all Bids in whole or in part. WorkplaceNL is not bound to accept the lowest or any Bid.
- 2.11.7 The Bidder may be required to demonstrate financial stability, authorization to provide the good/services being acquired, and/or regulatory agency approval, licensing or registration as needed, or otherwise clarify Bidder's capability to satisfy the Tender requirements. WorkplaceNL reserves the right to reject Bids from any Bidder that it feels is incapable of providing the necessary labour, materials, equipment, financing or management resources to perform the work or supply the goods in a satisfactory and timely manner.
- 2.11.8 WorkplaceNL, in its sole discretion, may assess the Bidders' experience and/or ability to provide the goods and/or services required and described in this Tender by checking the Bidders' references. A contract will not be awarded to any Bidder whose references, in the opinion of WorkplaceNL, are found to be unsatisfactory. WorkplaceNL reserves the right to obtain references from sources other than those provided in the Bid. WorkplaceNL reserves the sole discretion to determine whether the Bidder and its professional staff have the appropriate qualifications.
- **2.11.9** WorkplaceNL reserves the right to disqualify any Bidder if the Bidder has either breached an agreement and/or failed to provide satisfactory service and/or deliveries under any prior agreement with WorkplaceNL, in the sole opinion of WorkplaceNL.
- **2.11.10** WorkplaceNL reserves the right to determine equivalency, and may require demonstrator or sample items in order to be able to evaluate the items proposed. WorkplaceNL will be the sole judge of equivalence.
- **2.11.11** Where applicable, all equipment must be certified by the appropriate regulatory agencies and/or must be approved by the appropriate Provincial agency.
- **2.11.12** Upon acceptance by WorkplaceNL, a written Bid acceptance will be forwarded to the successful Bidder.

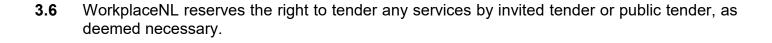
#### First and Third Floor Renovations - St. John's Office 146-148 Forest Road

- 2.11.13 In the event that the selected Bid(s) is higher than the budget approved by WorkplaceNL's Board of Directors, any awards made pursuant to this Tender process are subject to approval of the Board of Directors. In addition to any other rights of cancellation contained herein, WorkplaceNL, in its sole discretion, reserves the right to cancel this Tender without award should the Board of Directors not approve the award.
- 2.11.14 As required by the Public Procurement Regulations, a ten percent (10%) reduction will be applied to the pricing submitted by provincial suppliers for the purposes of evaluating pricing. A "provincial supplier" is defined in the Public Procurement Regulations as a supplier of goods, services or public works that has a place of business in the province of Newfoundland and Labrador. A "place of business" is defined in the Public Procurement Regulations as an establishment where a supplier regularly conducts its activities on a permanent basis. WorkplaceNL may require a Bidder to provide information and/or documentation to confirm whether it is a provincial supplier, as defined above. In the event of a tie between a provincial and non-provincial supplier, the selected Bidder shall be the provincial supplier.

#### **SECTION 3: GENERAL**

- 3.1 Payment of invoices will be through direct deposit. The successful Bidder is required to meet WorkplaceNL's billing and accounting requirements. The successful Bidder shall invoice WorkplaceNL electronically on a monthly basis. Invoices must be legible and clearly labeled with the successful Bidder's invoice number. The Bidder must acknowledge in the Appendix "B", Bid Form that the Bidder agrees to direct deposit and electronic invoicing.
- 3.2 The successful Bidder must provide a proposed invoicing milestone invoicing schedule upon award to be approved by WorkplaceNL.
- 3.3 All invoices must include detail costs for materials, personal, and all incidentals charged to WorkplaceNL including any percentage mark-ups.
- **3.4** This Tender, all Bids, and any agreement will be construed and interpreted in accordance with the laws of the Province of Newfoundland and Labrador.
- 3.5 The Bidder shall not use WorkplaceNL's name or logo or make reference to this Tender in any advertising copy or other promotional materials or messages without WorkplaceNL's prior written consent.

# WorkplaceNL 2024-74-T First and Third Floor Renovations – St. John's Office 146-148 Forest Road



# WorkplaceNL 2024-74-T First and Third Floor Renovations – St. John's Office 146-148 Forest Road

# **APPENDIX "A"**

**Design Plan, Drawings and Specifications** 

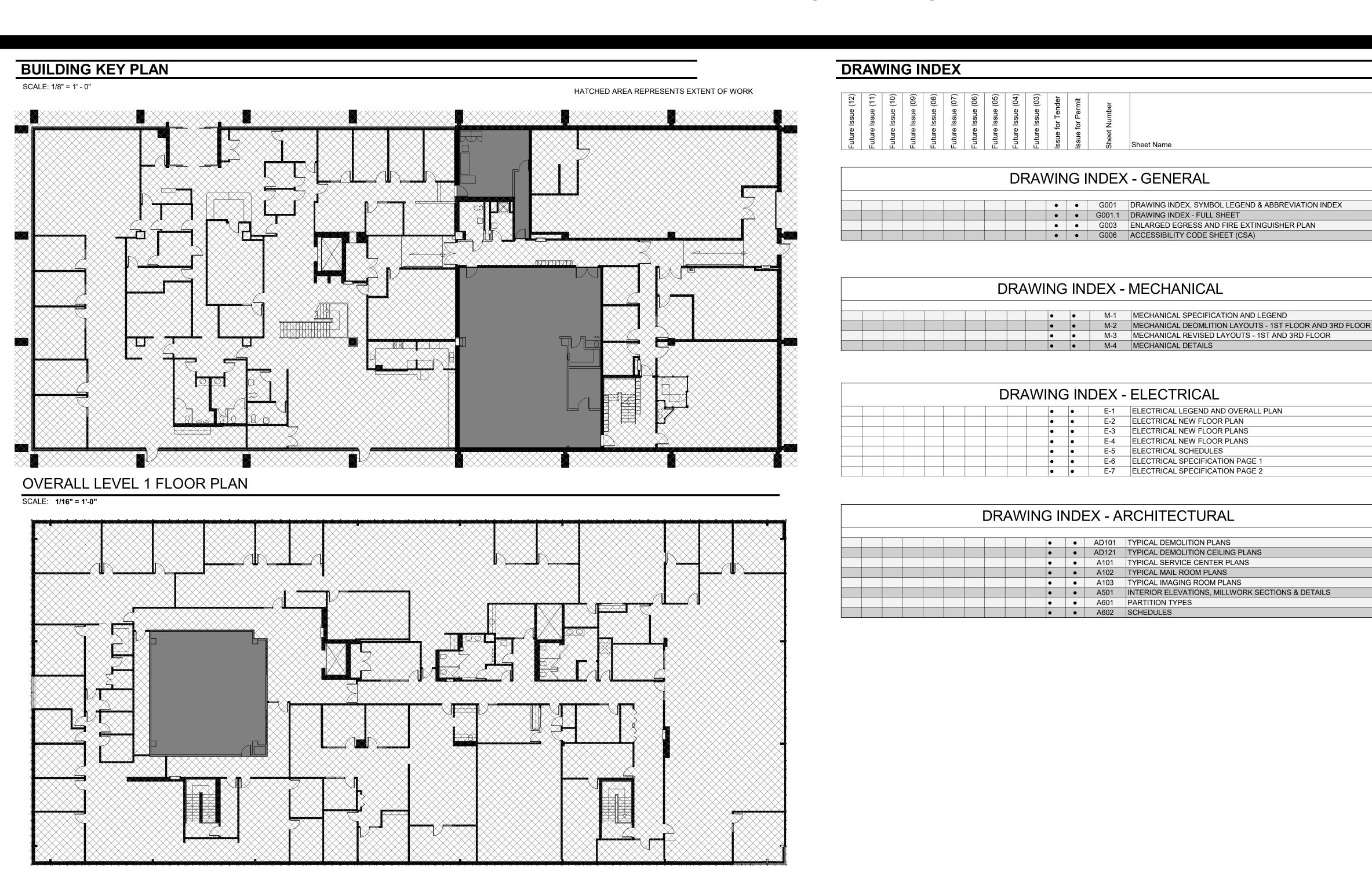
# WORKPLACE NL - INTERIOR FIT-OUT

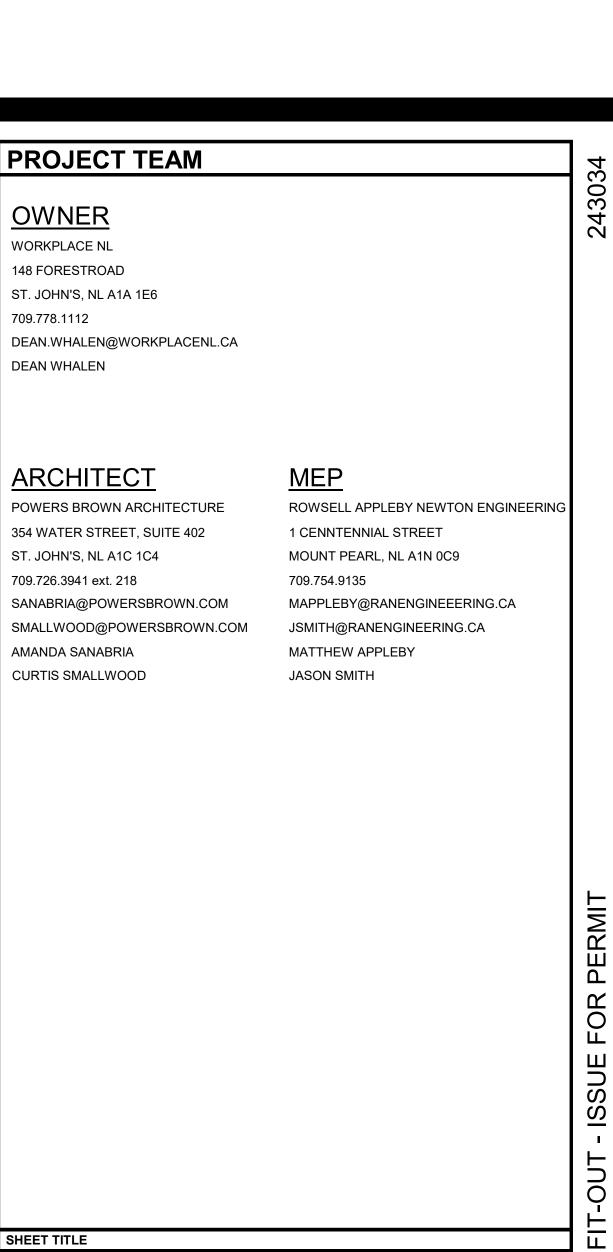
148 FOREST ROAD ST. JOHN'S, NL A1A 1E6

ARCHITECTS PROJECT # 243034

A PROJECT FOR

WORKPLACE NL





**COVER SHEET** 

Expires Dec 31 2024

powers

brown archit

ecture

SHEET NUMBER

G000

OVERALL LEVEL 3 FLOOR PLAN

SCALE: 1/16" = 1'-0"

# ABBF

DIST

DS

DISTANCE

DWG DRAWING

ELEC ELECTRIC

ELEV ELEVATOR

EQ EQUAL

EXIST EXISTING

EXP EXPANSION

FD FLOOR DRAIN FE FIRE EXTINGUISHER

FLUOR FLUORESCENT

FIN FINISH

FIXT FIXTURE FV FIELD VERIFY

GA GAUGE

GYP GYPSUM

HB HOSE BIB

HNDRL HANDRAIL HORIZ HORIZONTAL

HT HEIGHT

INSUL INSULATION

INT INTERIOR

JAN JANITOR

LAV LAVATORY LDG LANDING

LT LIGHT LWC LIGHTWEIGHT CONCRETE

MAX MAXIMUM

MIN MINIMUM

MTD MOUNTED

MTL METAL MULL MULLION

LOR LEFT OF REVEAL

MFR MANUFACTURER

MO MASONRY OPENING

NIC NOT IN CONTRACT NTS NOT TO SCALE

OF/CI OWNER FURNISHED/

INSTALLED OF/OI OWNER FURNISHED/

OPH OPPOSITE HAND

PLAM PLASTIC LAMINATE

PLYWD PLYWOOD PR PAIR

CONTRACTOR

OWNER INSTALLED

OC ON CENTER

INFO INFORMATION

HDW HARDWARE HM HOLLOW METAL

GALV GALVANIZED

FEC FIRE EXTINGUISHER

FLR FLOOR OR FLOORING

CABINET

EXT EXTERIOR

DOWNSPOUT

EJ EXPANSION JOINT

EXTERIOR INSULATED

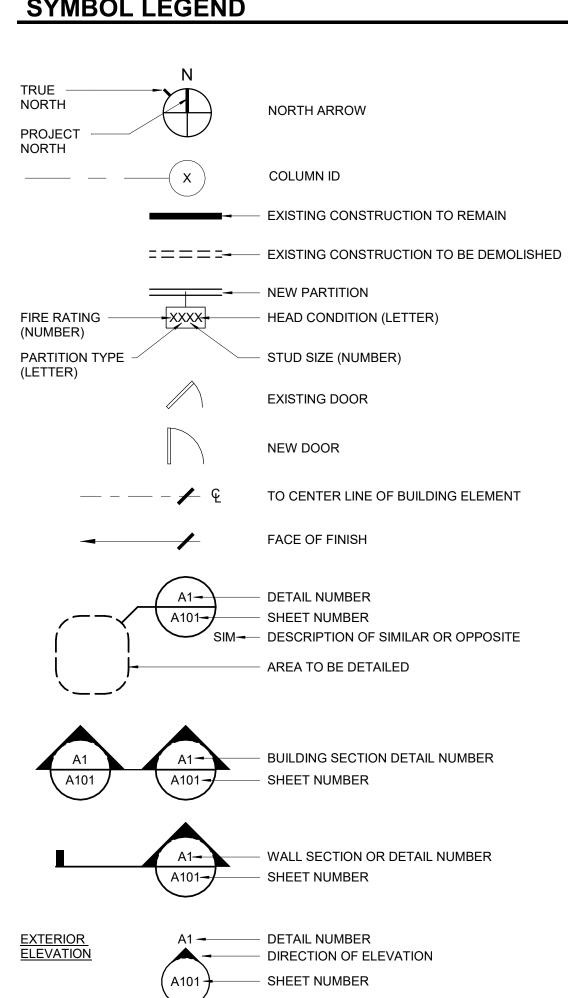
FINISH SYSTEM

BBRE	VIATIONS		
Ø	DIAMETER	PTD	PAINTED
	CENTER LINE		
#	POUND/ NUMBER	R	RADIUS, RISER OR RISERS
&	AND	RD	ROOF DRAINS
@	AT	REV	REVISION
A/C	AIR CONDITIONING	REQD	REQUIRED
ACT	ACOUSTICAL CEILING	RM	ROOM
	TILE	RO	ROUGH OPENING
ADA	AMERICANS WITH	ROR	RIGHT OF REVEAL
	DISABILITIES ACT	RTU	ROOF TOP UNIT
ADDL	ADDITIONAL		
AFF AFG	ABOVE FINISH FLOOR ABOVE FINISH GRADE	SCWD	SOLID CORE WOOD DOOR
AHU	AIR HANDLING UNIT	SECT	SECTION
ALT	ALTERNATE	SIM	SIMILAR
ALUM	ALUMINUM	SPECD	SPECIFIED
ARCH	ARCHITECT	SQ	SQUARE
		SST	STAINLESS STEEL
BD	BOARD	STO	STORAGE
BFF	BELOW FINISH FLOOR	STRUCT	STRUCTURAL
BLDG	BUILDING		
BOM	BOTTOM OF MULLION	TOC	TOP OF CURB
BOR	BOTTOM OF REVEAL	TOM	TOP OF MULLION
0.4.0	CARINET	TOP	TOP OF PARAPET
CAB CJ	CABINET	TOR TOS	TOP OF REVEAL
CJ	CONTROL JOINT/ CONSTRUCTION	TW	TOP OF SLAB TILTWALL
	JOINT	TYP	TYPICAL
CLG	CEILING	111	TITIOAL
CIP	CAST-IN-PLACE	UNO	UNLESS NOTED
CLR	CLEAR		OTHERWISE
CMU	CONCRETE MASONRY UNIT		
COL	COLUMN	VCT	VINYL COMPOSITION TILE
CONC	CONCRETE	VERT	VERTICAL
CONSTR	CONSTRUCTION	VEST	VESTIBULE
CONT	CONTINUE		
CORR	CORRIDOR	W/	WITH
CT	CERAMIC TILE	W/O	WITHOUT
D=	DDINIUNO ECCURTARIO	WDW	WOOD
DF	DRINKING FOUNTAIN	WDW	WINDOW
DIM	DIMENSION		

# **SYMBOL LEGEND**

INTERIOR ELEVATION OR

VIEW REFERENCE



A1 / A501 - SHEET NUMBER

XXXX— ROOM AREA

XXXX<del>-</del>

XXXX<del>-</del>

 $\langle xxxx \rangle$ 

1

 $\langle x \rangle$ 

P1

2600mm

EQ1

 $\downarrow \bigotimes \downarrow$ 

**DETAIL NUMBER** 

ROOM NAME

**ROOM NUMBER** 

**KEYNOTE TAG** 

WINDOW TAG

FINISH (WITH SCHEDULE)

**EQUIPMENT (WITH SCHEDULE)** 

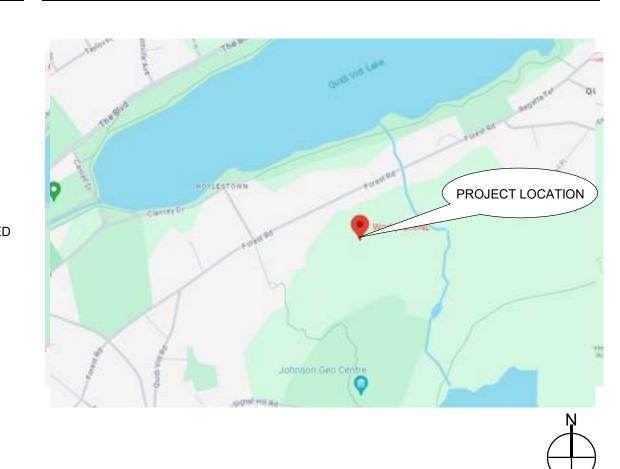
CEILING MOUNTED EXIT SIGN

FIRE EXTINGUISHER CABINET

DOOR NUMBER (WITH SCHEDULE)

DIMENSION OF CEILING ABOVE FINISH FLOOR

# **VICINITY MAP**



# PROJECT LOCATION-



148 FOREST RD ST. JOHN'S, NL A1A 1E6

powers brown archit ecture

Architectural Consultant: Powers Brown Architecture 354 Water Street, Suite 402 St. John's, NL A1C 1C4 709.726.3941

www.powersbrown.com

PROJECT TITLE

# **WORKPLACE NL - INTERIOR** FIT-OUT

148 FOREST ROAD ST. JOHN'S, NL A1A 1E6

A PROJECT FOR

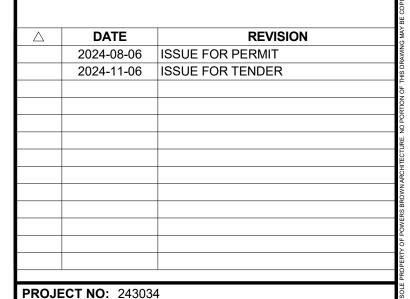
**WORKPLACE NL** 

#### **GENERAL NOTES**

- ALL MATERIALS ON JOB TO COMPLY WITH FEDERAL AND FEDERAL AND PROVINCIAL / AIM REGULATIONS.
- ALL CONSTRUCTION TO COMPLY WITH LOCAL ACCESSIBILITY CODES, CURRENT ENERGY CODE AND LOCAL AMMENDMENTS OR REQUIREMENTS. ALL FIRE WALL PENETRATIONS SHALL BE SEALED WITH FIRE RATED FOAM SEALANT (BOTH SIDES OF
- RATING TO THE WALL SYSTEMS. MAXIMUM CLEAR SPAN HEIGHTS FOR INTERIOR METAL STUDS SHALL BE SUCH THAT DEFLECTION SHALL NOT EXCEED L/360 UNDER A 5 PSF LOAD (CERAMIC TILE FINISHES AND / OR WALLS TO DECK) AND L/120 AT ALL OTHER AREAS.

WALL). SEALANT TYPE SHALL BE A COMPATIBLE

- ALL WOOD FRAMING, BLOCKING, SHEATHING OR BRACING SHALL BE FIRE RETARDENT TREATED. DO NOT SCALE THESE DRAWINGS FOR DIMENSIONAL INFORMATION. REFER TO DIMENSIONS ON THE FLOOR PLAND AND ENLARGED PLANS. IF THERE IS A CONFLICT WITH THE PLAN DIMENSIONS OR AN EXISTING FIELD CONDITION, CONTACT THE ARCHITECT.
- DIMENSIONS ARE GIVEN TO FACE OF FINISH UNO. ALL GYPSUM BOARD THROUGHOUT THE PROJECT SHALL BE 5/8" THICK UNO. (TYPE 'X' IF REQUIRED) USE WATER RESISTANT GYPSUM BOARD AT ALL WET LOCATIONS AND 5/8" FIBER REINFORCED CEMENT BOARD BEHIND ALL WALL TILE.



SHEET NAME DRAWING INDEX, SYMBOL LEGEND & ABBREVIATION **INDEX** 

SEAL WOUNDLAND AND LARRY Amanda Alfand Sanabria, NLAA Expires Dec 31 2024 CATION OF ARCH

DRAWN BY: PBA

CHECKED BY: PBA

G001

SHEET NUMBER







TRAVEL DISTANCE = 12,319 mm

TRAVEL DISTANCE = 17,120 mm

| IMAGING ROOM - LEVEL 03 - FE DIAGRAM | SCALE: 1/8" = 1'-0"

TRAVEL DISTANCE =

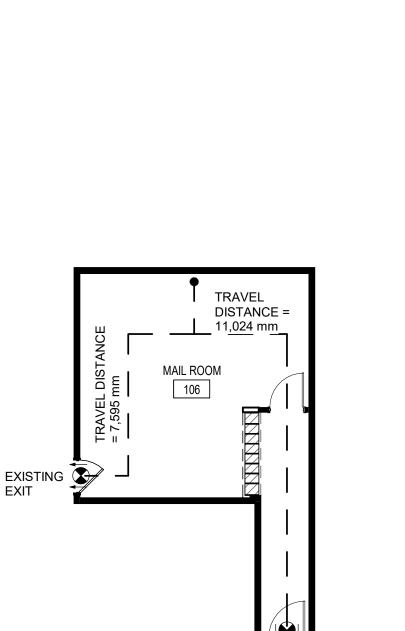
TRAVEL DISTANCE= 12,091 mm

OPEN OFFICE 300

**EXISTING EXIT** 

MEETING ROOM

MEETING ROOM



TRAVEL DISTANCE

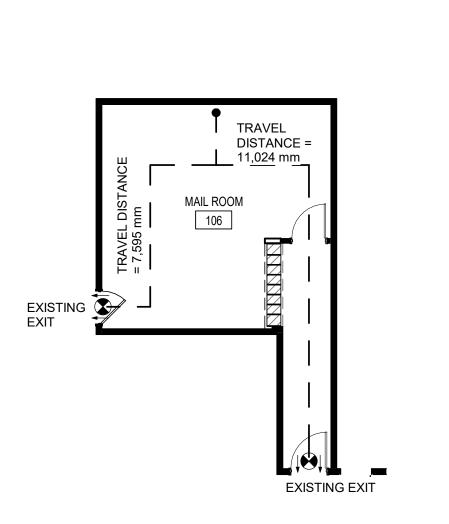
= 16,002 mm

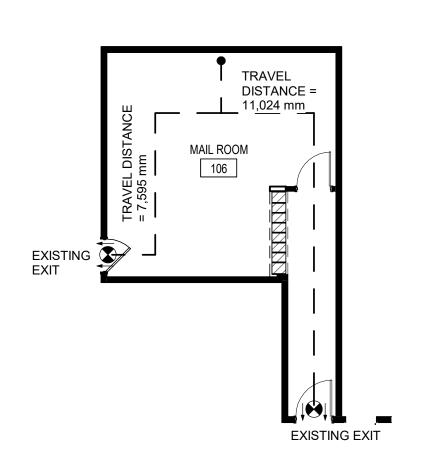
MAIL ROOM

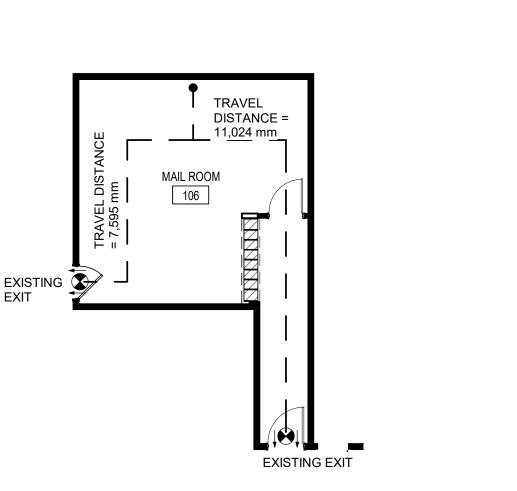
C3 MAIL ROOM - LEVEL 01 - FE DIAGRAM

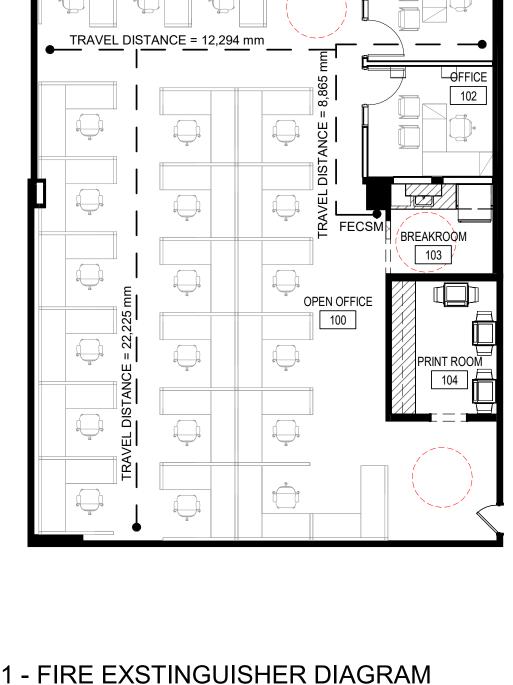
SCALE: 1/8" = 1'-0"

**EXISTING FIRE EXTINGUISHER** CABINET



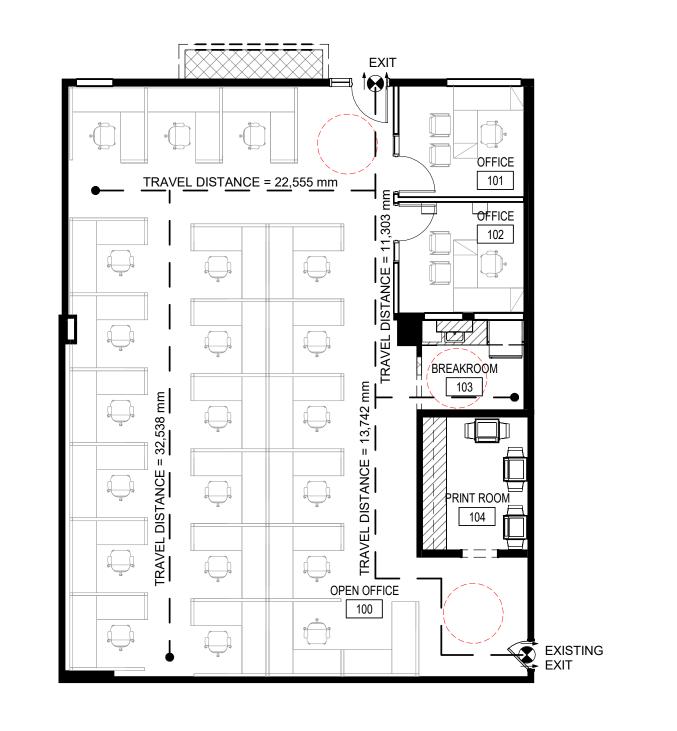






C2 SERVICE CENTER - LEVEL 01 - FIRE EXSTINGUISHER DIAGRAM

SCALE: 1/8" = 1'-0"



powers brown archit ecture

Architectural Consultant: Powers Brown Architecture 354 Water Street, Suite 402 St. John's, NL A1C 1C4 709.726.3941

www.powersbrown.com

PROJECT TITLE

# WORKPLACE NL - INTERIOR FIT-OUT

148 FOREST ROAD ST. JOHN'S, NL A1A 1E6

A PROJECT FOR

**WORKPLACE NL** 

PLAN LEGEND

BUSINESS

INDICATES MILLWORK

BUILDING CORE ELEMENTS

NOT IN CONTRACT

EGRESS PLAN LEGEND

← → TRAVEL DISTANCE

•----- COMMON PATH OF TRAVEL

EXIT SIGN

2024-08-06 ISSUE FOR PERMIT 2024-11-06 ISSUE FOR TENDER

**PROJECT NO**: 243034 DRAWN BY: CP, RH CHECKED BY: CS,AK

**ENLARGED EGRESS AND** FIRE EXTINGUISHER PLAN

Amanda Alfand Sanabria, NLAA
Expires Dec 31 2024

G003

SHEET NUMBER

A2 SERVICE CENTER - LEVEL 01 - EGRESS DIAGRAM

SCALE: 1/8" = 1'-0"

A3 MAIL ROOM - LEVEL 01 - EGRESS DIAGRAM

SCALE: 1/8" = 1'-0"

AUTHORITY HAVING JURISDICTION. 2. IT IS THE INTENT OF THESE DRAWINGS TO PROVIDE FOR A COMPLETE AND FULLY OPERATING SYSTEM IN ACCORDANCE WITH ALL APPLICABLE CODES. NOT WITHSTANDING THAT THE DRAWINGS MAY NOT COVER EACH AND EVERY ITEM REQUIRED FOR THE COMPLETE MECHANICAL INSTALLATION, THE MECHANICAL CONTRACTOR SHALL SUPPLY ALL LABOUR, MATERIALS, TOOLS, EQUIPMENT AND TRANSPORTATION NECESSARY FOR THE COMPLETE INSTALLATIONS OF THE MECHANICAL SYSTEMS ON SITE. REFER TO ALL OTHER TRADE DRAWINGS AND SPECIFICATIONS TO FULLY

COORDINATE THE INSTALLATION OF THE WORK. THE CONTRACTOR IS TO ENSURE THAT THE DELIVERY TIME OF ALL MECHANICAL EQUIPMENT DOES NOT CAUSE A DELAY IN THE SCHEDULING OF THIS PROJECT. NOTIFY THE ENGINEER IF ANY PROBLEMS ARISE.

THE WORK OF THIS CONTRACTOR SHALL BE AS REQUIRED BY THE SPECIFICATIONS AND DRAWINGS.

IF THE CONTRACTOR BELIEVES THERE ARE CONFLICTS OR MISSING INFORMATION IN THE PROJECT DOCUMENTS, THE CONTRACTOR SHALL PROMPTLY REQUEST CLARIFICATION AND INSTRUCTION FROM THE ENGINEER.

DRAWINGS ARE DIAGRAMMATIC AND APPROXIMATE TO SCALE. THE CONTRACT DOCUMENTS ESTABLISH SCOPE, MATERIALS AND QUALITY AND ARE NOT A COMPREHENSIVE BILL OF MATERIALS. OR DETAILED INSTALLATION INSTRUCTIONS. COOPERATE WITH OTHER SECTIONS AND TRADE DISCIPLINES

AS REQUIRED FOR THE COMPLETION OF THE TOTAL WORK. REPORT ANY DISCREPANCIES TO ENGINEER. EMPLOY ONLY TRADESPEOPLE WITH PROPER LICENSES FOR

THE WORK

ALL FIRE ASSEMBLIES MUST BE MAINTAINED. 10. CONFORM TO MANUFACTURERS INSTALLATION INSTRUCTIONS, DETAILS, AND PROCEDURES FOR EQUIPMENT INSTALLATION AND START-UP. SUPPLY AND INSTALL ALL MANUFACTURER'S RECOMMENDED ACCESSORIES FOR EACH

UNIT INCLUDING VALVES, FITTINGS, GAUGES, FILTERS, ETC. 11. ENSURE THAT ALL EQUIPMENT AND SYSTEMS ARE OPERABLE AND SAFE FOR NORMAL OPERATION. ALL TESTING, ADJUSTING, BALANCING WORK AND RECORD KEEPING SHALL BE PERFORMED PRIOR TO COMMISSIONING. OPERATIONAL TESTS ON EQUIPMENT, DUCTWORK, PIPING AND CONTROL SYSTEMS SHALL BE PERFORMED PRIOR TO COMMISSIONING TO VERIFY THAT PRESSURE AND FLOW RATES MEET DESIGN REQUIREMENTS.

12. SUBMIT PDF SHOP DRAWINGS OF ALL EQUIPMENT, VALVES, PIPING, INSULATION, ETC., FOR APPROVAL. EQUIPMENT IS NOT TO BE PURCHASED PRIOR TO SHOP DRAWING APPROVAL.

13. OBTAIN AND PAY FOR ALL PERMITS AND FEES REQUIRED TO CARRY OUT AND COMPLETE THE WORK.

14. ALL WORK SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR AFTER DATE OF ACCEPTANCE BY OWNER. 15. PROVIDE PDF COPY OF AS-BUILT DRAWINGS AND

MAINTENANCE MANUALS FOR APPROVAL BY ENGINEER. THIS CONTRACTOR SHALL VISIT THE SITE AND EVALUATE ALL EXISTING SITE CONDITIONS AS THEY MAY AFFECT THIS WORK. NO EXTRAS WILL BE ALLOWED FOR ANY EFFECTS FROM FAILING TO COMPLETE A COMPREHENSIVE SITE TOUR TO UNDERSTAND AND ACCOUNT FOR THE IMPACT OF EXISTING SITE CONDITIONS ON THE CONTRACT SCOPE OF

17. SAW CUT OR CORE DRILL EXISTING FLOOR AS NECESSARY TO FACILITATE INSTALLATION OF NEW DUCT. REINSTATE FLOOR TO MATCH EXISTING. COORDINATE WITH GENERAL

CONTRACTOR. 18. COORDINATE ALL WORK AND SHUT DOWN OF EXISTING SYSTEMS WITH OWNER.

THIS CONTRACTOR TO PROVIDE ALL NEW DUCTWORK, GRILLES, DIFFUSERS, ETC. AS INDICATED IN THE DRAWINGS AND AS REQUIRED TO COMPLETE THE NEW SYSTEM.

2. ALL DUCTWORK, UP TO 500PA, UNLESS NOTED OTHERWISE, SHALL BE RUN USING PRIME QUALITY GALVANIZED SHEET METAL OF THE FOLLOWING THICKNESS: UP TO 300MM: 0.45MM THICK, 325MM TO 450MM; 0.61MM, 475MM TO 1075MM: 0.76MM. ALL NEW DUCT SHALL BE CONSTRUCTED, INSTALLED AND TESTED AS PER LATEST

ASHRAE AND SMACNA STANDARDS. THE DUCTWORK AND ACCESSORIES SHALL BE GALVANIZED STEEL AND SHALL BE INSTALLED AND TESTED IN STRICT ACCORDANCE WITH ASHRAE AND SMACNA STANDARDS FOR METHODS OF SUSPENSION, JOINTS, REINFORCEMENT, CROSS BREAKING, INSULATION AND MATERIAL GAUGES FOR THE REQUIRED FAN SYSTEM OPERATING PRESSURES. FITTINGS SHALL BE FABRICATED WITH SMOOTH TRANSITIONS, PROPER SMACNA RADII AND TRANSITION ANGLES AND QUALITY BALANCING DEVICES. SEAL ALL DUCT SYSTEM JOINTS WITH GREY HIGH PRESSURE DUCT SEALER. CIRCULAR DUCTWORK SHALL BE FACTORY FABRICATED GALVANIZED SPIRAL SEAM

WITH FABRICATE FITTINGS. 4. FLEXIBLE CONNECTIONS: PROVIDE AT ALL FANS AND LIKE EQUIPMENT SUBJECT TO VIBRATION.

ALL DUCT JOINTS TO BE SEALED. LEAKAGE TESTING: AS PER SMACNA

7. ALL AIR SYSTEMS TO BE BALANCED TO THE FLOWS INDICATED AND A BALANCING REPORT TO BE SUBMITTED

RECTANGULAR DUCTWORK DESCRIBED IN THE SCOPE OF WORK BELOW SHALL BE INSULATED WITH 25 MM THICK FIBREGLASS FLEXIBLE, EMBOSSED FOIL FACED VAPOUR SEALED DUCT INSULATION APPLIED OVER SPOT WELDED PINS ON 85 MM CENTRES, WITH INSULATION CAPPED WITH SPRING CLIP WASHERS OF 25 MM DIAMETER. SEAL ALL JOINTS, PUNCTURES AND BREAKS WITH 100 MM WIDE STRIPS OF ALUMINUM FOIL VAPOUR BARRIER TAPE ADHERING WITH SUITABLE FIRE RETARDANT ADHESIVE. ROUND DUCTWORK SHALL BE INSULATED WITH FLEX 40 MM THICK FOIL FACED SEALED DUCT INSULATION WITH ALL

JOINTS TAPED VAPOUR TIGHT. INSULATE THE FOLLOWING: CONCEALED SUPPLY AIR DUCTWORK.

2. EXHAUST DUCTS WITHIN 1500 MM OF EXTERIOR WALLS. 3. EXTERIOR CONNECTIONS TO A/C AND HRV UNITS. ALL FLEXIBLE DUCTWORK SHALL BE OF THE INSULATED TYPE THEMAFLEX M-KE OR APPROVED EQUAL.

10. SUPPLY AND INSTALL ALL FIRE DAMPERS, MOTORIZED FIRE/SMOKE DAMPERS AND FIRE STOP FLAPS C/W FUSIBLE LINKS AND ACCESS DOORS AS REQUIRED UNDER THE NATIONAL BUILDING CODE, NATIONAL FIRE CODE & NFPA. ALL DAMPERS SHALL BE ULC LISTED FOR THE SPECIFIC APPLICATION AND INSTALLATION ORIENTATION. FIRE DAMPERS SHALL BE TYPE 'B', 100% FREE AREA UNLESS OTHERWISE NOTED AND INSTALLED AT OUTLETS OR DUCTS PASSING THROUGH FIRE SEPARATIONS. REFER TO THE ARCHITECTURAL DRAWINGS FOR DESIGNATED FIRE SEPARATIONS. INSTALL FIRE DAMPERS AND MOTORIZED FIRE/SMOKE DAMPERS IN ACCORDANCE WITH NFPA 90A AND ULC STANDARDS WITH BACKUP ANGLES AND BREAKAWAY JOINTS. PROVIDE DUCT ACCESS DOORS AS WELL AS DRYWALL ACCESS DOORS FOR COMPLETE KNOWLEDGE AND ABILITY TO INSTALL THESE DEVICES TO THE ULC INSTRUCTIONS BEFORE PROCEEDING WITH SITE WORK. ALL MOTORIZED DAMPERS SHALL BE COMPLETE WITH END SWITCHES FOR BOTH OPEN AND CLOSED POSITIONS.

11. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE LOCATIONS OF ALL FIRE/FIRE AND SMOKE RATED SEPARATIONS APPARENT FROM MECHANICAL AND ARCHITECTURAL DRAWINGS. PROVIDE MOTORIZED FIRE/SMOKE DAMPERS AND FIRE DAMPERS AS REQUIRED.

CUTTING AND PATCHING

 UNLESS OTHERWISE STIPULATED, THE MECHANICAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE CUTTING, PATCHING, AND MAKE GOOD ALL OPENINGS REQUIRED FOR THE MECHANICAL SERVICES.

ALL HEAT PUMP UNITS, HRVS, DUCTWORK, AND OTHER MECHANICAL EQUIPMENT AND SERVICES ARE TO BE PERMANENTLY LABELED WITH TAGS REFERENCED TO THE DRAWINGS AND DIRECTION OF FLOW.

ALL CONTROL DEVICES ARE TO BE LABELED WITH THE IDENTIFICATION OF THE DEVICE THAT THEY CONTROL AND THE CONTROL FUNCTION.

3. ALL PIPING TO BE PERMANENTLY LABELED WITH TAGS REFERENCED TO THE DRAWINGS.

<u>NSERTS AND SLEEVES</u>

 PIPE SLEEVES PASSING THOUGH WALLS, FLOORS, CEILINGS, BEAMS TO BE SCHEDULE 40 BLACK STEEL PIPE PACKED FOR WATER TIGHTNESS AND SOUND TRANSMISSION AND WITH FIREPROOF, FLEXIBLE SEALANT. INSTALL POLISHED CHROME ESCUTCHEON PLATES ON ALL PIPES WHERE PENETRATIONS ARE VISIBLE TO STAFF OR PUBLIC.

SUPPORT WITH CLEVIS TYPE HANGERS AS PER APPLICABLE

2. PIPE HANGERS, INSULATED OR EPOXY COATED SADDLES, WHERE NOT OF SAME MATERIAL AS (UNINSULATED) PIPING, OVERSIZED TO FIT OVER INSULATION.

3. ALL SUPPORTS TO BE FROM BUILDING STRUCTURE AND NOT FROM OTHER EQUIPMENT.

1. CONDUCT OPERATIONS IN ACCORDANCE WITH LATEST EDITION OF THE NEWFOUNDLAND OCCUPATIONAL HEALTH AND SAFETY (OH&S) ACT AND REGULATIONS.

2. PREPARE A DETAILED PROJECT HEALTH AND SAFETY RISK ASSESSMENT AND MANAGEMENT PLAN FOR THE OWNER. ASSESSMENT SHALL IDENTIFY, EVALUATE AND CONTROL JOB SPECIFIC HAZARDS AND THE NECESSARY CONTROL MEASURES TO BE IMPLEMENTED FOR MANAGING HAZARDS.

PROVIDE A COPY OF THE PROJECT HEALTH AND SAFETY RISK ASSESSMENT AND MANAGEMENT PLAN UPON REQUEST TO OCCUPATIONAL HEALTH AND SAFETY BRANCH, DEPARTMENT OF LABOUR, PROVINCE OF NEWFOUNDLAND AND LABRADOR AND

I. ALL PLUMBING TO BE TESTED AND INSTALLED AS PER THE CANADIAN PLUMBING CODE, LATEST EDITION, AND TO THE REQUIREMENTS OF AUTHORITY HAVING JURISDICTION. COMBUSTIBLE DWV AND WATER DISTRIBUTION PIPE NOT

PERMITTED TO BE INSTALLED IN VERTICAL SHAFTS. UTILIZE PLENUM RATED PIPING WITHIN PLENUMS.

FOR BURIED DWV PIPING: PVC TO CSA-B181.2 AND CSA-B182.1. INSTALLED ON A 150 MM BED OF GRANULAR A OR SAND AND BACKFILLED TO 150 MM ABOVE PIPE WITH

FOR ABOVEGROUND DWV PIPING: FOR COMBUSTIBLE CONSTRUCTION PVC TO CSA - B181.2: FOR ABOVEGROUND DWV PIPING FOR NON-COMBUSTIBLE CONSTRUCTION: FLAME SPREAD RATING LESS THAN 25 AND SMOKE DEVELOPED CLASSIFICATION LESS THAN 50. JOINTS: SOLVENT WELD FOR PVC TO ASTM D2564, NPS 1 ½ TO 6: ONE STEP OR TWO STEP CEMENT, NPS 8 AND ABOVE: TWO STEP CEMENT. ALL PLASTIC PIPE PENETRATING FIRE RATED WALL OR FLOORS SHALL BE FIRE STOPPED WITH ULC APPROVED FIRE STOPPING

METHOD. 5. DOMESTIC HOT, COLD AND RECIRCULATION SYSTEMS, WITHIN **BUILDING:** 

DRAWN COPPER TO ASTM B88M. .2) BURIED PIPING TO BE SOFT ANNEALED, TYPE "K" TO ASTM B88M IN LONG LENGTHS AND WITH NO BURIED JOINTS.

.1) ABOVE GROUND WATER SUPPLY PIPING BE TYPE "L" HARD

.1) ABOVE GROUND: NPS 1/2 TO 4 CPVC TO SDR11 WITH IPS OUTSIDE DIMENSIONS: CSA B 137.6, ASTM D1784 CELL CLASS OF 24448 AND NSF 61. NPS 1/2 TO 3 PEX TO SDR9: CSA B137.5, ASTM F876 AND ASTM F877. .2) BURIED OR EMBEDDED:

.1 UP TO NPS 3: PEX TUBING TO ASTM F876 AND F877 AND CERTIFIED TO NSF61 RATED AT 930 AT 551KPA, 820C AT 690 KPA, 230C AT 1100 CERTIFIED TO BE USED FOR HOT OR COLD

SERVICE. 6. PIPE INSTALLATION GENERAL: WITH THE EXCEPTION OF VENTS, PIPING MUST NOT BE INSTALLED IN EXTERIOR WALLS OR OTHER LOCATIONS WHERE THERE IS A RISK OF FREEZING; INSTALL ALL ABOVE GRADE PIPING TO ALLOW COMPLETE DRAINAGE: CAULK GAPS AROUND PIPING PASSING THROUGH FLOORS, DEMISING WALLS, AND PARTITIONS, AT FLOOR AND ROOF WITH NON SETTING COMPOUND; FIRE RATED WHERE WALLS OR FLOORS ARE FIRE RATED.

REQUIREMENTS.

PIPING.

FIRE EXTINGUISHERS

PER NFPA 10 REQUIREMENTS.

SHUT OFF VALVES: GATE OR BALL, PROVIDE ISOLATING

(ABOVE GRADE) SHALL BE INSULATED WITH 25 MM THICK

DUAL TEMPERATURE GLASS FIBRE PIPE INSULATION. THIS

RETARDANT VAPOUR BARRIER JACKET CONSISTING OF GLASS

INSULATION SHALL BE SUPPLIED COMPLETE WITH FLAME

FIBRE. REINFORCED LAMINATE OF ALUMINUM FOIL AND

BARRIER JACKET SHALL BE SEALED WITH VAPOUR PROOF

ADHESIVE. INSULATE AND TAPE ALL VALVES AND FITTINGS

EXPOSED PIPING INSULATION TO BE FINISHED WITH PVC

JACKETING. SEE DRAWING FOR ADDITIONAL INSULATION

THIS CONTRACTOR SHALL SUPPLY ALL FITTINGS, VALVES,

CLEANOUTS, ACCESS COVERS IN WALLS OR FLOORS, ETC

AS REQUIRED FOR THE COMPLETE INSTALLATION OF THE

MECHANICAL SYSTEMS. ACCESS PANELS IN FIRE RATED

APPROVED, 'ACUDOR' OR EQUAL HAVING A RATING TO

ACCORDANCE WITH THE NATIONAL PLUMBING CODE OF

CANADA. METHOD OF PROTECTION TO BE APPROVED BY

S-1, UNDERMOUNT SINGLE BOWL STAINLESS STEEL SINK,

EQUAL TO KOHLER MODEL K-80170-3-NA. TRIM TO BE

SUPPLIES TO BE 12mm C/W STOP VALVES, 32mm VENT

1. FIRE EXTINGUISHERS TO BE SUPPLIED AND INSTALLED AS

ONE HOLE OR EQUAL. DRAINAGE TO BE 40mm DIA.

CHROME POLISH P-TRAP WITH CLEAN-OUT PLUG.

GLACIER BAY UPSON SINGLE HANDLE PULL DOWN FAUCET,

WALLS/CEILINGS TO BE FIRE RATED TYPE 'ULC'

OR GREATER THAN THAT OF FIRE SEPARATION.

PROVIDE PROTECTION FROM WATER HAMMER IN

NPC AND AUTHORITY HAVING JURISDICTION.

KRAFT PAPER. LONGITUDINAL SEAMS OF THE VAPOUR

MEANS FOR ALL INDIVIDUAL FIXTURES, EQUIPMENT,

ALL DOMESTIC HOT, COLD AND RECIRCULATION WATER

PIPING AS WELL AS INTERNAL RAIN WATER LEADERS

BATHROOM GROUPS ON BRANCHES

LEGEND

RECTANGULAR DUCTWORK WITH DIMENSION

ROUND DUCTWORK WITH DIMENSION TAG

TYPICAL RETURN OR EXHAUST GRILLE

TYPICAL BALANCING DAMPER

TYPICAL SUPPLY DIFFUSER OR GRILLE

FLEXIBLE DUCTWORK

(xxx/

SUPPLY AIR DIFFUSER OR RETURN AIR GRILLE TAG INDICATING TYPE AND FLOW IN L/S



PLUMBING FIXTURE TAG INDICATING TYPE (SEE SPECIFICATION)



5 KG FIRE EXTINGUISHER WALL MOUNTED C/W VEHICLE BRACKET MPDC - MULTI-PURPOSE DRY CHEMICAL

P TRAP

powers brown archit ecture

Architectural Consultant: Powers Brown Architecture 354 Water St., Suite 212 St. John's, NL A1C 1C4 709.726.3941

www.powersbrown.com

PROJECT TITLE

**WORKPLACE NL - INTERIOR** FIT-OUT

A PROJECT FOR

WORKPLACE NL

**GENERAL NOTES** 

**GENERAL NOTES:** 

1. CONTRACTOR TO VERIFY ALL SITE CONDITIONS, LOCATIONS AND DIMENSIONS PRIOR TO COMMENCING WORK. TRACE OUT ALL SYSTEMS BEFORE INITIATING WORK. COORDINATE SYSTEM SHUT DOWNS & SERVICE INTERRUPTIONS WITH OWNFR.

2. PROVIDE ALL MATERIALS & LABOUR REQUIRED TO INSTALL ALL REQUIRED COMPONENTS IN ACCORDANCE WITH APPLICABLE CODES, REGULATIONS & DRAWINGS THAT FORM PART OF THIS CONTRACT.

3. DO NOT SCALE FROM DRAWINGS.

PROFESSIONAL ENGINEERS AND GEOSCIE

4. ALL DIMENSIONS ARE IN MILLIMETERS UNLESS NOTED OTHERWISE.

> PROVINCE OF NEWFOUNDLAND AND LABRADOR PERMIT HOLDER This Permit Allows

ROWSELL APPLEBY NEWTON ENGINEERING INC To practice Professional Engineering in Newfoundland and Labrador.
Permit No. as issued by APEGN P0255 which is valid for the year 2024.

MECHANICAL/ELECTRICAL CONSULTANTS



**ROWSELL APPLEBY NEWTON ENGINEERING INC** 

1 Centennial Street Suite 101 Mount Pearl, NL T 709.754.9135 DATE REVISION NOV. 6, 2024 | ISSUED FOR TENDER

PROJECT NO: 24-032 DRAWN BY: S.P. CHECKED BY: J.S. SHEET TITLE

> **MECHANICAL** SPECIFICATION AND LEGEND

PPGL

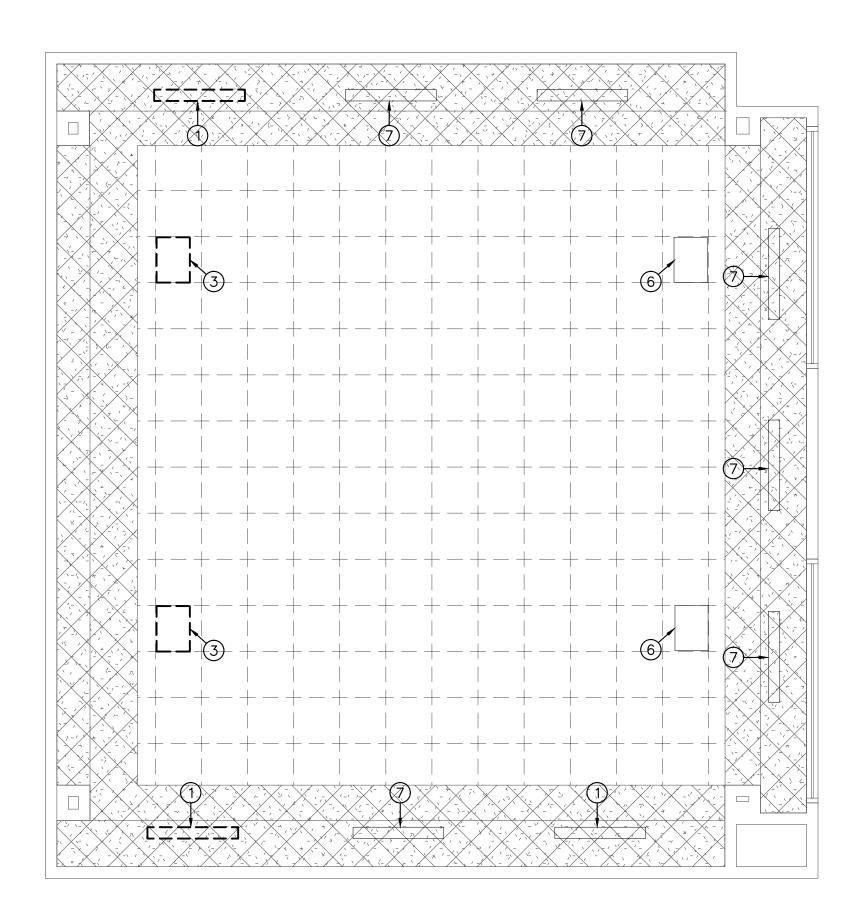
and Labrador

NOV. 6, 2024

SEAL

SHEET NUMBER

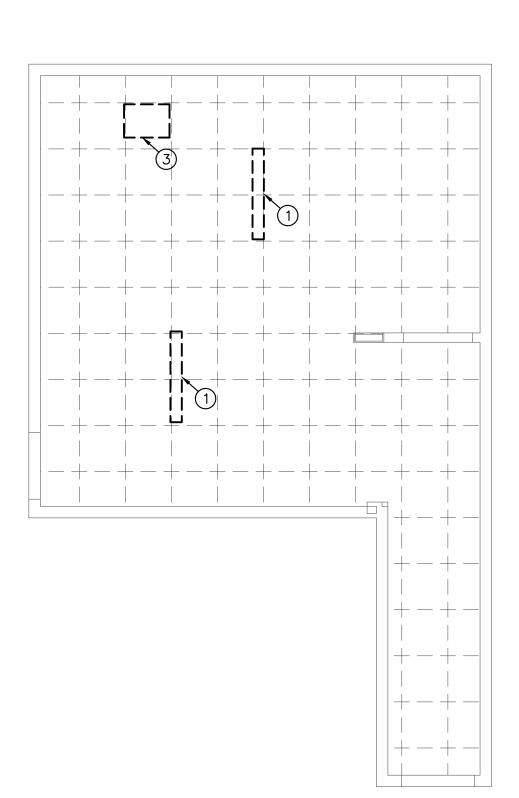
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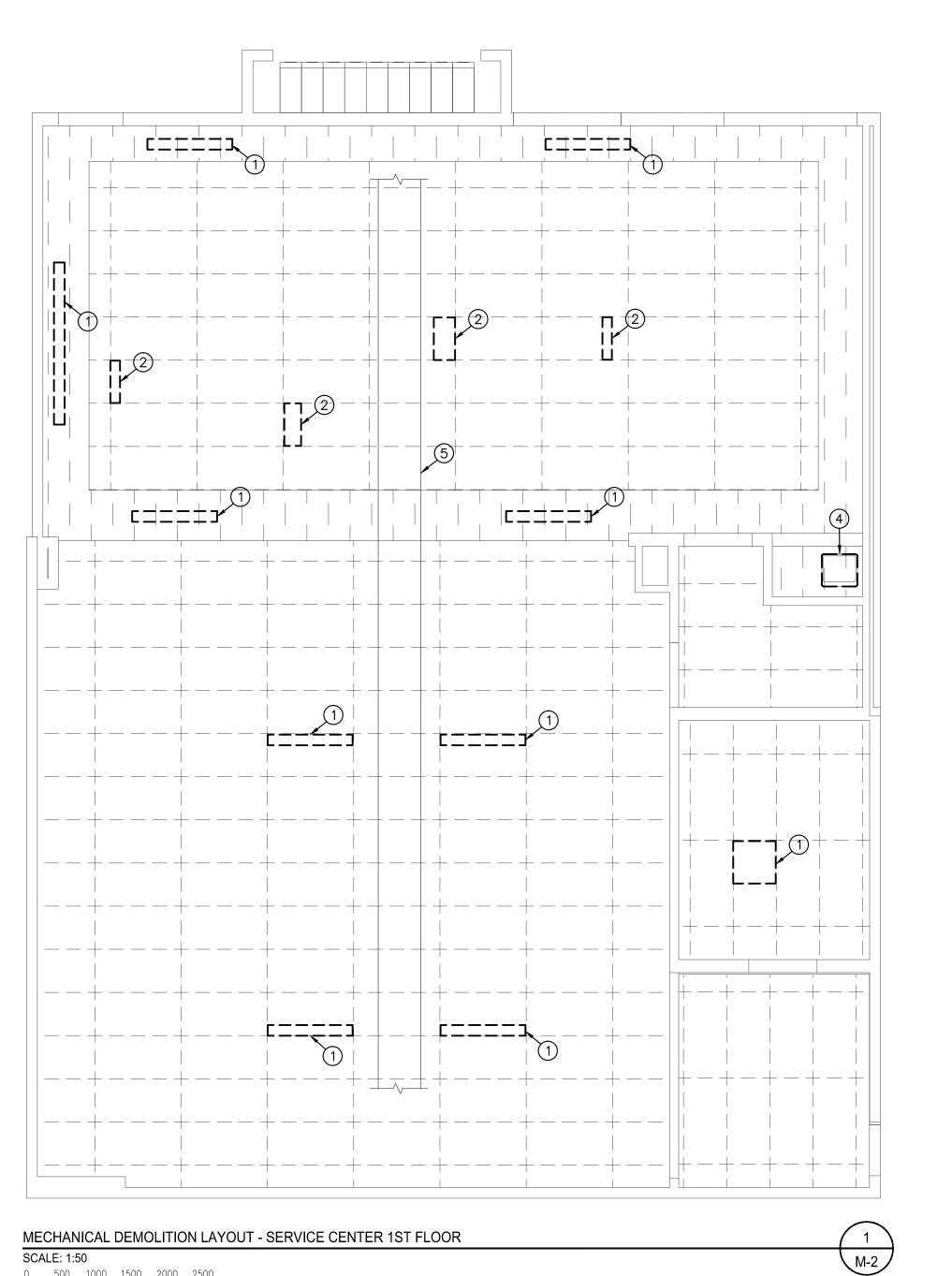
MECHANICAL DEMOLITION LAYOUT - IMAGING ROOM 3RD FLOOR

500 1000 1500 2000 2500

D







# **GENERAL NOTES:**

- 1. THIS CONTRACTOR SHALL VISIT THE SITE TO EVALUATE ALL EXISTING SITE CONDITIONS AS THEY MAY AFFECT THIS WORK. NO EXTRAS WILL BE ALLOWED FOR ANY EFFECTS FROM FAILING TO COMPLETE A COMPREHENSIVE SITE TOUR TO UNDERSTAND AND ACCOUNT FOR THE IMPACT OF EXISTING SITE CONDITIONS ON THE CONTRACT SCOPE OF WORK. REPORT ANY DISCREPANCIES TO ENGINEER.
- 2. OWNER SHALL HAVE FIRST RIGHT OF REFUSAL OF ALL EXISTING EQUIPMENT BEING REMOVED.

# **DRAWING NOTES:**

- (1) EXISTING SUPPLY AIR DIFFUSER TO BE REMOVED C/W INTEGRATED PLENUM AND SUPPORTS. EXISTING FLEX DUCTWORK CAN BE USED TO CONNECT NEW DIFFUSERS WHERE POSSIBLE. INSPECT EXISTING DUCTWORK FOR HOLES/LEAKS. ALSO CONFIRM LENGTH AND SIZE IS ADEQUATE FOR NEW DIFFUSER CONNECTION. PROVIDE NEW FLEX DUCTWORK BACK TO MAIN AS REQUIRED.
- 2 EXISTING RETURN AIR GRILLE TO BE REMOVED C/W BRANCH DUCTWORK BACK TO RETURN MAIN DUCTWORK. REUSE TAKE OFF FOR NEW GRILLE WHERE POSSIBLE, OTHERWISE PATCH AND SEAL AIRTIGHT. PROVIDE NEW DUCTWORK BACK TO MAIN AS REQUIRED.
- 3 EXISTING RETURN AIR GRILLE TO BE REMOVED.
- 4 EXISTING SINK AT THIS APPROXIMATE LOCATION TO BE REMOVED C/W ALL ASSOCIATED PIPING, TRIM, FITTINGS, VALVES, ETC. CONFIRM AND COORDINATE ALL EXISTING FIXTURE AND PIPING LOCATIONS ON SITE. CAP EXISTING PIPING IN WALL/CEILING SPACE, THESE WILL BE TIE IN POINTS FOR NEW PIPING SERVING NEW SINK. PROVIDE OFFSETS AS REQUIRED.
- 5 APPROXIMATE LOCATION OF EXISTING SUPPLY AIR DUCTWORK.
- (6) EXISTING RETURN AIR GRILLE TO REMAIN.
- (7) EXISTING SUPPLY AIR DIFFUSER TO REMAIN.

brown archit ecture

powers

Architectural Consultant: Powers Brown Architecture 354 Water St., Suite 212 St. John's, NL A1C 1C4 709.726.3941

www.powersbrown.com

# PROJECT TITLE

# WORKPLACE NL - INTERIOR FIT-OUT

# **GENERAL NOTES**

#### **GENERAL NOTES:**

- CONDITIONS, LOCATIONS AND DIMENSIONS PRIOR TO COMMENCING WORK. TRACE OUT ALL SYSTEMS BEFORE INITIATING WORK. COORDINATE SYSTEM SHUT DOWNS & SERVICE INTERRUPTIONS WITH OWNER.
- 2. PROVIDE ALL MATERIALS & LABOUR REQUIRED TO INSTALL ALL REQUIRED COMPONENTS IN ACCORDANCE WITH APPLICABLE CODES, REGULATIONS & DRAWINGS THAT FORM PART OF THIS
- 3. DO NOT SCALE FROM DRAWINGS.
- 4. ALL DIMENSIONS ARE IN MILLIMETERS

PROVINCE OF NEWFOUNDLAND AND LABRADOR

ROWSELL APPLEBY NEWTON ENGINEERING INC 

# MECHANICAL/ELECTRICAL CONSULTANTS



**ROWSELL APPLEBY NEWTON ENGINEERING INC** 

1 Centennial Street Suite 101 Mount Pearl, NL T 709.754.9135 DATE REVISION NOV. 6, 2024 | ISSUED FOR TENDER

SHEET TITLE

PROJECT NO: 24-032

LAYOUTS - 1ST FLOOR AND 3RD FLOOR

- AREAS OF WORK 1ST FLOOR KEY PLAN

3RD FLOOR KEY PLAN

AREA OF WORK

0 500 1000 1500 2000 2500

M-2

A PROJECT FOR

# **WORKPLACE NL**

1. CONTRACTOR TO VERIFY ALL SITE

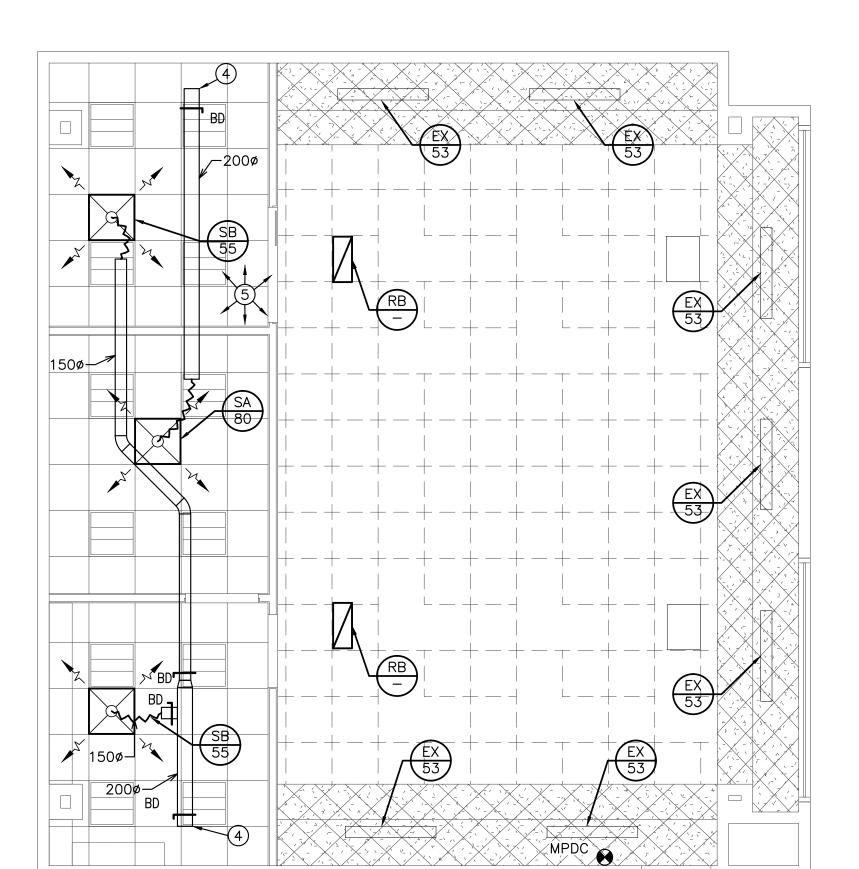
CONTRACT.

UNLESS NOTED OTHERWISE.

PERMIT HOLDER and Labrabor This Permit Allows

DRAWN BY: S.P. CHECKED BY: J.S. MECHANICAL DEMOLITION

EAL	SHEET NUMBER
ROFESSIONAL RESIDENCE STORY OF SMATTHER SIGNATURE NOV. 6, 2024 DATE	M-2

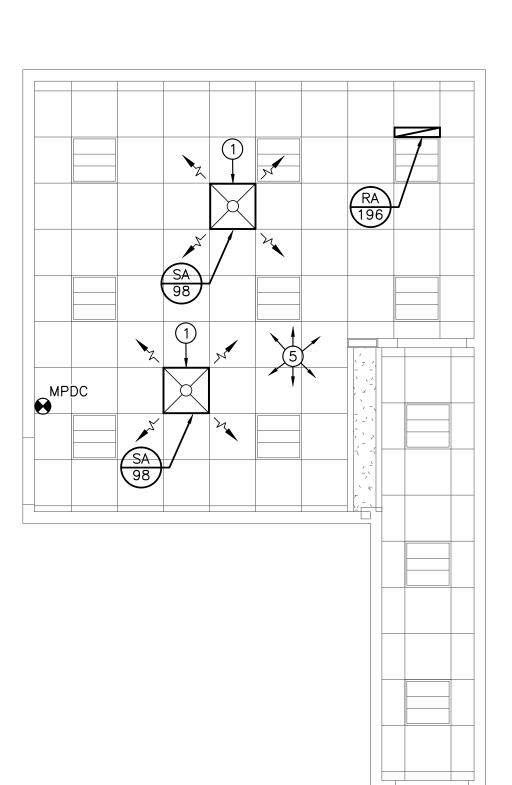


M-3

MECHANICAL REVISED LAYOUT - IMAGING ROOM 3RD FLOOR

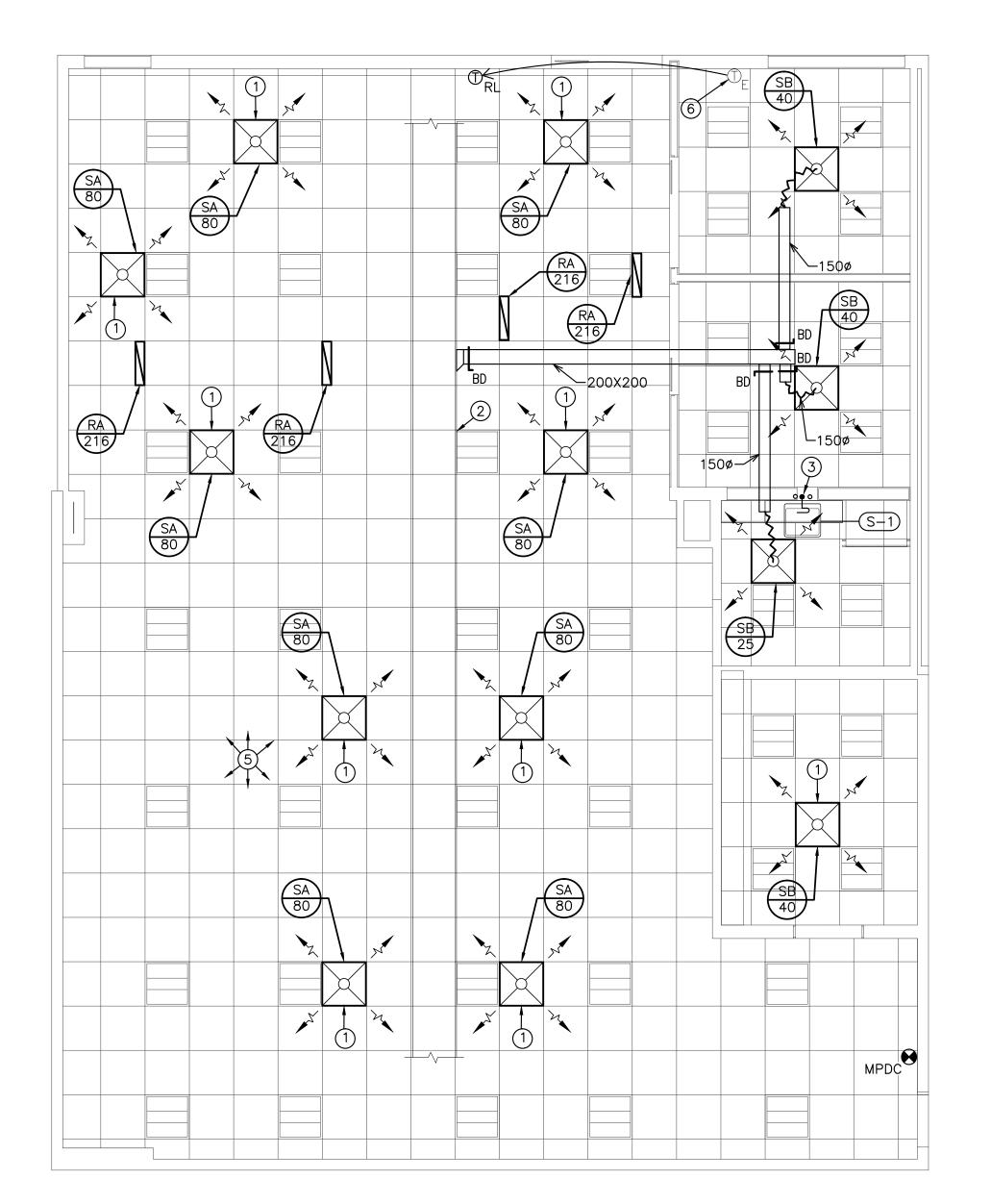
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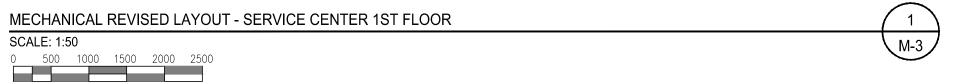
0 500 1000 1500 2000 2500



ME	CHAN	IICAL	REVIS	SED L	AYOUT	- MAIL ROOM 1ST FLOOR	3
SCA	\LE: 1:5	50					M-3
0	500	1000	1500	2000	2500		

			GRILL	E / F	REGISTER (	& DIFF	USER SCHEDULE
TYPE	MANUFACTURER	MODEL	NOMINAL PANEL SIZE OR MODULE SIZE	DISCHARGE PATTERN	NUMBER OF SLOTS OR CONES	MOUNTING	ACCESSORIES/COMMENTS
SA	EH PRICE	SCD	600X600	_	_	T-BAR	C/W OBD - NECK SIZE = 200mmø
SB	EH PRICE	SCD	600X600	_	_	T-BAR	C/W OBD - NECK SIZE = 150mmø
RA	EH PRICE	80	600mmX150mm	_	_	T-BAR	LAY IN BORDER
RB	EH PRICE	80	600mmX250mm	_	_	T-BAR	LAY IN BORDER





# **GENERAL NOTES:**

- 1. COORDINATE WITH ARCHITECTURAL TRADE FOR NEW CEILING GRID LAYOUTS. ADJUST EXISTING DIFFUSERS AND GRILLES TO SUIT NEW CEILING GRID AS REQUIRED. COORDINATE WITH ELECTRICAL TRADES.
- 2. THIS CONTRACTOR SHALL VISIT THE SITE TO EVALUATE ALL EXISTING SITE CONDITIONS AS THEY MAY AFFECT THIS WORK. NO EXTRAS WILL BE ALLOWED FOR ANY EFFECTS FROM FAILING TO COMPLETE A COMPREHENSIVE SITE TOUR TO UNDERSTAND AND ACCOUNT FOR THE IMPACT OF EXISTING SITE CONDITIONS ON THE CONTRACT SCOPE OF WORK. REPORT ANY DISCREPANCIES TO ENGINEER.
- OWNER SHALL HAVE FIRST RIGHT OF REFUSAL OF ALL EXISTING EQUIPMENT BEING REMOVED.

# **DRAWING NOTES:**

- 1 NEW SUPPLY AIR DIFFUSER. EXISTING FLEX DUCTWORK CAN BE USED TO CONNECT NEW DIFFUSERS WHERE POSSIBLE. INSPECT EXISTING DUCTWORK FOR HOLES/LEAKS. ALSO CONFIRM LENGTH AND SIZE IS ADEQUATE FOR NEW DIFFUSER CONNECTION. PROVIDE NEW FLEX DUCTWORK BACK TO MAIN AS REQUIRED. TYPICAL.
- 2 APPROXIMATE LOCATION OF EXISTING SUPPLY AIR DUCTWORK. CONFIRM EXACT LOCATION, SIZE AND DIRECTION OF FLOW ON SITE.
- 3 NEW SANITARY PIPING TO TIE INTO EXISTING IN SLAB AT THIS APPROXIMATE LOCATION. SAW CUT FLOOR AS REQUIRED TO MAKE TIE IN. NEW VENT, HOT AND COLD WATER PIPING TO TIE INTO EXISTING IN CEILING SPACE AT THIS APPROXIMATE LOCATION. CONFIRM AND COORDINATE ALL EXISTING PIPING LOCATIONS ON SITE. PROVIDE ADDITIONAL PIPE, OFFSETS, VALVES AND FITTINGS AS NEEDED TO MAKE CONNECTION TO EXISTING PIPING SYSTEMS.
- (4) APPROXIMATE LOCATION OF EXISTING SUPPLY AIR DUCTWORK FROM DIFFUSER BEING REMOVED, SEE DEMOLITION PLAN. CONFIRM EXACT LOCATION, SIZE AND DIRECTION OF FLOW ON SITE. PROVIDE ADDITIONAL DUCTWORK AND FITTINGS AS REQUIRED TO MAKE TIE IN.
- (5) THIS CONTRACTOR SHALL IDENTIFY AND EVALUATE EXISTING MECHANICAL HVAC SYSTEM(S) SERVING THIS AREA ON SITE. RE—BALANCE EXISTING SYSTEM AND ALL GRILLES/DIFFUSERS/BALANCING DAMPERS TO MATCH FLOWS INDICATED ON THESE PLANS.
- 6 APPROXIMATE LOCATION OF EXISTING THERMOSTAT, CONFIRM EXACT LOCATION ON SITE. RELOCATE TO NEW LOCATION AS SHOWN. PROVIDE ADDITIONAL WIRING AS REQUIRED.

powers brown archit ecture Architectural Consultant:
Powers Brown Architecture
354 Water St., Suite 212
St. John's, NL A1C 1C4
709.726.3941

www.powersbrown.com

# PROJECT TITLE

# WORKPLACE NL - INTERIOR FIT-OUT

A PROJECT FOR

WORKPLACE NL

# **GENERAL NOTES**

#### **GENERAL NOTES:**

- 1. CONTRACTOR TO VERIFY ALL SITE CONDITIONS, LOCATIONS AND DIMENSIONS PRIOR TO COMMENCING WORK. TRACE OUT ALL SYSTEMS BEFORE INITIATING WORK. COORDINATE SYSTEM SHUT DOWNS & SERVICE INTERRUPTIONS WITH OWNER.
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PROVINCE OF NEWFOUNDLAND AND LABRADOR

PERMIT HOLDER

Newfoundland
and Labrabor

This Permit Allows

# MECHANICAL/ELECTRICAL CONSULTANTS



ROWSELL APPLEBY NEWTON
ENGINEERING INC
1 Centennial Street Suite 101 Mount Pearl, NL

		T 709.754.9135						
$\triangle$	DATE	REVISION						
0	NOV. 6, 2024	ISSUED FOR TENDER						
_								
PROJECT NO: 24-032								

CHECKED BY: J.S.

DRAWN BY: S.P.

# SHEET TITLE

MECHANICAL REVISED LAYOUTS - 1ST FLOOR AND 3RD FLOOR

AREAS OF WORK

1ST FLOOR KEY PLAN

— AREA OF WORK

3RD FLOOR KEY PLAN

SHEET NUMBER

PEGAL

SWITCH STORY

SIGNATURE

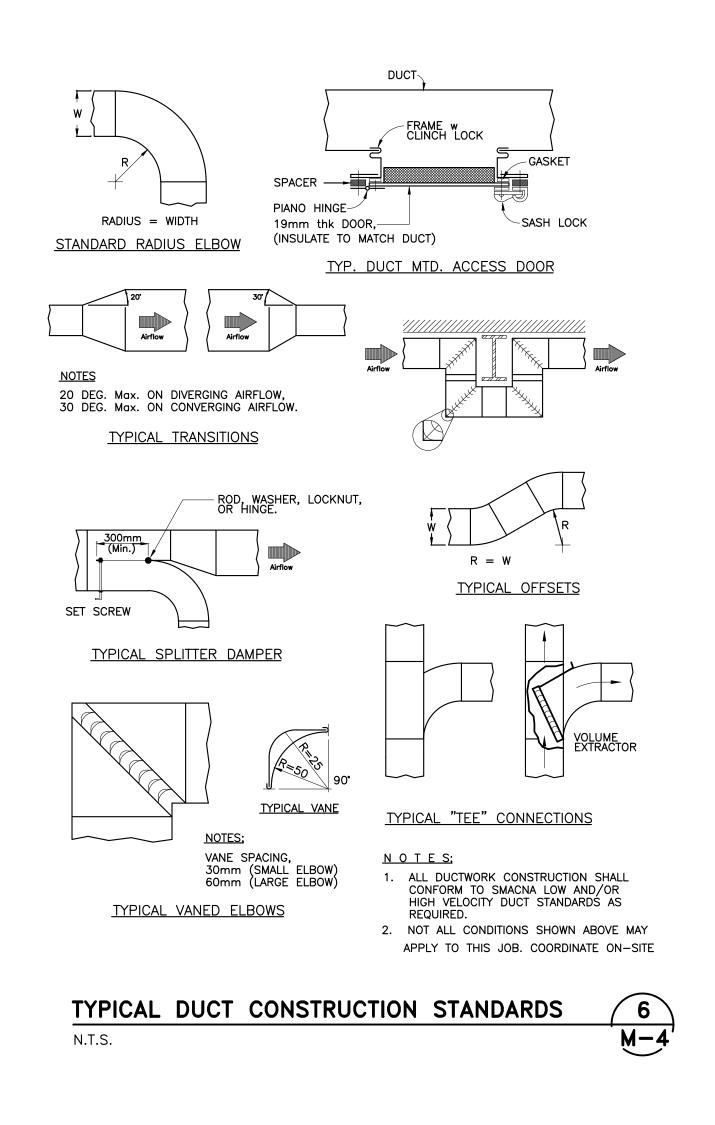
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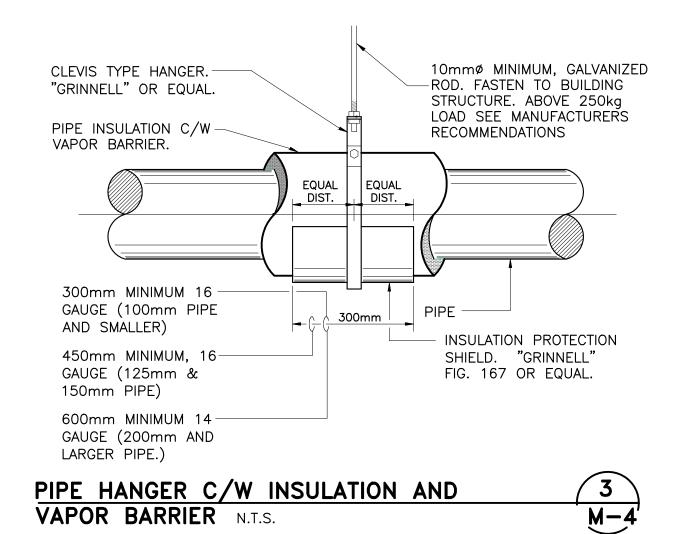
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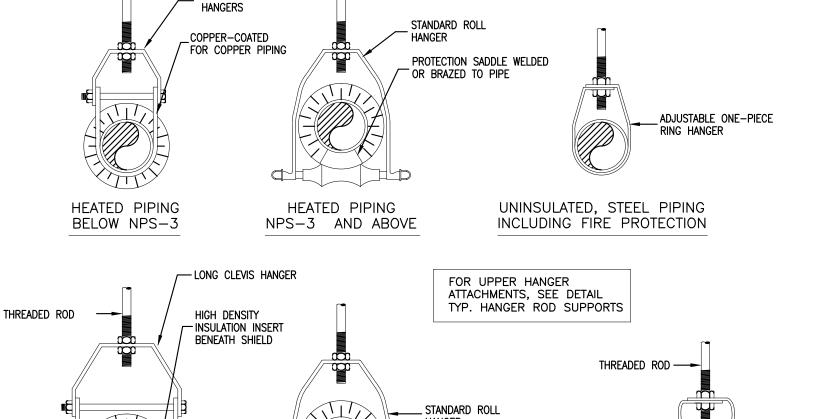
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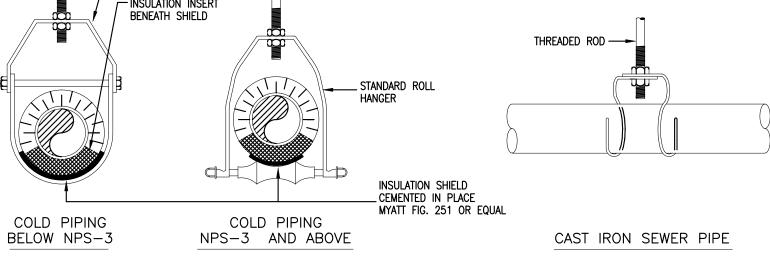
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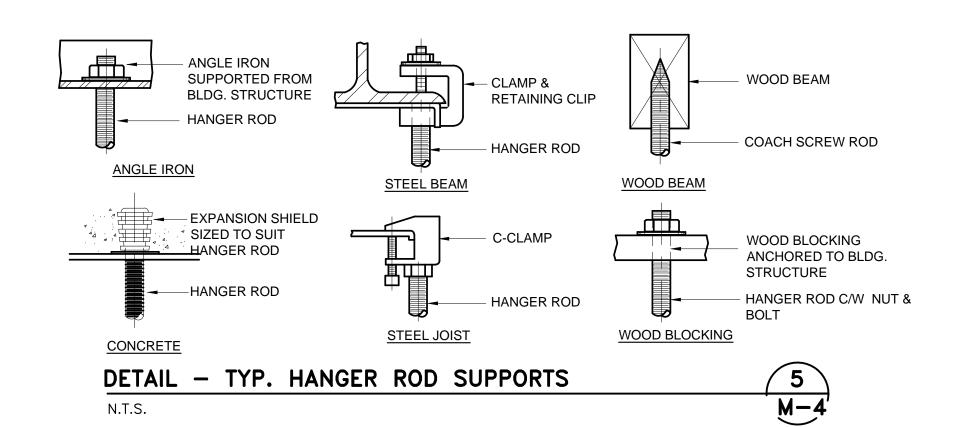








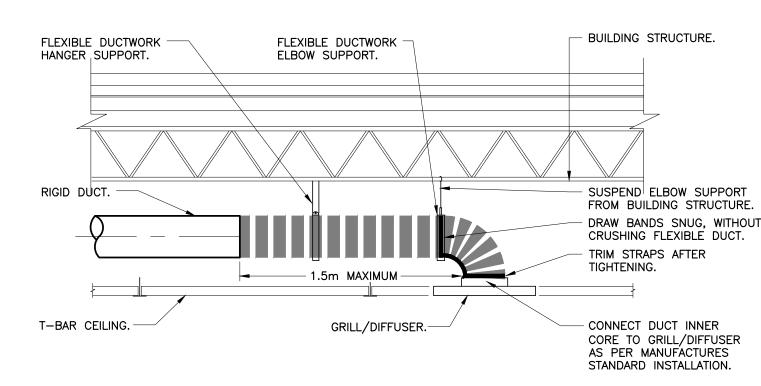




NOTES:

(1) INSTALL FLEXIBLE DUCT ELBOW SUPPORT AT ALL FLEXIBLE CONNECTIONS TO DIFFUSERS AND GRILLES SIZED 150mm TO 400mmø UNLESS OTHERWISE NOTED.

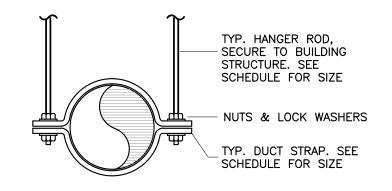
(2) INSTALL FLEXIBLE DUCTWORK HANGERS AT MINIMUM OF 1.5m SPACING, AT LEAST ONE PER DUCT SECTION. MAXIMUM ALLOWABLE SAG IN DUCTWORK IS 50mm.



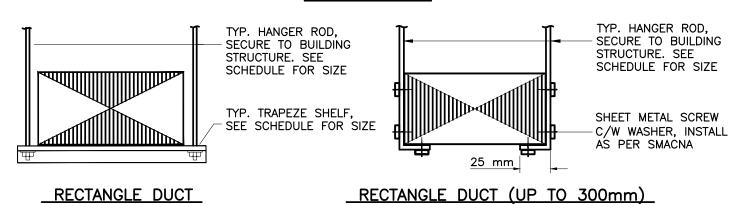
# FLEXIBLE DUCTWORK HANGER & ELBOW SUPPORT DETAIL N.T.S.



DUCT HANGER SCHEDULE									
RECTANGULAR DUCT									
LONGEST DIMENSION OF DUCT (mm)	HANGER ROD (mmø)	STRAP HANGERS (mm)	TRAPEZE SHELF HANGERS (mm)	MAX. SPACING (mm)					
UP TO 457	3.26 WIRE	25 x 1.29 tk.	25 x 25 x 3.2	3050					
483 - 750	3.26 WIRE	25 x 1.29 tk.	25 x 25 x 3.2	3050					
787 – 1067	6.35	25 x 1.29 tk.	40 x 40 x 3.2	3050					
1092 - 1524	9.5	25 x 1.29 tk.	40 x 40 x 3.2	3050					
1550 - 2134	9.5	40 x 1.29 tk.	50 x 50 x 3.2	2438					
ROUND DUCT									
DUCT DIAMETER (mmø)	HANGER ROD (mmø)	STRAP HANGERS (mm)	No. OF HANGERS	MAX. SPACING (mm)					
UP TO 457	3.26 WIRE	25 x 1.29 tk.	1	3050					
483 — 750		25 x 2.05 tk.	1	3050					
787 – 1067		50 x 1.29 tk.	1	3050					



# ROUND DUCT



TYPICAL DUCT SUPPORT DETAILS

N.T.S.



powers brown archit ecture

Architectural Consultant: Powers Brown Architecture 354 Water St., Suite 212 St. John's, NL A1C 1C4 709.726.3941

www.powersbrown.com

**PROJECT TITLE** 

# WORKPLACE NL - INTERIOR **FIT-OUT**

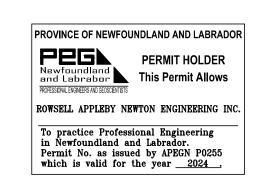
A PROJECT FOR

WORKPLACE NL

# **GENERAL NOTES**

**GENERAL NOTES:** 

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- 2. PROVIDE ALL MATERIALS & LABOUR REQUIRED TO INSTALL ALL REQUIRED COMPONENTS IN ACCORDANCE WITH APPLICABLE CODES, REGULATIONS & DRAWINGS THAT FORM PART OF THIS CONTRACT.
- 3. DO NOT SCALE FROM DRAWINGS.
- 4. ALL DIMENSIONS ARE IN MILLIMETERS UNLESS NOTED OTHERWISE.



# MECHANICAL/ELECTRICAL CONSULTANTS



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1 Centennial Street Suite 101 Mount Pearl, NL

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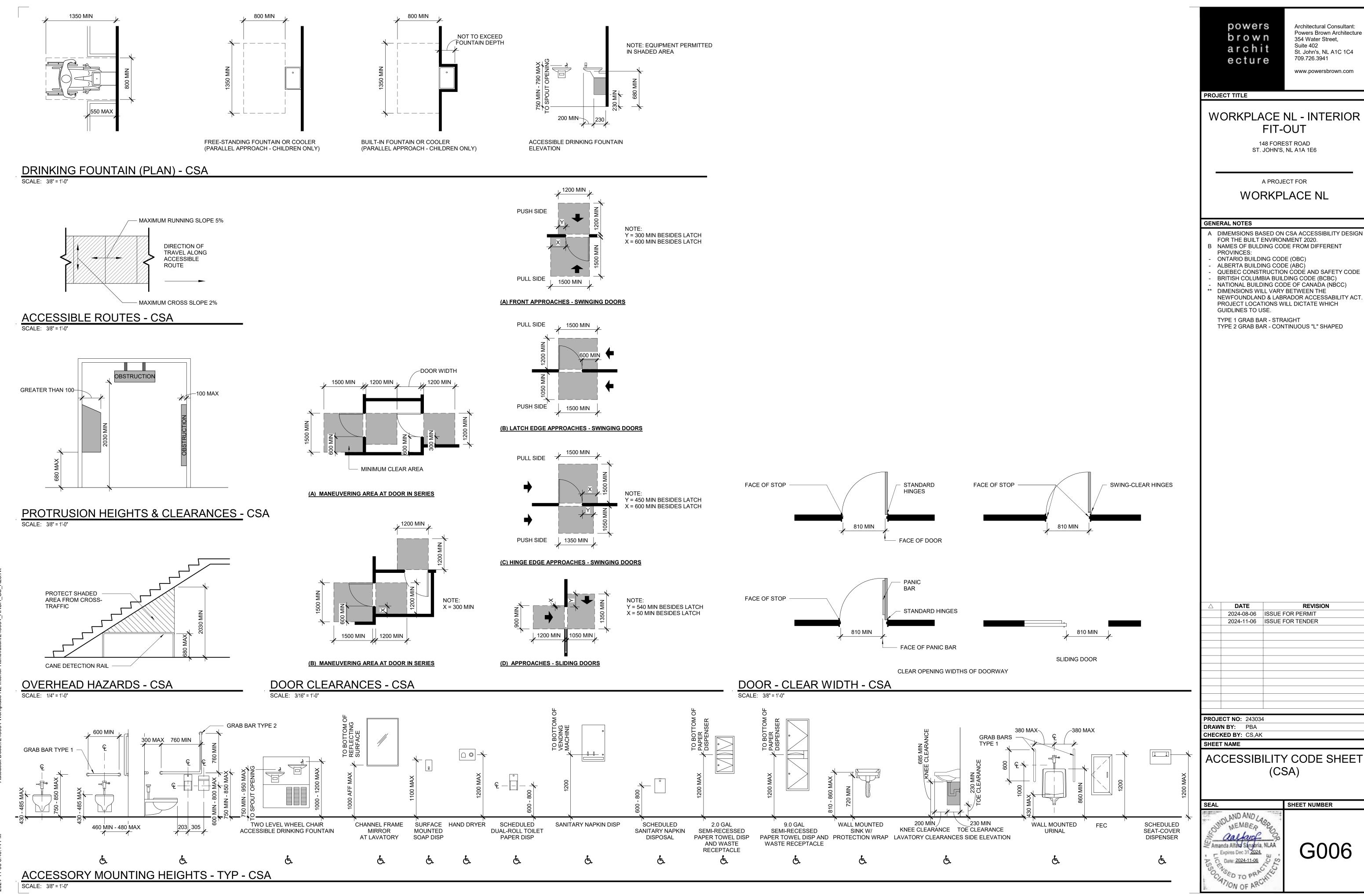
PROJECT NO: 24-032 DRAWN BY: S.P. CHECKED BY: J.S. SHEET TITLE

MECHANICAL DETAILS

SHEET NUMBER PEG

M-4

3



G006

LIGHTING FIXTURE; "A" INDICATES TYPE.
—SUBSCRIPT 'NL' INDICATES UNSWITCHED NIGHT LIGHT.

L (A-1) AREA LIGHTING CIRCUIT TAG: PANEL "A", CIRCUIT #1

LIGHTING FIXTURE, WALL MOUNTED.

SINGLE POLE TOGGLE SWITCH, 120V UNLESS INDICATED OTHERWISE
—SUBSCRIPT 'a' INDICATES THIS SWITCH CONTROLS LIGHTS TAGGED THE SAME. THIS APPLIES TO ALL SWITCHES.

 $5.5^4$  Three or four way toggle switch, 120V unless otherwise indicated.

\$ COMBINATION 0-10V DIMMER AND TOGGLE SWITCH, 120V. RUN 0-10V CONTROL WIRING TO ASSOCIATED LIGHTS.

S COMBINATION VACANCY SENSOR AND TOGGLE SWITCH, 120V.

EXIT LIGHTING FIXTURE, RUNNING MAN TYPE, WALL MOUNTED, 120V, C/W INTERNAL BATTERY SUFFUCIENT FOR 90 MINUTES.

C/W ARROW CHEVRONS AS SHOWN. A LINE WITHOUT AN ARROW INDICATES A SIDE-MOUNTED SIGN, WITH THE LINE INDICATING THE FACE.

EMERGENCY LIGHTING BATTERY PACK UNIT, 120V IN, 24V OUT, 180W RATED FOR 90 MINUTES. C/W AUTO-TEST FUNCTION.

DOUBLE REMOTE HEAD, 6W EACH, 24V, TO BE WIRED TO BATTERY PACK WITH #10 AWG WIRE. DIVIDE EVENLY BETWEEN BATTERY PACKS. 'WP' INDICATES EXTERIOR RATED DEVICE.

# **HEATING**

ELECTRIC BASEBOARD OR CONVECTION HEATER.

RECESSED WALL FAN HEATER.

3-1000 3-24 HEATER IDENTIFIER TAG, "BB-1000" INDICATES HEATER TYPE, "A-2,4" INDICATES CIRCUIT.

ELECTRIC LINE VOLTAGE THERMOSTAT, 30A, 240V, PROGRAMMABLE, 5/2 DAY PROGRAM, 4 PROGRAMS PER DAY.

- SUBSCRIPT 'R' INDICATES 120V REVERSE ACTING, FOR CONTROL OF LOCAL LINE VOLTAGE EXHAUST FAN.

# SYMBOL LEGEND

# POWER & COMMUNICATIONS

- DUPLEX RECEPTACLE, CSA 5-20R
- DUPLEX RECEPTACLE, CSA 5-20R, GFI, MOUNTED 150mm ABOVE COUNTER HEIGHT.
- QUAD-PLEX RECEPTACLE, CSA 5-15R

# RECEPTACLE SUBSCRIPTS

- "C" INDICATES WALL MOUNTED ABOVE COUNTER.
- "GFI" INDICATES G.F.I. TYPE
- "WP" INDICATES IN-USE WEATHER-PROOF TYPE
- "204" INDICATES 204 T SLOT DESERVACIO (F. 201
- "20A" INDICATES 20A T-SLOT RECEPTACLE (5-20R).
- "FR" INDICATES RECEPTACLE DEDICATED TO REFRIGERATOR AND LABELLED AS SUCH.
- "MW" INDICATES RECEPTACLE DEDICATED TO MICROWAVE AND LABELLED AS SUCH, REFER TO MILLWORK DRAWINGS FOR MOUNTING HEIGHT.
- "DW" INDICATES POWER DEDICATED TO DISHWASHER AND LABELLED AS SUCH.
- "MP" DEDICATED WEATHER-PROOF RECEPTACLE C/W IN-USE COVER FOR ROOF MOUNTED MECHANICAL EQUIP FOR MAINTENANCE,
   G.F.I TYPE, 5-20R CONFIGURATION, MOUNTED MINIMUM 750mm ABOVE ROOFING. MOUNTING METHOD IS DELEGATED DESIGN TO CONTRACTOR, BUT SHALL CONFORM TO ALL OTHER REQUIREMENTS OF THIS CONTRACT.
- "CL" INDICATES MOUNTED FLUSH IN CEILING FACING DOWN.
- "SP/GFI" INDICATES SURGE PROTECTION TYPE RECEPTACLE WITH DEAD-FRONT GFI DEVICE INSTALLED DIRECTLY UPSTREAM, DIRECTLY ABOVE RECEPTACLE.
- DUAL DATA OUTLET. MOUNT SINGLE GANG BOX 450mm ABOVE FINISHED FLOOR. RUN 2 FT6 CAT6 IN 27mm CONDUIT FROM THE OUTLET TO THE TELECOM BACKBOARD. TERMINATE WITH ASSOCIATED CONNECTORS WITH 5m COILED SLACK.

TELEPHONE OUTLET. MOUNT SINGLE GANG BOX 450mm ABOVE FINISHED FLOOR. RUN FT6 CAT6 IN 27mm CONDUIT FROM THE OUTLET TO THE TELECOM BACKBOARD. TERMINATE WITH ASSOCIATED CONNECTORS WITH 5m COILED SLACK.

# NONFUSED DISCONNECT SWITCH

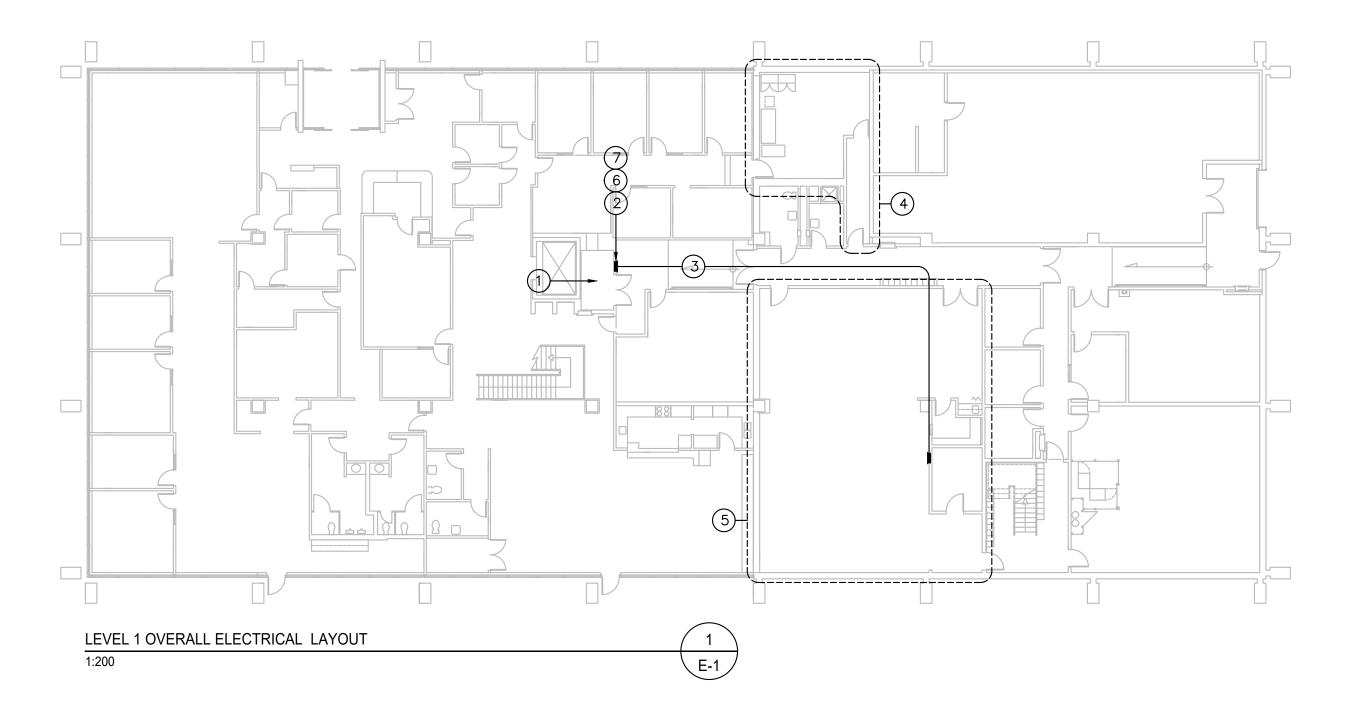
3

PAC POWER AND COMMUNICATIONS POLE, DUAL CHANNEL, FROM CEILING INTO SYSTEMS FURNITURE.

SYSTEMS FURNITURE PROVIDED BY OWNER. FOR THE PURPOSES OF BIDDING, PROVIDE WIRING FROM CEILING TO FLOOR + 3m, AND ASSUME FURNITURE IS EQUIPPED WITH CONNECTING WHIPS. POWER WIRING AS PER CIRCUITING ON FLOOR PLANS, DATA WIRING: 8 CAT6 DROPS PER POLE.

WAP WIRELESS ACCESS POINT, SUPPLY AND INSTALL SINGLE DATA OUTLET FLUSH IN CEILING.

PAGING SPEAKER, CONNECT TO EXISTING SPEAKER CIRCUIT.



# LEVEL 3 OVERALL ELECTRICAL LAYOUT 1:200 E-1

FIRE ALARM

FIRE ALARM MANUAL PULL STATION

SMOKE DETECTOR, CEILING MOUNTED.

FIRE ALARM STROBE LIGHT, WALL MOUNTED

INDICATES FIRE ALARM BELL.

DUCT MOUNTED SMOKE DETECTOR C/W SAMPLING TUBE, TUBE LENGTH TO BE CONFIRMED ON SITE.

WHERE INSTALLED ADJACENT TO SMOKE/FIRE DAMPERS, INSTALL ON DOWNSTREAM SIDE OF DAMPER.

# KEYNOTES:

- 1 LEVEL 1 DATA CLOSET. ALL COMMUNICATIONS CABLING ASSOCIATED WITH LEVEL 1 RENOVATIONS TO LAND HERE.
- 2 PANEL 1RC, EXISTING TO REMAIN. SUPPLY AND INSTALL NEW 100A, 3P, 208V CIRCUIT BREAKER TO SUPPLY POWER TO NEW PANEL 1RC1. REMOVE THREE EXISTING SPARE 10 BREAKERS TO MAKE SPACE FOR THIS PURPOSE, TURN OVER TO OWNER.
- 3 SUPPLY AND INSTALL NEW PANEL 1RC1. CONNECT TO UPSTREAM CIRCUIT BREAKER WITH 4#3 AWG RW90 + 1 #6 TW BOND IN 35mm EMT CONDUIT.
- 4) AREA OF WORK; POSTAL ROOM. REFER TO DETAIL 2 ON EACH OF DRAWINGS E-2, E-3, E-4.
- 5) AREA OF WORK; SERVICE CENTER. REFER TO DETAIL 1 ON EACH OF DRAWINGS E-2, E-3, E-4.
- USE EXISTING SPARE 15A, 1P CIRCUIT BREAKERS IN PANEL 1RC FOR NEW ELECTRICAL ELEMENTS IN THE POST OFFICE. REFER TO DETAIL 2 ON DRAWINGS E-3 AND E-4. SUPPLY AND INSTSALL 2 NEW LOCK-ON DEVICES IN THIS PANEL; ONE FOR POST OFFICE EXIT LIGHTING, AND ONE FOR POST OFFICE EMERGENCY LIGHTING
- 7 CUT, PATCH, REPAIR, AND PAINT DRYWALL ABOVE EXISTING PANEL TO FACILITATE THE INSTALLATION OF NEW CONDUITS TO CEILING SPACE.

# KEYNOTES:

- 1 LEVEL 3 DATA CLOSET. ALL COMMUNICATIONS CABLING ASSOCIATED WITH LEVEL 3 RENOVATIONS TO LAND HERE.
- 2 AREA OF WORK; IMAGING ROOM. REFER TO DETAIL 3 ON EACH OF DRAWINGS E-2, E-3, E-4.
- 3 PANEL 3RA, EXISTING TO REMAIN, SIEMENS TYPE S3, 225A. SUPPLY AND INSTALL NEW 100A, 3P CIRCUIT BREAKER TO FEED NEW PANEL 3RA1.
- 4 SUPPLY AND INSTALL NEW PANEL 3RA1. CONNECT TO UPSTREAM CIRCUIT BREAKER WITH 4#3 AWG RW90 + 1 #6 TW BOND IN 35mm EMT CONDUIT.
- 5 CUT, PATCH, REPAIR, AND PAINT DRYWALL ABOVE EXISTING PANEL TO FACILITATE THE INSTALLATION OF NEW CONDUITS TO CEILING SPACE.

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Suite 402
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PROJECT TITLE

# WORKPLACE NL - INTERIOR FIT-OUT

PROJECT ADDRESS

A PROJECT FOR

**WORKPLACE NL** 

PLAN LEGEND

PROVINCE OF NEWFOUNDLAND AND LABRADOR

PERMIT HOLDER

Newfoundland
and Labrabor

This Permit Allows

PROFESSIONAL ENGINEERS AND GEOSCIENTISTS

ROWSETIL APPLEBY NEWTON ENGINEERING INC.

To practice Professional Engineering
in Newfoundland and Labrador.

Permit No. as issued by APEGN P0255
which is valid for the year \_\_2024 \_\_.

MECHANICAL/ELECTRICAL CONSULTANTS

R|A|N

ROWSELL APPLEBY NEWTON
ENGINEERING INC

1 Centennial Street Suite 101 Mount Pearl, NL
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DATE REVISION

1 NOV 6, 2024 ISSUED FOR TENDER

PROJECT NO: 24-032

DRAWN BY: JWF, MRA

CHECKED BY: MRA

SHEET NAME

ELECTRICAL LEGEND AND OVERALL PLAN

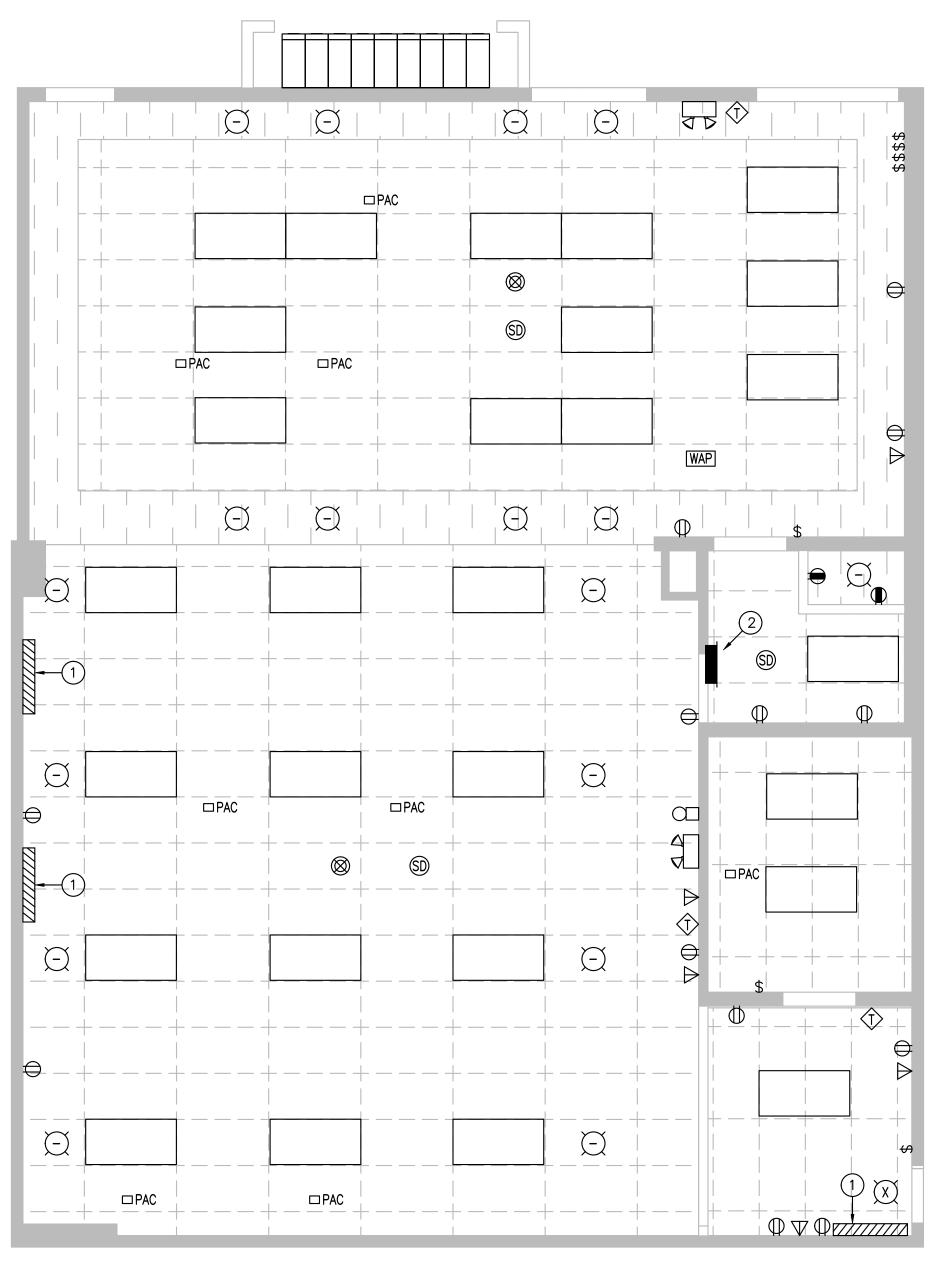
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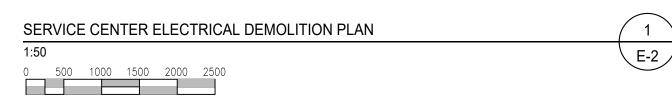
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SHEET NUMBER





3

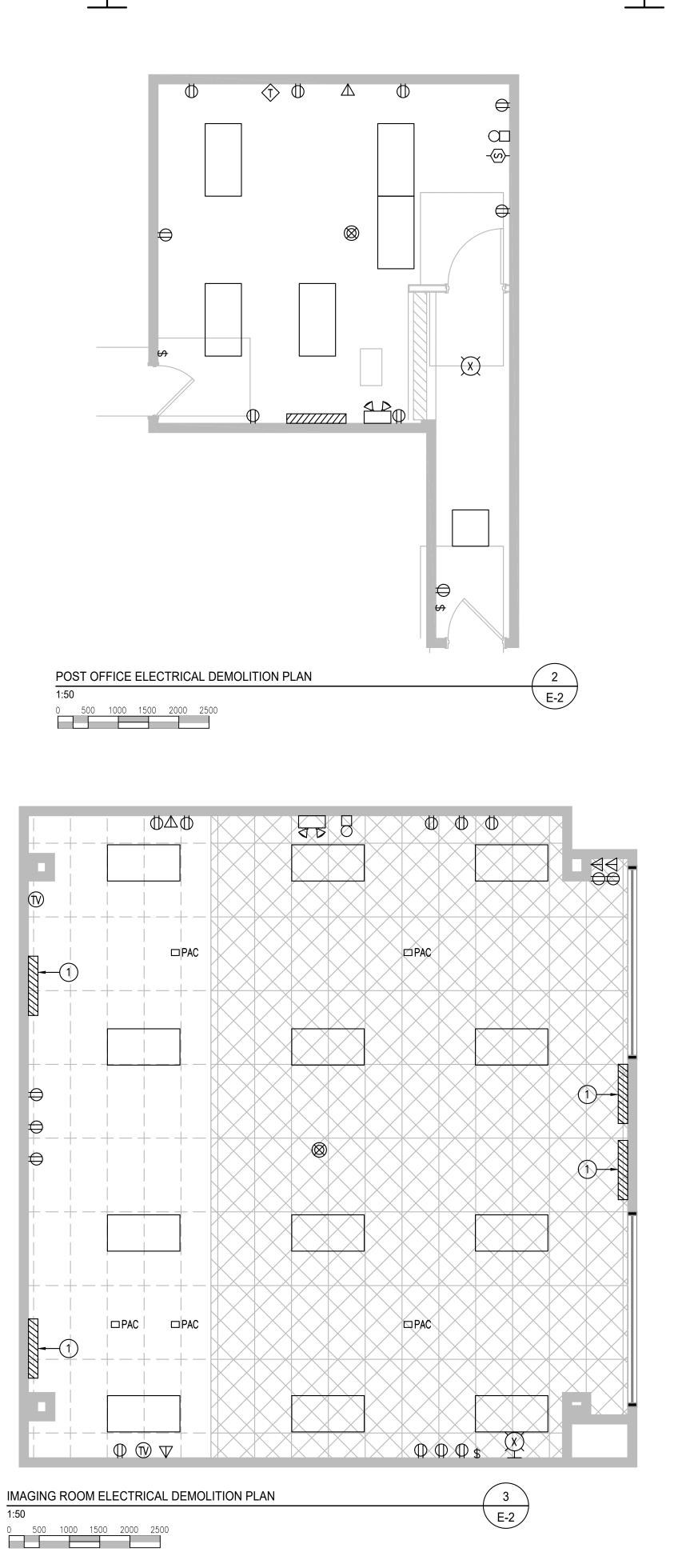


# <u>KEYNOTES:</u>

- 1 HEATERS ARE EXISTING TO E RELOCATED. FOR THE PURPOSES OF BIDDING, ASSUME ALL HEATERS REQUIRE 3#10 AWG RW90 + 1#10 TW BOND IN 21mm CONDUIT TO BE EXTENDED TO NEW LOCATION.
- 2 EXISTING ELECTRICAL PANEL TO BE RELOCATED. SUPPLY AND INSTALL JUNCTION BOX IN CEILING SPACE ABOVE THIS LOCATION TO SPLICE AND EXTEND EXISTING CIRCUITS TO NEW LOCATION. FOR THE PURPOSES OF BIDDING, ASSUME THE PANEL CONTAINS; 39 x 15A, 1P CIRCUITS, EACH WIRED WITH #12AWG RW90 AND DEDICATED NEUTRALS AND BONDS; 1 X 20A, 1P CIRCUIT, WIRED WITH #12 AWG RW90, DEDICATED NEUTRAL AND BOND; AND 1 X 20A, 2P CIRCUIT, WIRED WITH 2#12 AWG RW90 AND DEDICATED BOND. CUT, PATCH, AND REPAIR WALL AS NECESSARY.

# GENERAL NOTES:

1. EXCEPT WHERE OTHERWISE INDICATED, ALL ELECTRICAL ELEMENTS IN THE PROJECT AREA ARE TO BE REMOVED BY THE CONTRACTOR, NEW DEVICES AND FIXTURES TO BE SUPPLIED AND INSTALLED AS PER THE NEW ELECTRICAL LAYOUTS.



Architectural Consultant: Powers Brown Architecture powers brown 354 Water Street, Suite 402 St. John's, NL A1C 1C4 archit 709.726.3941 ecture www.powersbrown.com PROJECT TITLE **WORKPLACE NL - INTERIOR** FIT-OUT PROJECT ADDRESS A PROJECT FOR **WORKPLACE NL PLAN LEGEND** PROVINCE OF NEWFOUNDLAND AND LABRADOR and Labrabor This Permit Allows PROFESSIONAL ENGINEERS AND GEOSCIENTISTS MECHANICAL/ELECTRICAL CONSULTANTS **ROWSELL APPLEBY NEWTON ENGINEERING INC** 1 Centennial Street Suite 101 Mount Pearl, NL T 709.754.9135 NOV 6, 2024 ISSUED FOR TENDER **PROJECT NO**: 24-032 **DRAWN BY:** JWF, MRA CHECKED BY: MRA SHEET NAME **ELECTRICAL NEW FLOOR PLANS** 

SEAL

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Newfoundard

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NOV. 6 / 24

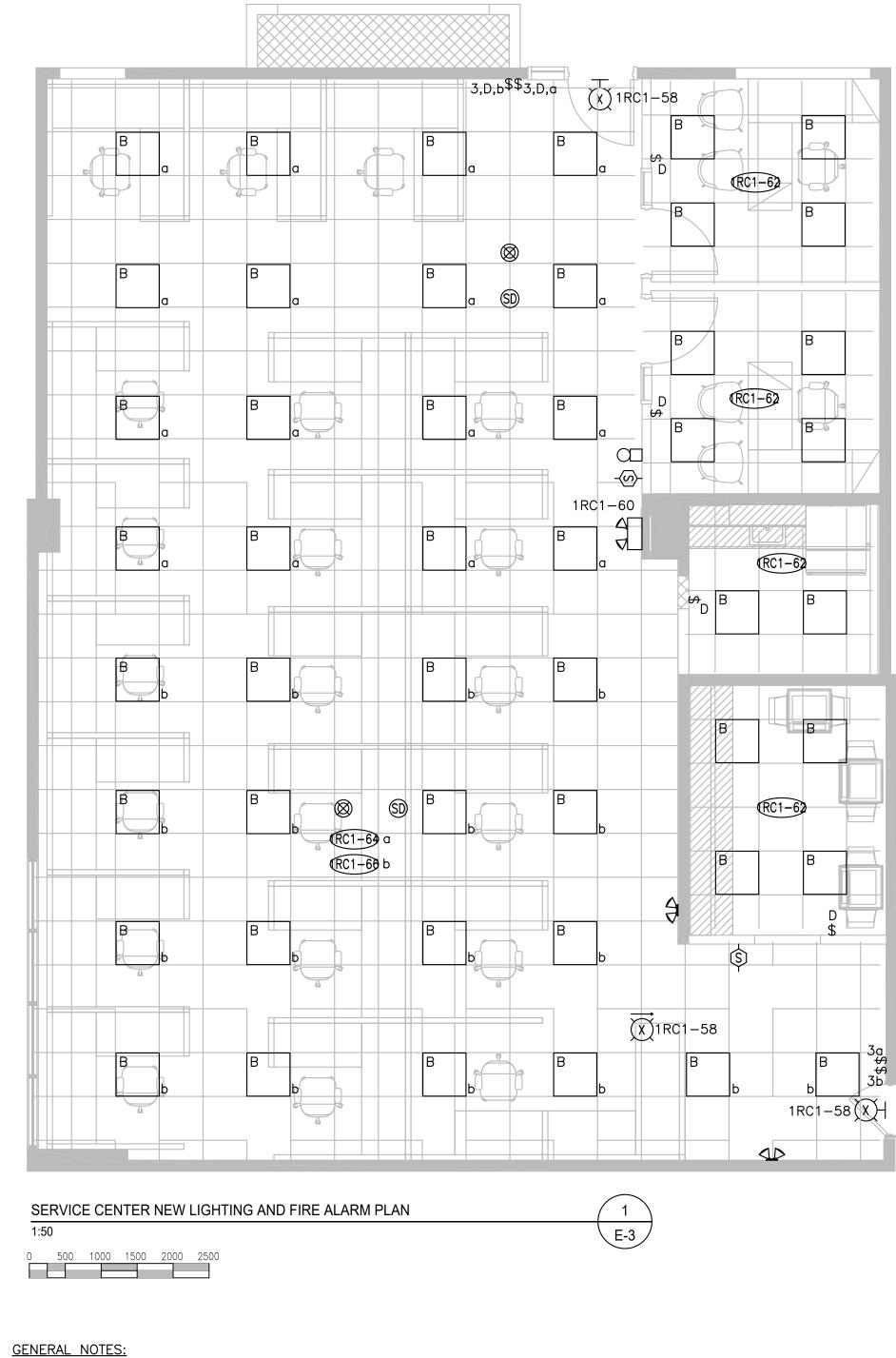
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E-2

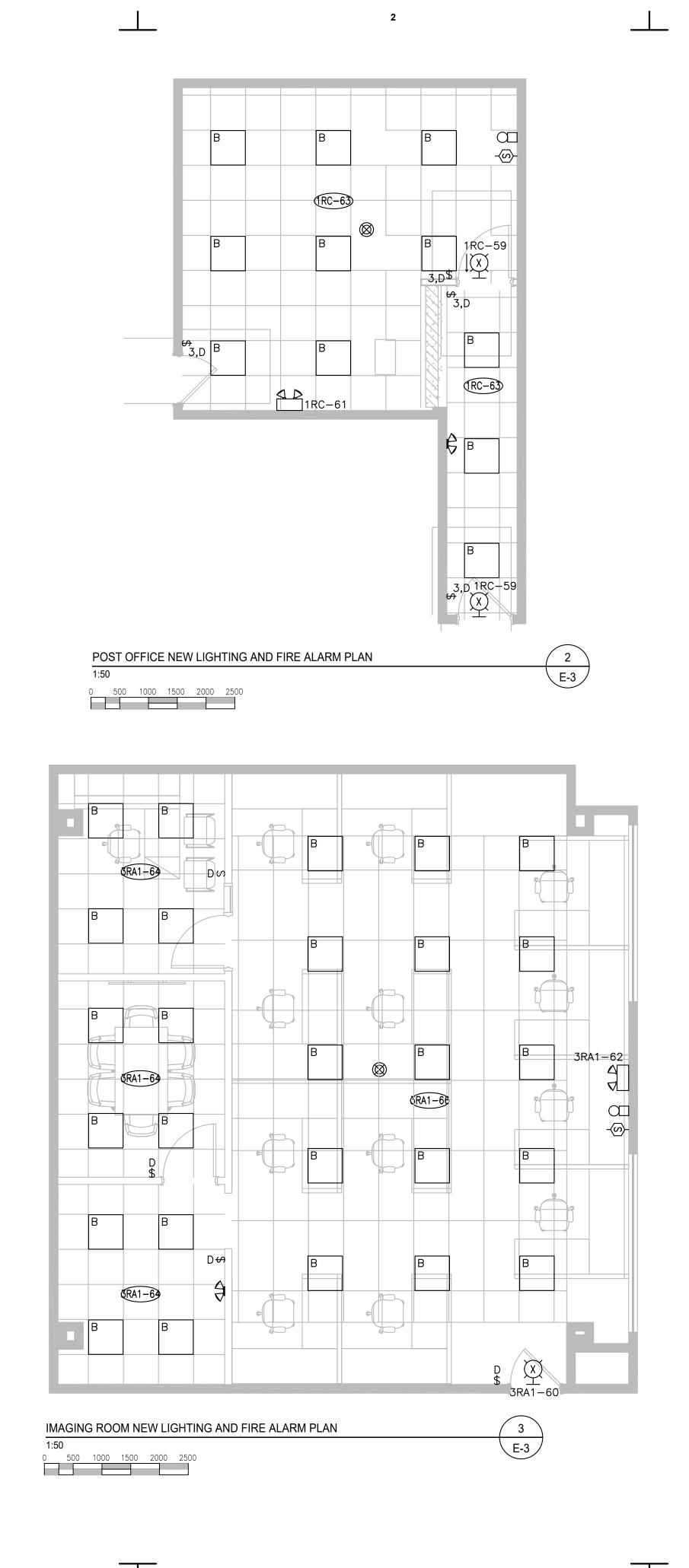
SHEET NUMBER



1. NEW FIRE ALARM DEVICES TO TIE INTO EXISTING FIRE ALARM INITIATING AND ALARM CIRCUITS. LOCATIONS OF EXISTING DEVICES ARE INDICATED ON THE DEMOLITION PLANS. EXISTING FIRE ALARM SYSTEM IS SIEMENS MXL SERVICED BY MARTIN'S FIRE SAFETY.

LUMINAIRE SCHEDULE								
TYPE		LAMPS		MOUNTING	COMMENTS	ACCEPTABLE MANUFACTURER		
2	VOLTS	TYPE	LUMENS	III O O I TI II O	OGMINE THE			
В	120	LED	4200	T-BAR LAY-IN	2X2 LED TROFFER	METALUX 22CZSB-SCT3-UNV		

3



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# WORKPLACE NL - INTERIOR FIT-OUT

PROJECT ADDRESS

A PROJECT FOR

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**PLAN LEGEND** 

PROVINCE OF NEWFOUNDLAND AND LABRADOR PEGA PERMIT HOLDER
Newfoundland and Labrabor This Permit Allows Professional engineers and geoscientists

MECHANICAL/ELECTRICAL CONSULTANTS

ROWSELL APPLEBY NEWTON **ENGINEERING INC** 1 Centennial Street Suite 101 Mount Pearl, NL T 709.754.9135

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**PROJECT NO**: 24-032 **DRAWN BY:** JWF, MRA CHECKED BY: MRA SHEET NAME

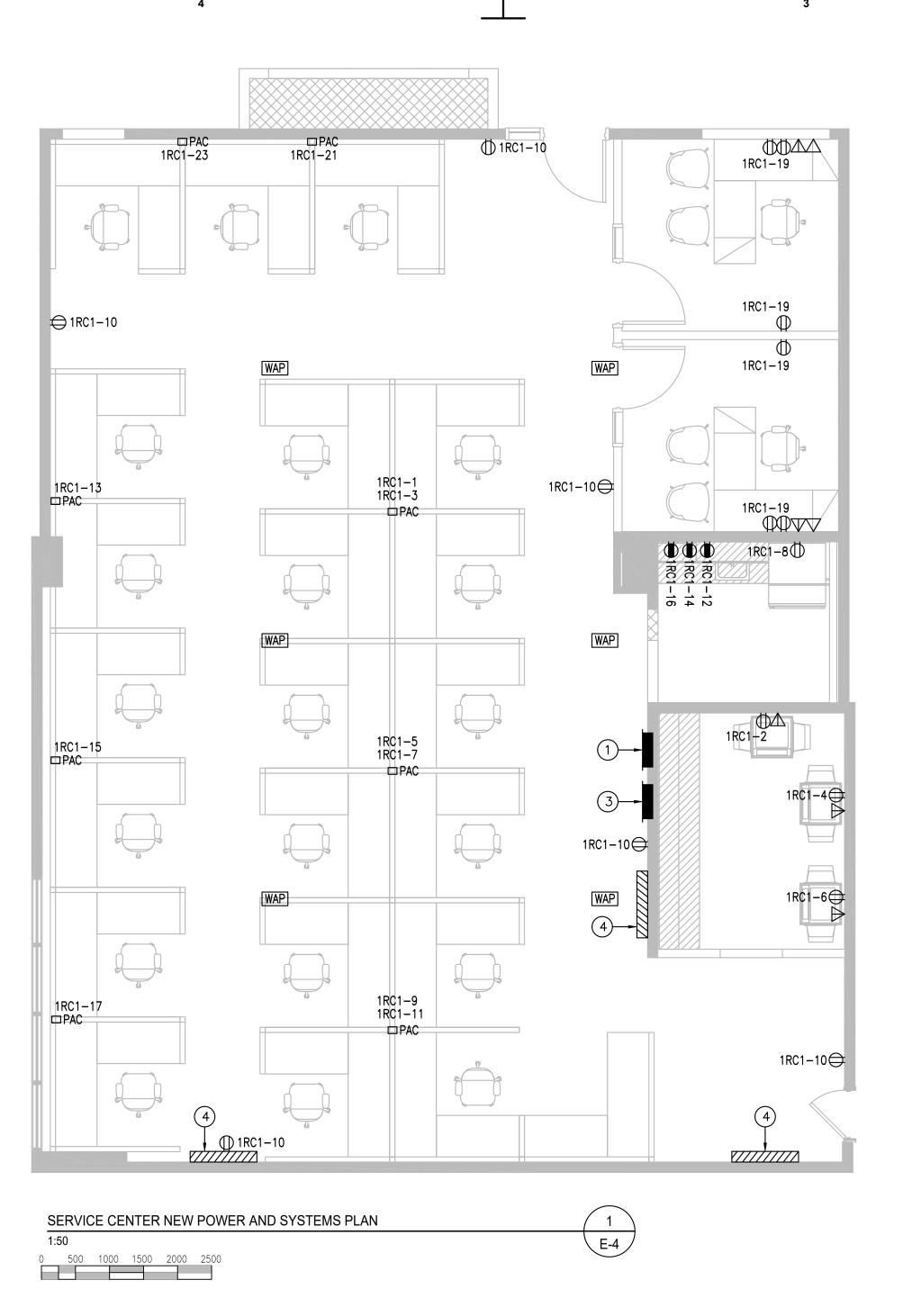
> **ELECTRICAL NEW FLOOR PLANS**

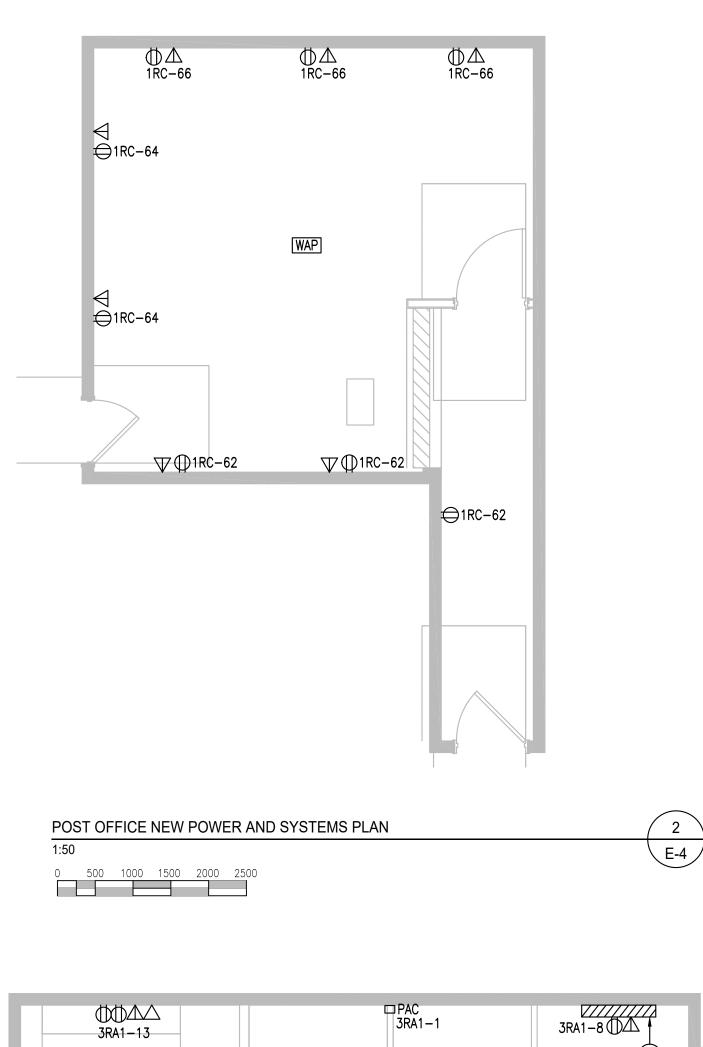
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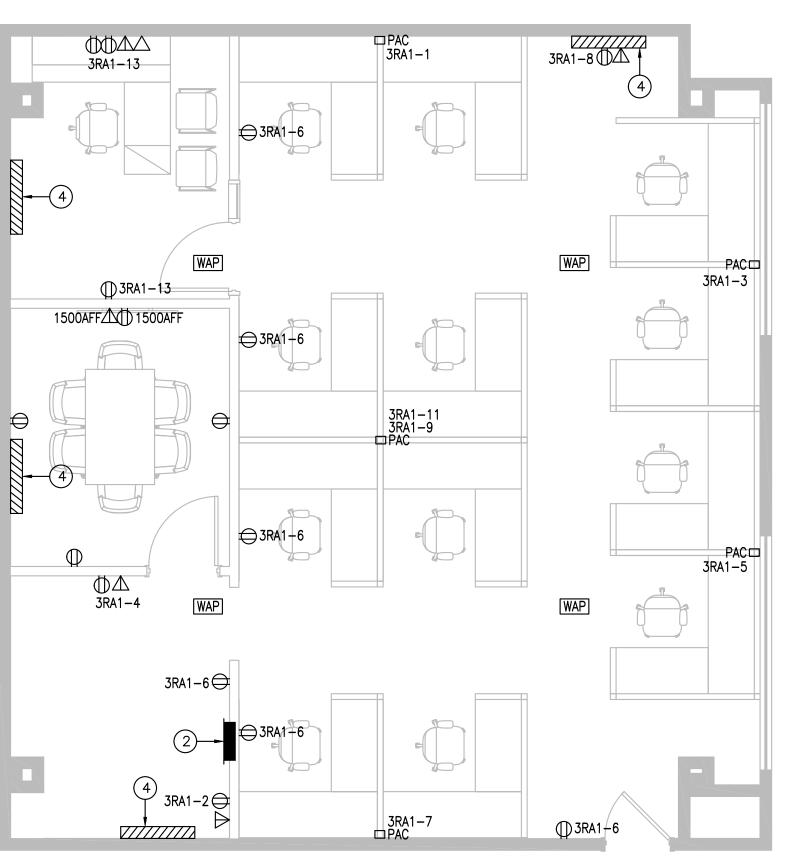
SHEET NUMBER



E-3







IMAGING ROOM NEW POWER AND SYSTEMS PLAN

3

# **KEYNOTES:**

- 1 SUPPLY AND INSTALL NEW PANEL 1RC1.
- 2 SUPPLY AND INSTALL NEW PANEL 3RA1.
- 3 NEW LOCATION OF PANEL RELOCATED FROM KITCHENETTE.
- 4) NEW LOCATION OF RELOCATED HEATER.

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**PROJECT NO**: 24-032 DRAWN BY: JWF, MRA CHECKED BY: MRA

SHEET NAME

**ELECTRICAL NEW FLOOR PLANS** 

E-2

SHEET NUMBER

LOCATION         SERVICE CENTER         IC AMPS RMS SYM         ?         MAINS RATING         100A         MOUNTING         RECESSED           ASSIGNED LOAD         WATTAGE         WIRE AWG         BKR AWG         CCT No.
PAC POLE         ?         #12         15A         1         2         20A         #12         COPIER           PAC POLE         #12         15A         3         4         20A         #12         COPIER           PAC POLE         #12         15A         5         6         20A         #12         COPIER
PAC POLE         #12         15A         3         4         20A         #12         COPIER           PAC POLE         #12         15A         5         6         20A         #12         COPIER
PAC POLE         #12         15A         3         4         20A         #12         COPIER           PAC POLE         #12         15A         5         6         20A         #12         COPIER
PAC POLE #12 15A 5 6 20A #12 COPIER
PAC POLE #12   15A   7   8   15A   #12   FRIDGE
PAC POLE #12 15A 9 10 20A #12 HOUSEKEEPING PLUGS
PAC POLE #12 15A 11 12 20A #12 COUNTER PLUG
PAC POLE #12 15A 13 14 20A #12 COUNTER PLUG
PAC POLE #12 15A 15 16 20A #12 COUNTER PLUG
PAC POLE #12 15A 17 18
OFFICE PLUGS #12 15A 19 20
PAC POLE #12 15A 21 22
PAC POLE #12 15A 23 24
25 26
27 28
29 30
31 32
33 34
35 36
37 38
39 40
41 42
43 44
45 46
47 48
49 50
51 52
53 54
55 56
57 58 15A #12 EXIT LIGHTS ①
59 60 15A #12 EMERGENCY LIGHTS ①
61 62 15A #12 OFFICE LIGHTS
63 64 15A #12 OPEN AREA LIGHTS
65 66 15A #12 OPEN AREA LIGHTS
PHASE TOTAL PHASE TOTAL
Ø "A" TOTAL REMARKS
Ø "B" TOTAL ① BREAKER TO BE C/W LOCK-ON DEVICE.
Ø "C" TOTAL
TOTAL LOAD

LOCATION	SERVICE C	ENTER	_   1	C AMPS	RMS :	SYM	_?		_	MAINS	RATING	100	A	MOUNTING RECESSED	D
ASSIGNED	LOAD	W ØA	/ATTAG	E ØC	WIRE AWG	BKR	CCT No.	CCT No.	BKR	WIRE AWG	ØA	ATTAG ØB	E ØC	ASSIGNED LOA	D
PAC POLE		?			#12	15A	1			#12				COPIER	
PAC POLE					#12	15A	3			#12				COPIER	
PAC POLE					#12	15A	5			#12				HOUSEKEEPING PLUGS	3
PAC POLE					#12	15A	7	8	20A	#12				COPIER	
PAC POLE					#12	15A	9	10		"					
PAC POLE					#12	15A	11	12							
OFFICE PLUGS					#12	15A	13	14							
					"		15	16							
							17	18							
							19	20							
							21	22							
							23	24							
							25	26							
							27	28							
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							45	46							
							47	48							
							49	50							
							51	52							
							53								
							55	56							
							57	58							
							59		15∆	#12				EXIT LIGHTS	(1
							61			#12				EMERGENCY LIGHTS	<u> </u>
							63	64	154	#12				OFFICE LIGHTS	
							65	66	154	#12				OPEN AREA LIGHTS	
PHASE TOTAL										#12				PHASE TOT	ΆΙ
Ø "A" TOTAL					REMAR	RKS							<u> </u>	TIMOL TOT	, \L
Ø "B" TOTAL							R TO	BE	C/W	LOCK-	ON DE	/ICE.			
Ø "C" TOTAL					1 -				•						

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powers brown archit ecture

Architectural Consultant: Powers Brown Architecture 354 Water Street, Suite 402 St. John's, NL A1C 1C4 709.726.3941

www.powersbrown.com

PROJECT TITLE

# WORKPLACE NL - INTERIOR FIT-OUT

PROJECT ADDRESS

A PROJECT FOR

WORKPLACE NL

**PLAN LEGEND** 

PROVINCE OF NEWFOUNDLAND AND LABRADOR PERMIT HOLDER
Newfoundland and Labrabor This Permit Allows
PROFESSIONAL ENGINEERS AND GEOSCIENTISTS ROWSETU APPLERY NEWTON ENGINEERING INC.

To practicle Professional Engineering in Newfoundland and Labrador.

Permit No. as issued by APEGN P0255 which is valid for the year 2024.

MECHANICAL/ELECTRICAL CONSULTANTS

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DATEREVISIONNOV 6, 2024ISSUED FOR TENDER

PROJECT NO: 24-032
DRAWN BY: JWF, MRA
CHECKED BY: MRA

SHEET NAME

ELECTRICAL SCHEDULES

E-5

SHEET NUMBER

- 2. QUALIFIED TRADES PEOPLE SHALL BE USED FOR ALL DISCIPLINES OF THE ELECTRICAL WORK REQUIRED FOR THIS PROJECT
- 3. GENERAL REQUIREMENTS, INSTRUCTIONS TO BIDDERS AND ANY ADDENDA HERE TO FORM PART OF THE CONTRACT DOCUMENTS AND SHALL BE READ IN CONJUNCTION WITH THEM. WORK TO INCLUDE THE FURNISHING OF ALL LABOR AND MATERIALS UNLESS SPECIFIED OTHERWISE TO COMPLETE AND PUT INTO OPERATING CONDITION ALL ELECTRICAL SYSTEMS AS INDICATED ON THE DRAWINGS AND SPECIFIED HEREIN.
- 4. RESPONSIBILITY AS TO WHICH TRADE PROVIDES REQUIRED ARTICLES OR MATERIALS RESTS WITH THE GENERAL CONTRACT TRADE. EXTRAS WILL NOT BE CONSIDERED BASED ON GROUNDS OF DIFFERENCE OF INTERPRETATION OF SPECIFICATIONS AS TO WHICH TRADE INVOLVED SHALL PROVIDE CERTAIN SPECIALTIES OR MATERIALS.

# DRAWINGS AND SPECIFICATIONS

1. DRAWINGS AND SPECIFICATIONS ARE COMPLIMENTARY EACH TO THE OTHER AND WHAT IS CALLED FOR BY ONE TO BE BINDING AS IF CALLED FOR BY

2. SHOULD ANY DISCREPANCY APPEAR BETWEEN DRAWINGS AND SPECIFICATIONS WHICH LEAVES ELECTRICAL TRADE IN DOUBT AS TO TRUE INTENT AND MEANING, OBTAIN RULING FROM ENGINEER BEFORE SUBMITTING TENDER. IF THIS IS NOT DONE, IT WILL BE ASSUMED THAT THE MOST EXPENSIVE ALTERNATIVE HAS BEEN ALLOWED FOR.

## EXAMINATION OF OTHER DRAWINGS

1. THE CONTRACTOR IS TO EXAMINE CAREFULLY STRUCTURAL, ARCHITECTURAL AND MECHANICAL DRAWINGS AND WORK OF OTHER TRADES AND SATISFY HIMSELF THAT THE WORK UNDER THIS CONTRACT CAN BE SATISFACTORILY CARRIED OUT WITHOUT CHANGES TO THE BUILDING AS SHOWN ON THE PLANS. SHOULD ANY DIFFICULTY ARISE SHOWING CONFLICT WITH, OR REQUIRING ADDITIONAL WORK BEYOND THE WORK OF THESE DRAWINGS, BRING THIS MATTER TO THE ATTENTION OF THE ENGINEER BEFORE SUBMITTING TENDER.

- 1. ELECTRICAL TRADE TO BE RESPONSIBLE FOR CORRECTING ALL WORK COMPLETED CONTRARY TO INTENT OF DRAWINGS AND SPECIFICATIONS AND BEAR ALL COST FOR SAME. WHERE INTENT OF DRAWINGS AND SPECIFICATIONS IS NOT CLEAR, OBTAIN CLARIFICATION BEFORE PROCEEDING WITH WORK.
- 2. ELECTRICAL TRADE TO GIVE WORK HIS PERSONAL SUPERVISION, LAY OUT HIS OWN WORK, DO ALL NECESSARY LEVELING AND MEASURING OR EMPLOY A COMPETENT ENGINEER TO DO SO. FIGURES, FULL SIZE AND DETAIL DRAWINGS TO TAKE PRECEDENCE OVER SCALE MEASUREMENTS.
- WHERE ANY EQUIPMENT SUPPLIED BY ELECTRICAL TRADE MUST BE BUILT IN WITH WORK OF OTHER CONTRACTORS, THIS CONTRACTOR TO BE RESPONSIBLE FOR SUPPLYING OF EQUIPMENT TO BE BUILT IN OR MEASUREMENTS TO ALLOW NECESSARY OPENINGS TO BE LEFT SO AS NOT TO
- 4. ELECTRICAL TRADE TO BE RESPONSIBLE FOR ANY DAMAGE CAUSD OWNER OR ANY OTHER TRADE BY IMPOPER LOCATION OR CARRYING OUT OF HIS
- 5. ELECTRICAL TRADE, IN SETTING OUT OF HIS WORK, TO MAKE REFERENCE TO ARCHITECTURAL, STRUCTURAL AND MECHANICAL DRAWINGS. CONSULT WITH ALL TRADES IN SETTING OUT LOCATIONS FOR CONDUIT RUNS, LIGHTING FIXTURES, PANEL ASSEMBLIES, ETC. SO THAT CONFLICTS ARE AVOIDED AND SYMMETRICAL SPACING IS MAINTAINED
- 6. WHERE RECEPTACLES ARE MOUNTED ABOVE COUNTERS, BENCHES, SPLASH BACKS, ETC. LOCATION AND MOUNTING HEIGHTS TO BE COORDINATED WITH THE BUILT-IN UNITS. REFER TO ARCHITECTURAL DETAILS. WHERE RECEPTACLES OCCUR IN OUTSIDE WALLS WHERE HEATING UNITS OCCUR, RECEPTACLE HEIGHT TO BE ADJUSTED TO COORDINATE WITH HEATING UNITS.
- 7. RECEPTACLES AND OTHER ELECTRICAL BOXES MOUNTED IN COMMON WALLS SHALL BE OFFSET BY A MINIMUM OF 150mm.
- 8. SWITCH MOUNTING TO BE COORDINATED WITH ARCHITECTURAL DETAILS AND TO BE ADJUSTED, IF REQUIRED, TO COORDINATE WITH PANELING, DADOS, MASONRY COURSE LINES, ETC.
- 9. WHERE OUTLETS OCCUR IN EXTERIOR WALLS, ELECTRICAL TRADE TO ENSURE THAT THERE IS INSULATION BEHIND THE OUTLET BOXES TO PREVENT CONDENSATION THROUGH THE BOXES.

# EXAMINATION OF THE SITE

1. PRIOR TO SUBMITTING TENDER, ELECTRICAL TRADE TO CAREFULLY EXAMINE THE SITE AND ASCERTAIN ALL CONDITIONS WHICH MAY AFFECT THIS TRADE. NO EXTRAS WILL BE ALLOWED FOR WORK RESULTING FROM CONDITIONS THAT WOULD HAVE BEEN EVIDENT UPON A THOROUGH EXAMINATION OF THE SITE.

# CODES, STANDARDS AND PERMITS

- 1. DO COMPLETE INSTALLATION IN ACCORDANCE WITH LATEST EDITION OF CSA C22.1 AND REGULATIONS OF ELECTRICAL INSPECTION AUTHORITY.
- 2. DO OVERHEAD AND UNDERGROUND SYSTEMS IN ACCORDANCE WITH CSA C22.3 NO. 1-M1979.
- 3. ABBREVIATIONS FOR ELECTRICAL TERMS: TO CSA Z85-1983.
- 4. ELECTRICAL TRADE TO OBTAIN ALL PERMITS REQUIRED AND AFTER COMPLETION OF THE WORK FURNISH TO THE ENGINEER A CERTIFICATE OF FINAL INSPECTION AND APPROVAL FROM THE ELECTRICAL INSPECTION DEPARTMENT.

# ARC FLASH HAZARD PROTECTION

- ELECTRICAL EQUIPMENT SHALL CONFORM TO CANADIAN ELECTRICAL CODE C22.1 REQUIREMENTS FOR ELECTRICAL CHOCK AND ARC FLASH HAZARD
- 2. THIS CONTRACTOR TO UNDERTAKE AN ELECTRICAL SHOCK AND ARC FLASH STUDY AND ANALYZE PER CSA Z462 TO DEFINE HAZARD CATEGORY AND FLASH PROTECTION BOUNDARY INFORMATION, THIS CONTRACTOR TO OBTAIN REQUIRED INFORMATION FROM NEWFOUNDLAND POWER TO COMPLETE STUDY (I.E. FAULT LEVELS AT LOCATION).
- 3. INSTALL WARNING LABELS (ORANGE <40CAL/CM²) OR DANGER LABEL (RED >40CAL/CM²) IN ACCORDANCE WITH ANSI Z535.4. WARNING LABELS TO BE SELF ADHESIVE TYPE IN HIGHLY VISIBLE LOCATIONS AND CONTAIN THE FOLLOWING INFORMATION:
- 3.1. ARC HAZARD BOUNDARY (CENTIMETERS)
- 3.2. WORKING DISTANCE (CENTIMETERS)
- 3.3. ARC FLASH INCIDENT ENERGY AT THE WORKING DISTANCE (CALORIES/CM2)
- 3.4. PPE CATEGORY AND DESCRIPTION INCLUDING THE GLOVE RATING
- 3.5. VOLTAGE RATING OF THE EQUIPMENT 3.6. LIMITED APPROACH DISTANCE (CENTIMETERS)
- 3.7. RESTRICTED APPROACH DISTANCE (CENTIMETERS)
- 3.8. PROHIBITED APPROACH DISTANCE (CENTIMETERS)
- 3.9. EQUIPMENT/BUS NAME 3.10. DATE PREPARED
- 3.11. ARC FLASH HAZARD STUDY PREPARER NAME AND ADDRESS
- 4. PROVIDE A COMPREHENSIVE REPORT THAT INCLUDES:
- 4.1. REPORT SUMMARY WITH ANALYSIS METHODOLOGY FINDINGS AND RECOMMENDATIONS 4.2. SUMMARY OF INPUT DATA FOR UTILITY SOURCE, EQUIPMENT AND CABLES,
- 4.3. AVAILABLE FAULT CURRENT AT EACH EQUIPMENT LOCATION WITH COMPARISON TO EQUIPMENT RATING
- 4.4. OVERCURRENT DEVICE SETTINGS (E.G. PICK-UP, TIME DELAY, TCC CURVE)
- 4.5. INCIDENT ENERGY LEVEL (CALORIES/CM2) FOR EACH EQUIPMENT LOCATION AND RECOMMENDED PPE
- 4.6. OVERCURRENT DEVICE COORDINATION CURVE INCLUDING RELATED SECTION OF THE SINGLE-LINE DIAGRAM.

# CARE, OPERATION AND START-UP

- 1. INSTRUCT OPERATING PERSONNEL IN THE OPERATION, CARE AND MAINTENANCE OF EQUIPMENT.
- ARRANGE AND PAY FOR SERVICES OF MANUFACTURER'S FACTORY SERVICE ENGINEER TO SUPERVISE START-UP OF INSTALLATION, CHECK, ADJUST, BALANCE AND CALIBRATE COMPONENTS.
- 3. PROVIDE THESE SERVICES FOR SUCH PERIOD, AND FOR AS MANY VISITS AS NECESSARY TO PUT EQUIPMENT IN OPERATION, AND ENSURE THAT OPERATING PERSONNEL ARE CONVERSANT WITH ALL ASPECTS OF ITS CARE AND OPERATION.

# VOLTAGE RATINGS

- 1. OPERATING VOLTAGES: TO CAN3-C235-83.
- 2. MOTORS, CONTROL AND DISTRIBUTION DEVICES AND EQUIPMENT TO OPERATE SATISFACTORILY AT 60 HZ WITHIN NORMAL OPERATING LIMITS ESTABLISHED BY ABOVE STANDARD. EQUIPMENT TO OPERATE IN EXTREME OPERATING CONDITIONS ESTABLISHED IN ABOVE STANDARD WITHOUT DAMAGE TO EQUIPMENT.

# PERMITS, FEES AND INSPECTION

AND APPROVAL PRIOR TO COMMENCEMENT OF WORK. 2. PAY ASSOCIATED FEES.

1. SUBMIT TO ELECTRICAL INSPECTION DEPARTMENT AND SUPPLY AUTHORITY NECESSARY NUMBER OF DRAWINGS AND SPECIFICATIONS FOR EXAMINATION

- 3. CONTRACTOR SHALL PROVIDE DRAWINGS AND SPECIFICATIONS REQUIRED BY ELECTRICAL INSPECTION DEPARTMENT AND SUPPLY AUTHORITY AT NO
- 4. NOTIFY ENGINEER OF CHANGES REQUIRED BY ELECTRICAL INSPECTION DEPARTMENT PRIOR TO MAKING CHANGES. FURNISH CERTIFICATES OF ACCEPTANCE FROM AUTHORITIES HAVING JURISDICTION ON COMPLETION OF WORK TO ENGINEER.
- 5. FURNISH CERTIFICATES OF ACCEPTANCE FROM AUTHORITIES HAVING JURISDICTION ON COMPLETION OF WORK TO ENGINEER.

# EXAMINATION OF SITE AND DRAWINGS

1. VISIT SITE BEFORE TENDER CLOSES TO DETERMINE DETAILS OF EXISTING CONDITIONS. NO EXTRA WILL BE ALLOWED FOR ITEMS WHICH WOULD HAVE BEEN PICKED UP BY SITE INSPECITON.

MATERIALS AND EQUIPMENT

- 1. EQUIPMENT AND MATERIAL TO BE NEW AND CSA CERTIFIED. WHERE THERE IS NO ALTERNATIVE TO SUPPLYING EQUIPMENT WHICH IS NOT
- CSA CERTIFIED, OBTAIN SPECIAL APPROVAL FROM ELECTRICAL INSPECTION DEPARTMENT.
- 2. FACTORY ASSEMBLE CONTROL PANELS AND COMPONENT ASSEMBLIES.
- 3. UNIFORMITY OF MANUFACTURER TO BE MAINTAINED FOR ANY PARTICULAR ITEM THROUGHOUT.

# ELECTRIC MOTORS, EQUIPMENT AND CONTROLS

1. UNLESS OTHERWISE SPECIFIED, ELECTRICAL TRADE TO SUPPLY AND INSTALL ALL CONDUIT AND WIRE, FITTINGS AND CONNECTIONS FOR ALL MECHANICAL MORE THAN 50V. 50V AND LESS BY CONTROLS CONTRACTOR. MOTOR PROTECTION SWITCHES COMPLETE WITH OVERLOAD RELAYS ETC. TO BE SUPPLIED AND INSTALLED BY ELECTRICAL TRADE. ELECTRICAL TRADE TO CONFIRM MECHANICAL TRADE SIZE, CHARACTERISTICS AND LOCATIONS OF ALL MECHANICAL EQUIPMENT BEFORE INSTALLATION OF CONDUIT ETC.

- 1. ALL ELECTRICAL FITTINGS, SUPPORTS, HANGER RODS, PULL BOXES, CHANNEL FRAMES, CONDUIT RACKS, OUTLET BOXES, BRACKETS, CLAMPS, ETC. TO HAVE GALVANIZED FINISH OR PAINT FINISH OVER CORROSION-RESISTANT PRIMER.
- 2. ALL PANELS TO BE FACTORY FINISHED WITH SPRAY-ON AIR DRY ENAMEL. ALL ENAMEL TO BE APPLIED OVER CORROSION-RESISTANT PRIMER. MATTE OR FLAT TYPE FINISH PAINT WILL NOT BE ACCEPTED. ALL PANELS OR SIMILAR FACTORY FINISH UNITS THAT ARE SCRATCHED OR MARKED DURING INSTALLATION TO BE TOUCHED UP WITH MATCHING SPRAY-ON AIR DRY LACQUER AND IF REQUIRED TO PROVIDE SATISFACTORY JOB TO BE COMPLETELY REFINISHED.
- 3. ALL 347/600V AND 120/208V PANEL BOARDS, PULL BOXES, ETC. TO BE FINISHED IN GREY ENAMEL.

- 1. ELECTRICAL TRADE TO SUPPLY AND INSTALL ACCESS DOORS REQUIRED FOR PROPER SERVICING OF ALL ELECTRICAL WORK. ACCESS PANEL TO BE OF NOT LESS THAN 14 GAUGE STEEL, PRIME COAT FINISHED AND PAINTED ON THE JOB TO MATCH THE WALL OR CEILING FINISH.
- 2. NUMBER OF ACCESS DOORS TO BE KEPT TO AN ABSOLUTE MINIMUM AND TO BE USED ONLY WITH THE PERMISSION OF THE ENGINEER. **EQUIPMENT IDENTIFICATION**
- 1. IDENTIFY ELECTRICAL EQUIPMENT WITH NAMEPLATES AND LABELS AS FOLLOWS:
- - .1 LAMICOID 3MM THICK PLASTIC ENGRAVING SHEET, BLACK FACE, WHITE CORE, MECHANICALLY ATTACHED WITH SELF TAPPING SCREWS
- NAMEPLATE SIZES SIZE 1 10 X 50MM 1 LINE 3MM HIGH LETTERS SIZE 2 12 X 70MM 1 LINE 5MM HIGH LETTERS SIZE3 12 X 70MM 2 LINES 3MM HIGH LETTERS SIZE 4 20 X 90MM 1 LINE 8MM HIGH LETTERS SIZE 5 20 X 90MM 2 LINES 5MM HIGH LETTERS
- SIZE 7 25 X 100MM 2 LINES 6MM HIGH LETTERS
- .1 EMBOSSED PLASTIC LABELS WITH 6MM HIGH LETTERS UNLESS SPECIFIED OTHERWISE.

1 LINE 12MM HIGH LETTERS

- 4. WORDING ON NAMPLATES AND LABELS TO BE APPROVED BY ENGINEER PRIOR TO MANUFACTURE.
- 5. ALLOW FOR AVERAGE OF TWENTY-FIVE (25) LETTERS PER NAMEPLATE AND LABEL. 6. IDENTIFICATION TO BE ENGLISH.

SIZE 6 25 X 100MM

- 7. NAMEPLATES FOR TERMINAL CABINETS AND JUNCTION BOXES TO INDICATE SYSTEM AND/OR VOLTAGE CHARACTERISTICS. 8. DISCONNECTS, STARTERS AND CONTACTORS: INDICATE EQUIPMENT BEING CONTROLLED AND VOLTAGE.
- 9. TERMINAL CABINETS AND PULL BOXES: INDICATE SYSTEM AND VOLTAGE.

- 1. IDENTIFY PHASE CONDUCTOR WIRING WITH PERMANENT COLORED PLASTIC TAPES ON BOTH ENDS.
- 2. IDENTIFY BRANCH CIRCUIT WIRING WITH PERMANENT NUMBERED TAPES AT BOTH ENDS.
- 3. MAINTAIN PHASE SEQUENCE AND COLOR CODING THROUGHOUT
- 4. USE COLOR CODED WIRES IN COMMUNICATION CABLES, MATCHED THROUGHOUT SYSTEM

# CONDUIT AND CABLE IDENTIFICATION

- 1. COLOR CODE CONDUITS, BOXES AND METALLIC SHEATHED CABLES.
- 2. CODE WITH PLASTIC TAPE OR PAINT AT POINTS WHERE CONDUIT OR CABLE ENTERS WALL, CEILING, OR FLOORS, AND AT 15 M INTERVALS.
- 3. COLORS: 25MM WIDE PRIME COLOR AND 20MM WIDE AUXILIARY COLOR.
- UP TO 250 V YELLOW UP TO 600 V YELLOW GREEN
- TELEPHONE GREEN OTHER COMM SYSTEMS GREEN BLUE

# WIRING TERMINATIONS

- 1. LUGS, TERMINALS, SCREWS USED FOR TERMINATION OF WIRING TO BE SUITABLE FOR EITHER COPPER OR ALUMINUM CONDUCTORS. MANUFACTURERS AND CSA LABELS
- 1. VISIBLE AND LEGIBLE AFTER EQUIPMENT IS INSTALLED.

# WARNING SIGNS

- 1. AS SPECIFIED AND TO MEET REQUIREMENTS OF ELECTRICAL INSPECTION DEPARTMENT AND ENGINEER.
- 2. PORCELAIN ENAMEL OR 1MM THICK PLASTIC SIGNS, MINIMUM SIZE 175 X 250MM.

# SINGLE LINE ELECTRICAL DRAWINGS

- 1. PROVIDE SINGLE LINE ELECTRICAL DIAGRAMS IN GLAZED FRAMES AS FOLLOWS:
- .1 ELECTRICAL DISTRIBUTION SYSTEM: LOCATE IN ELECTRICAL ROOM
- 2. DRAWINGS: 600 X 600MM MINIMUM SIZE.

# LOCATION OF OUTLETS

- 1. LOCATE OUTLETS IN ACCORDANCE WITH GENERAL REQUIREMENTS.
- 2. DO NOT INSTALL OUTLETS BACK-TO-BACK IN WALL; ALLOW MINIMUM 150MM HORIZONTAL CLEARANCE BETWEEN BOXES.
- 3. CHANGE LOCATION OF OUTLETS AT NO EXTRA COST OR CREDIT, PROVIDING DISTANCE DOES NOT EXCEED 3000MM, AND INFORMATION IS GIVEN BEFORE INSTALLATION.
- 4. LOCATE LIGHT SWITCHES ON LATCH SIDE OF DOORS.
- 5. ELECTRICAL TRADE TO REFER TO ARCHITECTURAL ROOM ELEVATIONS FOR POSITIONS AND MOUNTING HEIGHTS OF ALL OUTLETS, SWITCHES, TELEPHONE, DATA OUTLETS, ETC. POSITIONS SHOWN ON ARCHITECTURAL PLANS TO TAKE PRECEDENCE OVER POSITIONS OR MOUNTING HEIGHTS SHOWN ON ELECTRICAL PLANS.

# MOUNTING HEIGHTS

- 1. MOUNTING HEIGHT OF EQUIPMENT IS FROM FINISHED FLOOR TO CENTERLINE OF EQUIPMENT UNLESS SPECIFIED OR INDICATED OTHERWISE.
- 2. IF MOUNTING HEIGHT OF EQUIPMENT IS NOT SPECIFIED OR INDICATED VERIFY BEFORE PROCEEDING WITH INSTALLATION.
- 3. INSTALL ELECTRICAL EQUIPMENT AT FOLLOWING HEIGHTS UNLESS INDICATED OTHERWISE.
- .2 WALL RECEPTACLES:
- .01 GENERAL: 460MM.

.1 LOCAL SWITCHES; 1200MM

- .02 ABOVE TOP OF COUNTERS OR COUNTER SPLASH BACKS: 150MM.
- .03 IN MECHANICAL AND ELECTRICAL ROOMS: 1050MM

.3 PANELBOARDS: AS REQUIRED BY CODE OR 1600MM.

.4 TELECOMMUNICATIONS OUTLETS: 460MM

.5 EMERGENCY LIGHTING UNIT: 2100MM.

.6 EXIT SIGNS: DIRECTLY ABOVE DOOR

.7 REMOTE EMERGENCY LIGHTING HEADS: 2100MM.

.8 THERMOSTAT: 1400MM.

# CONDUIT AND CABLE INSTALLATION

INSTALL CONDUIT AND SLEEVES PRIOR TO POURING OF CONCRETE SLEEVES THROUGH CONCRETE: PLASTIC SIZED FOR FREE PASSAGE ON CONDUIT. AND PROTRUDING 50MM, WHERE CONDUITS PASS BETWEEN AREAS OF DIFFERENT AMBIENT TEMPERATURE, SEAL WITH APPROVED SEALANT. PROVIDE FITTINGS AS REQUIRED.

# FIELD QUALITY CONTROL

- 1. CONDUCT THE FOLLOWING TESTS:
- .1 POWER DISTRIBUTION SYSTEM INCLUDING PHASING, VOLTAGE, GROUNDING AND LOAD BALANCING.
- .2 CIRCUITS ORIGINATING FROM BRANCH DISTRIBUTION PANELS.
- .3 LIGHTING AND ITS CONTROL.
- MOTORS AND ASSOCIATED CONTROL EQUIPMENT INCLUDING SEQUENCED OPERATION OF SYSTEMS WHERE APPLICABLE.
- .5 COMMUNICATIONS SYSTEMS: .01 DATA SYSTEMS
- .02 TELEPHONE SYSTEM .03 CCTV SYSTEM
- .6 EXIT AND EMERGENCY LIGHTING.
- HEATING CONTROLS 2. FURNISH MANUFACTURER'S CERTIFICATE OR LETTER CONFIRMING THAT THE INSTALLATION AS IT PERTAINS TO EACH SYSTEM, HAS BEEN INSTALLED TO MANUFACTURER'S INSTRUCTIONS.
- 3. INSULATION RESISTANCE TESTING.
- .1 MEGGER CIRCUITS, FEEDERS AND EQUIPMENT UP TO 350 V WITH A 500 V INSTRUMENT.
- .2MEGGER 350-600 V CIRCUITS, FEEDERS AND EQUIPMENT WITH A 1000 V INSTRUMENT.
- .3 CHECK RESISTANCE TO GROUND BEFORE ENERGIZING.
- .4 CARRY OUT TESTS IN PRESENCE OF ENGINEER. .5 PROVIDE INSTRUMENTS, METERS, EQUIPMENT AND PERSONNEL REQUIRED TO CONDUCT TESTS DURING AND AT CONCLUSION OF PROJECT.
- .6 SUBMIT TEST RESULTS FOR ENGINEER'S REVIEW.

# CO-ORDINATION OF PROTECTIVE DEVICES

1. ENSURE CIRCUIT PROTECTIVE DEVICES SUCH AS OVERCURRENT TRIPS, RELAYS AND FUSES ARE INSTALLED TO REQUIRED VALUES AND SETTINGS.

- 1. COORDINATE WORK WITH WORK OF OTHER DIVISIONS TO AVOID CONFLICT
- 2. LOCATE DISTRIBUTION SYSTEMS, EQUIPMENT, AND MATERIALS TO PROVIDE MINIMUM INTERFERENCE AND MAXIMUM
- 3. WHERE INTERFERENCE OCCURS, OWNER MUST APPROVE RELOCATION OF EQUIPMENT AND MATERIALS REGARDLESS OF INSTALLATION ORDER.
- 4. NOTWITHSTANDING THE REVIEW OF SHOP DRAWINGS, THIS DIVISION MAY BE REQUIRED TO RELOCATE ELECTRICAL EQUIPMENT WHICH INTERFERES WITH THE EQUIPMENT OF OTHER TRADES, DUE TO LACK OF CO-ORDINATION BY THIS DIVISION. THE COST OF THIS RELOCATION SHALL BE THE RESPONSIBILITY OF THIS DIVISION. THE OWNER SHALL DECIDE THE EXTENT OF RELOCATION REQUIRED.
- CUTTING AND PATCHING
- INFORM ALL OTHER DIVISIONS IN TIME, CONCERNING REQUIRED OPENINGS. CUTTING AND PATCHING FOR ELECTRICAL WORK SHALL BE PROVIDED BY THIS DIVISION. OBTAIN WRITTEN APPROVAL OF STRUCTURAL ENGINEER BEFORE DRILLING ANY BEAMS OR FLOORS.

1. DO FINAL CLEANING IN ACCORDANCE WITH ARCHITECTURAL DIVISION REQUIREMENTS.

# PROTECTION

- PROTECT EXPOSED LIVE EQUIPMENT DURING CONSTRUCTION FOR PERSONNEL SAFETY. 2. SHIELD AND MARK ALL LIVE PARTS "LIVE 120 VOLTS", OR WITH APPROPRIATE VOLTAGE IN ENGLISH. SIGNS TO MEET REQUIREMENTS OF INSPECTION DEPARTMENT & ENGINEER.
- 3. ARRANGE FOR INSTALLATION OF TEMPORARY DOORS FOR ROOMS CONTAINING ELECTRICAL DISTRIBUTION EQUIPMENT. KEEP THESE DOORS LOCKED EXCEPT WHEN UNDER DIRECT SUPERVISION OF ELECTRICIAN.

# RECORD DRAWINGS

- 1. OBTAIN AND PAY FOR THREE (3) SET OF WHITE PRINTS. AS THE JOB PROGRESSES, MARK THESE PRINTS TO ACCURATELY INDICATE INSTALLED WORK. HAVE THE WHITE PRINTS AVAILABLE FOR INSPECTION AT THE SITE AT ALL TIMES AND PRESENT FOR SCRUNITY AT EACH JOB MEETING.
- 2. SHOW ON THE RECORD DRAWINGS THE INSTALLED INVERTS OF ALL SERVICES ENTERING AND LEAVING THE BUILDING AND THE PROPERTY. DIMENSION UNDERGROUND SERVICES AT KEY POINTS OF EVERY RUN IN RELATION TO THE STRUCTURE AND BUILDING.
- 3. INDICATE EXACT LOCATION OF ALL SERVICES LEFT FOR FUTURE WORK SHOW AND DIMENSION ALL WORK EMBEDDED IN THE STRUCTURE.

- ENSURE THAT ALL PERSONNEL ABIDE BY SAFETY PRACTICES IN PLACE ON THIS WORK SITE AND BY REGULATIONS MANDATED BY OCCUPANCY, HEALTH AND SAFETY.
- 2. ENSURE PERSONNEL DO NOT WORK ON ENERGIZED EQUIPMENT. ENSURE THE POWER SUPPLY TO ALL EQUIPMENT TO BE WORKED ON IS DE-ENERGIZED AND THE SOURCE DEVICE IS TURNED OFF, LOCKED OUT AND TAGGED.

THE OWNER'S REPRESENTATIVE WILL MAKE PERIODIC VISITS TO THE OF WORK SITE DURING CONSTRUCTION TO ASCERTAIN REASONABLE CONFORMITY TO PLANS AND SPECIFICATIONS BUT WILL NOT EXECUTE QUALITY CONTROL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE EXECUTION OF HIS WORK IN CONFORMITY WITH THE

# CONSTRUCTION DOCUMENTS AND WITH THE REQUIREMENTS OF THE INSPECTION AUTHORITY. SCHEDULING OF WORK

CONDITIONS.

INSPECITON OF WORK

- 1. WORK SHALL BE SCHEDULED IN PHASES AS PER OTHER DIVISIONS OF THE ARCHITECTURAL SPECIFICATIONS.
- 2. BECOME FAMILIAR WITH THE PHASING REQUIREMENTS FOR THE WORK AND COMPLY WITH THESE CONDITIONS. 3. NO ADDITIONAL MONIES WILL BE PAID FOR CONTRACTORS REQUIREMENT TO COMPLY WITH WORK PHASING

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PROJECT TITLE

# WORKPLACE NL - INTERIOR

PROJECT ADDRESS

A PROJECT FOR

**PLAN LEGEND** 

PROVINCE OF NEWFOUNDLAND AND LABRADOR ▲ This Permit Allows PROFESSIONAL ENGINEERS AND GEOSCIENTISTS rowseal/Appleby newton engineering inc To practice Professional Engineering in Newfoundland and Labrador. Permit No. as issued by APEGN P0255 which is valid for the year 2024.

MECHANICAL/ELECTRICAL CONSULTANTS

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FIT-OUT

WORKPLACE NL

- 2. SUBMIT TWO (2) COPIES OF ELECTRICAL SHOP DRAWINGS FOR REVIEW BY THE ENGINEERS THIS REVIEW SHALL NOT RELIEVE THE CONTRACTOR OR SUPPLIER OF RESPONSIBILITY FOR COMPLIANCE WITH THE CONTRACT DOCUMENTS.
- 3. SUBMIT SHOP DRAWINGS FOR:

A)LIGHTING FIXTURES, LIGHTING CONTROL DEVICES.

- B) WIRING DEVICES.
- C) PANEL BOARDS.
- D) EXIT & EMERGENCY LIGHTING.

E)POWER DISTRIBUTION (TRANSFORMERS, DISCONNECTS, STARTERS)

F) COMMUNICATIONS

## COMMISSIONING

- 1. ALL EQUIPMENT & SYSTEMS PROVIDED SHALL BE TESTED & COMMISSIONED TO ENSURE THAT ALL ARE FUNCTIONING PROPERLY AS PER CONTRACT DOCUMENTS & DESIGN REQUIREMENTS. PROVIDE A SIGNED STATEMENT CERTIFYING THAT ALL EQUIPMENT IS FUNCTIONING PROPERLY, AND THAT THE WORK SPECIFIED AND/OR REQUIRED HAS BEEN COMPLETED.
- 2. COMMISSIONING IS A PLANNED PROGRAM OF TESTS, PROCEDURES AND CHECKS CARRIED OUT SYSTEMATICALLY ON SYSTEMS AND INTEGRATED SYSTEMS OF THE FINISHED PROJECT. COMMISSIONING IS PERFORMED AFTER SYSTEMS AND INTEGRATED SYSTEMS ARE COMPLETELY INSTALLED, FUNCTIONAL AND CONTRACTOR'S PERFORMANCE VERIFICATION RESPONSIBILITIES HAVE BEEN COMPLETED AND APPROVED. CONTRACTOR IS RESPONSIBLE TO PROVIDE COMMISSIONING CHECK LIST FOR REVIEW AND APPROVAL PRIOR TO BEGINNING COMMISSIONING EXERCISES.
- 3. TESTS REQUIRED BY LOCAL AUTHORITIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. WHEN THE WORK IS COMPLETED, IT SHALL BE TESTED IN ITS ENTIRETY, AND SHALL BE IN GOOD WORKING ORDER BEFORE THE OWNER'S CERTIFICATE OF ACCEPTANCE SHALL BE ISSUED.
- 4. THE CONTRACTOR WILL BE RESPONSIBLE FOR THE SUPPLY OF SUFFICIENT POWER ON A TEMPORARY BASIS TO ALLOW TESTING OF ALL EQUIPMENT AND SYSTEMS. THESE WILL BE TESTED IN THE PRESENCE OF THE ENGINEER.
- 5. FURNISH MANUFACTURER'S CERTIFICATE OR LETTER CONFIRMING THAT ENTIRE INSTALLATION AS IT PERTAINS TO EACH SYSTEM HAS BEEN INSTALLED TO MANUFACTURER'S INSTRUCTIONS.
- 6. INCLUDE TRAINING OF BUILDING O&M STAFF.
- 7. BEFORE ENERGIZING ANY PORTION OF ELECTRICAL SYSTEM, PERFORM MEGGER TESTS ON ALL FEEDERS AND BRANCH CIRCUITS. RESULTS OF SUCH TESTS TO CONFORM TO REQUIREMENTS OF THE CANADIAN ELECTRICAL CODE AND BE TO SATISFACTION OF AUTHORIZED INSPECTION AGENCY AND THE ENGINEER.
- 8. UPON COMPLETION AND IMMEDIATELY PRIOR TO FINAL INSPECTION AND TAKEOVER, CHECK LOAD BALANCE ON ALL FEEDERS AND AT DISTRIBUTION CENTERS, PANELS, ETC. TESTS TO BE CARRIED OUT BY TURNING ON ALL POSSIBLE LOADS AND CHECKING LOAD BALANCE. IF LOAD UNBALANCE EXCEEDS 15% RECONNECT CIRCUITS TO BALANCE LOAD.

# GUARANTEE

- 1. ALL SYSTEMS SHALL BE COMPLETE, TESTED, COMMISSIONED AND READY FOR USE WITH ALL EQUIPMENT OPERATING SATISFACTORILY.
- 2. PROVIDE A CERTIFICATE OF GUARANTEE OF WORKMANSHIP, MATERIALS AND EQUIPMENT FOR ONE (1) YEAR AFTER ACCEPTANCE BY THE ENGINEER. THIS DOES NOT SUPERCEDE WARRANTIES ON SPECIFIC ITEMS OF EQUIPMENT WHICH MAY BE FOR LONGER PERIODS, AND MANUFACTURER'S WARRANTIES SHALL BEGIN ON THE DATE OF THIS ACCEPTANCE NOT WHEN THE PRODUCT WAS SHIPPED OR INSTALLED.

# MAINTENANCE MANUALS

 PROVIDE TWO (2) COPIES OF MAINTENANCE/SERVICE MANUALS FOR ALL ELECTRICAL COMPONENTS SUPPLIED UNDER THIS CONTRACT. INCORPORATE ALL DATA INTO 3 RING BINDERS C/W INDEX & TABS. INCLUDE INSTALLATION & MAINTENANCE MANUALS BY ALL EQUIPMENT SUPPLIERS AS WELL AS APPROVED SHOP DRAWINGS.

# FIRE RATING OF PENETRATIONS

- MAINTAIN FIRE RATINGS AND SMOKE SEALS AROUND CONDUITS PASSING THROUGH FLOORS AND CEILINGS.
- 2. USE 3M BRAND, OR EQUAL FIRE BARRIER PRODUCTS AT EACH PENETRATION.
- 3. STANDARD OF ACCEPTANCE FOR FIRE BARRIER PRODUCTS SHALL BE 3M #CP25 FIRE BARRIER CAULK, #303 PUTTY, #FS195 WRAP AND #CS195 SHEET.

# STANDARD OF ACCEPTANCE

- 1. THE ITEMS NAMED MEET IN ALL RESPECT PERFORMANCE QUALITY AND WORKMANSHIP AND ARE ACCEPTABLE TO THE OWNER WITHOUT QUALIFICATION.
- EQUIPMENT PROPOSED SHALL MEET THE SAME STANDARDS OF PERFORMANCE, QUALITY AND WORKMANSHIP.

# MATERIAL SPECIFIED

- 1. MANUFACTURER'S NAME WITH CLAUSE "OR APPROVED EQUAL". THE TENDER PRICE SHALL BE BASED ON THE NAMED MATERIAL WHERE SUBSTITUTIONS ARE TO BE PROPOSED FOR MATERIALS BEARING THE CLAUSE "OR APPROVED EQUAL", APPROVAL OF THE SUBSTITUTE ITEM MUST BE OBTAINED FROM THE ENGINEER AT LEAST SEVEN DAYS PRIOR TO THE CLOSING DATE OF THE TENDER. THE PROPOSED SUBSTITUTION SHALL SHOW PRODUCT NAME AND COMPLETE SPECIFICATION AND BE EQUAL TO, OR BETTER THAN THE NAMED ITEM. NO INCREASE IN THE TENDER PRICE SHALL BE MADE FOR SUCH A SUBSTITUTION SHOULD IT BE ACCEPTED. ACCEPTED EQUALS WILL BE LISTED IN AN ADDENDUM FIVE DAYS PRIOR TO THE TRADE CLOSING DATE.
- 2. WHERE ADDITIONAL MANUFACTURERS ARE NAMED UNDER ARTICLES ENTITLED "APPROVED MANUFACTURERS" THE CHOICE OF WHICH THE MANUFACTURER NAMED IN REFERENCE TO A PARTICULAR ARTICLE IS TO BE USED, SHALL BE THE CONTRACTORS.
- 3. WHERE APPROVALS ARE GRANTED FOR THE USE OF OTHER EQUIPMENT ANY AND ALL CHANGES OR ADDITIONS REQUIRED FOR THE INSTALLATION OR OPERATION OF THE APPROVED EQUIPMENT WILL BE MADE BY THE CONTRACTOR AT HIS OWN EXPENSE AND NO CLAIMS WILL BE APPROVED FOR ANY SUCH CHANGES, NOTWITHSTANDING APPROVAL OF SHOP DRAWINGS. EQUIPMENT THAT IS ACCEPTED AND INSTALLED AND THEN DOES NOT PERFORM AS REPRESENTED BY ORIGINAL SUBMITTED DATA SHALL BE REPLACED BY THE CONTRACTOR WITH EQUIPMENT AS SPECIFIED, AT NO CHARGE TO THE OWNER.

# LIGHTING SYSTEM

1. FIXTURES AS INDICATED IN SCHEDULE COMPLETE WITH ALL LAMPS, BALLASTS, LENSES, SUSPENSION MATERIALS AND ACCESSORIES.

# EMERGENCY LIGHTING

AS PER SPECIFICATIONS ON DRAWINGS.

#### EXIT LIGHT

1. AS PER SPECIFICATIONS ON DRAWINGS

#### RING DEVICES

- 1. PROVIDE DEVICES, BOXES AND COVER PLATES AS INDICATED.
- 2. COVER PLATES TO BE BRUSHED STAINLESS STEEL STYLE.
- 3. DUPLEX RECEPTACLES TO BE SPECIFICATION GRADE WHITE COLOR.
- 4. TOGGLE SWITCHES TO BE SPECIFICATION GRADE WHITE COLOR.
- 5. GROUND FAULT INTERRUPT RECEPTACLES TO BE CLASS "A" WITH TEST BUTTON AND
- 6. INCLUDE OTHER DEVICES AS DESCRIBED ON THE DRAWINGS & SYMBOL LEGEND

#### WIRING METHOD

- 1. BUILDING WIRE TO BE COPPER, 600V, RW90 XPLE OR AS SPECIFIED ON THE ELECTRICAL DRAWING SINGLE LINE DIAGRAM. ALL PANEL FEED HOME RUNS TO BE RUN IN EMT CONDUIT, VERTICAL BX CABLE TO LIGHTING FIXTURE DROPS AND IN STEEL STUD WALLS, AS PER THE CANADIAN ELECTRICAL CODE.
- 2. ALUMINUM WIRING NOT ALLOWED.
- 3. INSTALL DEDICATED TW COPPER WIRE IN ALL CONDUITS FOR BONDING.
- 4. UTILIZE CONCRETE OR MASONRY BOXES AS APPROPRIATE.
- 5. WIRING & CONDUIT TO BE CONCEALED AT ALL TIMES UNLESS OTHERWISE NOTED.
- 6. MINIMUM CONDUIT SIZE: 21MM.

HANGERS, INSERTS, SLEEVES AND SUPPORTS FOR ELECTRICAL SYSTEMS

- PROVIDE AND INSTALL INSERTS, HANGERS, ANCHORS AND SUPPORTS REQUIRED FOR WORK TO BE INSTALLED UNDER THIS SECTION INCLUDING FREE STANDING SUPPORTS REQUIRED FOR THOSE ITEMS REMOTELY MOUNTED FROM BUILDING STRUCTURE.
- 2. DO NOT FASTEN SUPPORTS TO PIPING, DUCTWORK, MECHANICAL EQUIPMENT, CABLE TRAY OR CONDUIT. DO NOT FASTEN TO SUSPENDED CEILING GRID SYSTEM.
- 3. IN MECHANICAL AND ELECTRICAL ROOMS, INSTALL FREE STANDING ELECTRICAL EQUIPMENT ON 100mm CONCRETE PAD.

## WIRE AND CABLE

- 1. CONDUCTORS SHALL BE INSTALLED, SIZED AS SHOWN ON THE DRAWINGS WITH NO CONDUCTOR BEING LESS THAN NO. 12 AWG GAUGE, EXCEPT WHERE OTHERWISE SPECIFIED. USE RW90 CONDUCTORS UNLESS OTHERWISE NOTED AND TYPE TW FOR GROUND
- 2. CONDUCTORS NO. 10 AND SMALLER MAY BE SOLID, WHILE NO. 8 AND LARGER SHALL BE STRANDED.
- 3. JOINTS OF CONDUCTORS UP TO NO. 10 GAUGE SHALL BE MADE WITH APPROVED TYPE CONNECTORS STANDARD OF ACCEPTANCE MARRETTE #733, 735, 739.
- 4. CONDUCTORS CARRYING DIFFERENT POTENTIALS SHALL NOT BE RUN IN THE SAME CONDUIT OR BOXES EXCEPT AS PROVIDED FOR IN THE CODE.
- 5. WHERE THERE IS A NEUTRAL, IT SHALL BE CONTINUOUS AND SHALL BE IDENTIFIED
- 6. DROPS DOWN TO NEW DEVICES IN STEEL STUD WALLS TO BE AC90 BX CABLE.
- 7. CONDUIT TO BE ELECTRIC METALLIC TUBING (EMT). UTILITZE RIGID GALVANIZED STEEL CONDUIT FOR ALL EXPOSED RUNS BELOW 2 METERS OF FLOOR IN SERVICE & WASH BAYS WHERE IN JUDGEMENT BY ELECTRICAL INSPECTION AUTHORITY IS SUBJECT TO MECHANICAL DAMAGE.
- 8. SURFACE MOUNTED CONDUITS TO BE INSTALLED PARALLEL TO STRUCTURAL LINES AND WHERE BENDS OCCUR IN PARALLEL RUNS, THEY SHALL BE CONCENTRIC.
- 9. DO NOT INSTALL CONDUITS ON THE SURFACE OF, OR WITHIN 100mm, OF THE UNDERSIDE OF ROOF DECKS.
- 10. CONDUITS TO BE INSTALLED FREE FROM DENTS AND BRUISES AND HAVE ENDS PLUGGED TO PREVENT ENTRANCE OF DIRT OR MOISTURE.
- 11. ALL CONDUITS EXCEPT WHERE OTHERWISE NOTED TO BE SIZED IN ACCORDANCE WITH THE CANADIAN ELECTRICAL CODE.
- 12. FLEXIBLE CONDUIT CONNECTIONS TO MOTORS, CONTROLS, ETC. TO BE FLEXIBLE PLASTIC JACKETED, WATER TIGHT OR APPROVED EQUAL. FLEXIBLE CONDUIT CONNECTIONS ARE REQUIRED TO ALL MOTORS FROM STUB-UPS OF JUNCTION BOXES.

# PULL BOXES & SPECIAL BOXES

THROUGHT ITS LENGTH.

- 1. PULL BOXES AND SPECIAL BOXES FOR PARTICULAR AREAS AND ITEMS OF EQUIPMENT SHALL BE SUPPLIED AS SHOWN OR AS REQUIRED FOR PROPER CONDUCTOR INSTALLATION, AND AS REQUIRED BY THE MANUFACTURER AND SUPPLIERS OR PARTICULAR ITEMS OF EQUIPMENT.
- 2. BOXES AND COVERS SHALL BE FORMED OF NO. 12 GAUGE GALVANIZED SHEET STEEL AND SHALL PAINTED AS DESCRIBED ELSEWHERE COVERS SHALL BE SUITABLE FOR THE LOCATION AND SHALL BE GASKETTED IN DAMP LOCATIONS.

# OUTLET AND JUNCTION BOXES

- 1. EACH LIGHT FIXTURE, SWITCH, RECEPTACLE, DATA/TELEPHONE OUTLET, ETC., SHALL BE PROVIDED WITH AN OUTLET BOX, UNLESS OTHERWSIE SPECIFIED OR SHOWN ON THE
- 2. JUNCTION BOXES SHALL BE INSTALLED WHEREVER NECESSARY FOR THE PROPER PULLING IN OF WIRES SO AS TO BE ACCESSIBLE.
- 3. BOXES FOR RECESSED INSTALLATION IN ALL TYPES OF CONSTRUCTION SHALL HAVE APPROPRIATE COVERS, PLASTER RINGS, OR EXTENSION RINGS WHERE REQUIRED.
- 4. BOXES FOR ALL EXPOSED AND OUTSIDE INSTALLATION AND IN MOIST AREAS SHALL BE OF A TYPE APPROVED FOR THE APPLICATION. THERE SHALL BE A SEALING GASKET BETWEEN COVER AND CASE.
- 5. ALL BOXES SHALL BE SECURED AND SUPPORTED INDEPENDENTLY OF THE CONDUITS.
- 6. ELECTRO—GALVANIZED BLANK COVER PLATES SHALL BE INSTALLED ON BOXES WHICH ARE NOT SUPPLIED WITH FINISHED COVER PLATES.
- 7. SIZE BOXES IN ACCORDANCE WITH CEC.
- 8. BOXES SHALL BE HOT DIP GALVANIZED, CONFORMING TO CSA REQUIREMENTS.

- 9. BOXES FOR CEILING, NO. 54151 BOX, OTHERWISE NO. 52171 OR NO. 72171 BOX AS PER CODE REQUIREMENTS.
- 10. BOXES FOR INDOOR SURFACE MOUNTED EQUIPMENT, USE 100mm SQUARE TAYLOR 52151 OR 52171 WITH TAYLOR OR T&B SERIES 8300
- 11. ALL OUTLET BOXES TO BE FLUSH MOUNTED EXCEPT AS SPECIFIED.
- 12. NO SECTIONAL OR HANDY BOXES ALLOWED.

# DISCONNECT SWITCHES

- 1. FUSIBLE AND NON-FUSIBLE DISCONNECT SWITCH IN CSA ENCLOSURE 1 UNLESS OTHERWISE NOTED. NEMA 4X STAINLESS STEEL SWITCHES FOR EXTERIOR APPLICATION. PAD LOCKABLE IN OFF POSITION. MECHANICALLY INTERLOCKED HANDLE, FUSED WITH HRC CLASS J FUSES WHERE INDICATED ON DRAWINGS. INDUSTRIAL GRADE SWITCHES
- 2. STANDARD OF ACCEPTANCE: CUTLER HAMMER, ACCEPTABLE ALTERNATES: SIEMENS, SQUARE D.

## MOTOR STARTERS

- 1. MAGNETIC MOTOR STARTERS TO BE QUICK MAKE QUICK BREAK WITH THERMAL OVERLOAD. NEMA 1 ENCLOSURES UNLESS OTHERWISE NOTED. ALL MAGNETIC STARTERS SHALL HAVE CONTROL TRANSFORMER, PILOT LIGHTS, H.O.A. SWITCHES AND TWO AUXILLIARY CONTACTS AS REQUIRED. COMBINATION MAGNETIC STARTERS ARE TO BE C/W CIRCUIT BREAKER TYPE DISCONNECT SWITCH.
- 2. FURNISH DISCONNECTS FOR ALL MOTORS AS REQUIRED BY THE CANADIAN ELECTRICAL CODE, TYPE AS INDICATED ABOVE.

## PANELBOARDS

- 1. VOLTAGE, AMPERAGE, PHASE AND INTERRUPTING CAPACITY AS PER DRAWINGS. NUMBER OF CIRCUITS AS PER DRAWINGS.
- 2. RESIDENTIAL GRADE PANELS UNACCEPTABLE.
- 3. ALUMINUM BUS WITH NEUTRAL.
- 4. MAINS SUITABLE FOR BOLT-ON BREAKERS.
- 5. TRIM WITH CONCEALED FRONT BOLTS, HINGES AND FLAT STYLE DOOR.
- 6. TRIM AND DOOR BAKED GREY ENAMEL, OF ONE MANUFACTURER.
- 7 CDDINIZIED CHIELD
- 8. NAMEPLATE, LAMIDCOID LABEL SCREWED TO DOOR, INDICATING PANEL DESIGNATION, VOLTAGE, AMPERAGE AND PHASE.
- 9. TYPE WRITTEN, REMOVABLE, CIRCUIT DIRECTORY. DIRECTORY TO INDICATE TYPE OF LOAD AND ASSOCIATED ROOM LOAD.
- 10. STANDARD OF ACCEPTANCE: CUTLER HAMMER POWERLINE
- .1 ACCEPTABLE ALTERNATES: SIEMENS, SQUARE D.

# BREAKERS

- 1. MOLDED CASE BOLT—ON.
- 2. THERMAL AND MAGNETIC TRIPPING.
- 3. PROVIDE LOCK-ON DEVICES FOR 15% OF 15 TO 30 A BREAKERS.

# GROUNDING/ BONDING

- 1. PROVIDE COMPLETE PERMANENT, CONTINUOUS GROUNDING SYSTEM AS REQUIRED BY THE CANADIAN ELECTRICAL CODE AND THE ELECTRICAL INSPECTION DEPARTMENT INCLUDING, CONDUCTORS, CONNECTORS, ACCESSORIES. RUN GROUND WIRE IN ALL CONDUIT SYSTEMS.
- 2. PROVIDE CONNECTORS IN ACCORDANCE WITH MANUFACTURER'S
- instructions.3. PROTECT EXPOSED GROUNDING CONDUCTORS FROM MECHANICAL INJURY.
- 4. USE MECHANICAL CONNECTORS FOR GROUNDING CONNECTIONS TO
- EQUIPMENT PROVIDED WITH LUGS.

  5. SOLDERED JOINTS NOT PERMITTED.
- 6. PROVIDE BONDING WIRE FOR FLEXIBLE CONDUIT, CONNECTED AT BOTH ENDS TO GROUNDING BUSHING, SOLDERLESS LUG, CLAMP OR CUP WASHER AND SCREW.
- 7. MAKE GROUNDING CONNECTIONS IN RADIAL CONFIGURATION ONLY, WITH CONNECTIONS TERMINATING AT SINGLE GROUNDING POINT STREET SIDE OF WATER PIPE. AVOID LOOP CONNECTIONS.

# COMMUNICATIONS

 SUPPLY AND INSTALL COMMUNICATION SYSTEM AS PER ELECTRICAL DRAWINGS.

# TRANSFORMERS 1. ALL TRANSFO

1. ALL TRANSFORMERS TO BE DRY TYPE, GENERAL PURPOSE, NEMA 1 ENCLOSURE, THREE WIRE DELTA PRIMARY, FOUR WIRE WYE SECONDARY. STANDARD OF ACCEPTANCE: HAMMOND POWER SOLUTIONS SENTINEL "G" SERIES.

# UTILITY COORDINATION

1. CONTRACTOR IS RESPONSIBLE FOR ALL COORDINATION WITH POWER AND TELECOMMUNICATIONS UTILITIES. OWNER SHALL PROVIDE NECESSARY PERMISSIONS TO ENABLE SUCH WORK UPON REQUEST TO INITIATE CONTACT WITH ALL RELEVANT UTILITIES IMMEDIATELY UPON CONTRACT AWARD. ALL WORK REQUIRING UTILITY APPROVAL TO BE COORDINATED AND CONFIRMED WITH UTILITY PRIOR TO COMMENCING ANY SUCH WORK. THIS INCLUDES, BUT IS NOT LIMITED TO, METHOD OF ENTRY INTO BUILDING (I.E. O/H OR UNDERGROUND), POLE AND PAD LOCATIONS, TRENCH AND DUCT DETAILS FROM THE UTILITY SYSTEM UP TO THE ELECTRICAL SERVICE ENTRANCE BOARD AND TELECOM BACKBOARD. NOTIFY OWNER'S REPRESENTATIVE IMMEDIATELY IF CURRENT UTILITY REQUIREMENTS DIFFER FROM CONTRACT DETAILS.

powers brown archit ecture

Architectural Consultant: Powers Brown Architecture 354 Water Street, Suite 402 St. John's, NL A1C 1C4 709.726.3941

www.powersbrown.com

# WORKPLACE NL - INTERIOR FIT-OUT

PROJECT ADDRESS

A PROJECT FOR

WORKPLACE NL

PLAN LEGEND

PROJECT TITLE

PROVINCE OF NEWFOUNDLAND AND LABRADOR

PERMIT HOLDER

This Permit Allows

PROFESSIONAL ENGINEERS AND GEOSCIENTISTS

ROWSERIN APPLEBY NEWTON ENGINEERING INC.

To practice Professional Engineering
in Newfoundland and Labrador.

Permit No. as issued by APEGN P0255

which is valid for the year 2024.

MECHANICAL/ELECTRICAL CONSULTANTS



1 Centennial Street Suite 101 Mount Pearl, NL T 709.754.9135

DATE REVISION

**ROWSELL APPLEBY NEWTON** 

1 NOV 6, 2024 ISSUED FOR TENDER

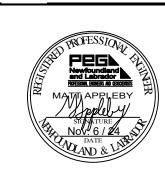
ELECTRICAL
SPECIFICATION
PAGE 2

SEAL

**PROJECT NO**: 24-032

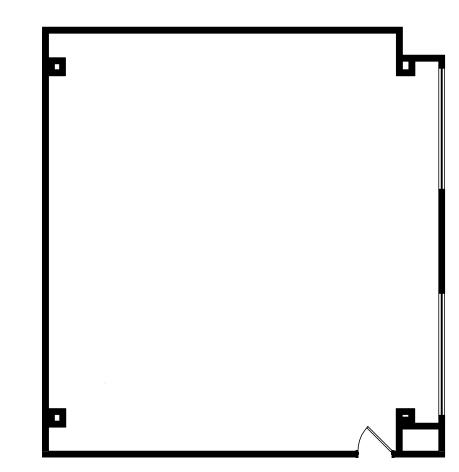
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**DRAWN BY:** JWF, MRA

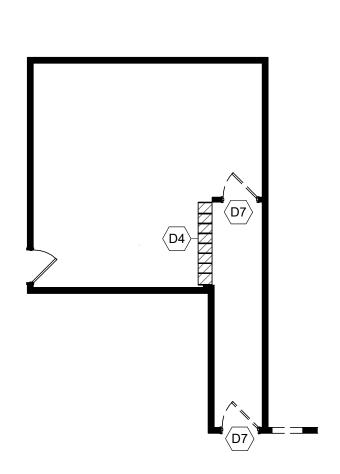


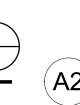
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SHEET NUMBER



TYPICAL IMAGING ROOM - LEVEL 03 - DEMOLITION FLOOR PLAN





A THE INTENT OF THE DEMOLITION DRAWINGS IS TO PROVIDE A GUIDE FOR DEMOLITION IN THE AREA OF WORK. GENERAL CONTRACTOR SHALL PROCEED WITH CAUTION AND INVESTIGATE EXISTING CONDITIONS THROUGHLY BEFORE PROCEEDING WITH ANY WORK. ANY DISCREPANCIES BETWEEN THE ASSUMED AND ACTUAL CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT /

B IF THE DEMOLITION WORK REVEALS CONDITIONS THAT CONFLICT WITH THE PROPOSED NEW WORK, THE GENERAL CONTRACTOR SHALL IMMEDIATELY BRING SUCH MATTERS TO THE ARCHITECT'S / INTERIOR DESIGNER'S ATTENTION FOR RESOLUTION BEFORE PROCEEDING WITH NEW WORK.

C REMOVE ALL ABANDONED CABLING, WIRING, ETC BACK TO SOURCE. ANY WIRING OR CABLING ASSOCAITED WITH ELECTRICAL DEVICES TO BE DEMOLISHED SHALL BE REMOVED BACK TO THE ELECTRICAL PANEL.

D REMOVE ALL EXISTING PLUMBING AS SHOWN AND CAP OFF BACK TO SOURCE ANY AND ALL PLUMBING FIXTURES, DRAINS, ETC NOT BEING REUSED, UNO. DEMOLISH BACK TO SOURCE AND REPLACE

ANY EXISTING PVC PIPING THAT DOES NOT COMPLY WITH CODE.

E PATCH ALL EXISTING SLAB PENETRATIONS WITH FIRE RATED CONCRETE AS REQUIRED FOR ANY PIPING, CONDUIT, ETC THAT IS REMOVED FOR NEW WORK. PREP FOR NEW FINISHES. F ALL EXISTING DOORS SHOWN AS DASHED. INCLUDING FRAMES AND ASSOCIATED HARDWARE, ARE TO BE REMOVED, EXAMINED FOR CONDITION, AND RELOCATED IF INDICATED ON PLANS. RETURN ALL

DOORS THAT ARE IN GOOD CONDITION TO BUILDING STORAGE AT THE DIRECTION OF BUILDING MANAGEMENT IF THEY ARE NOT TO BE REUSED. G ALL EXISTING POWER, TELEPHONE, DATA OUTLETS, AND CONDUITS WITHIN WORK AREA TO BE REMOVED. ALL ELECTRICAL WIRING TO BE REMOVED BACK TO THE PANEL BOARD. ALL ABANDONED DATA

AND TELEPHONE CABLE TO BE REMOVED BACK TO TELE / COMM RACKS.

H ALL EXISTING OUTLETS NEAR SINKS THAT ARE NOT GFI OUTLETS AND DO NOT MEET CURRENT BUILDING CODES ARE TO BE REMOVED UNO. J REMOVE ALL EXISTING FINISHES THROUGHOUT AREA OF WORK AND PREP FOR NEW FINISHES PER MANUFACTURER'S RECOMMENDATIONS. EXISTING FLOORING TO REMAIN WHERE INDICATED TO BE

L GENERAL CONTRACTOR IS TO PROTECT ALL EXISTING CONSTRUCTION TO REMAIN. ANY DAMAGE TO EXISTING ITEMS TO BE REPAIRED AT NO ADDITIONAL COST TO THE TENANT TO LIKE NEW CONDITION. IN ALL AREAS WITH NEW MATERIALS, PARTITIONS, OR PRODUCTS ARE INSTALLED, THE GENERAL CONTRACTOR SHALL PATCH AND FINISH WALLS, FLOORS, CEILINGS, AND AFFECTED AREAS

1524

**GENERAL DEMOLITION NOTES** 

FLASH PATCHED FOR SMOOTH TRANSITION. SEE FINISH PLANS FOR NEW WORK.

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www.powersbrown.com

PROJECT TITLE

# **WORKPLACE NL - INTERIOR FIT-OUT**

148 FOREST ROAD ST. JOHN'S, NL A1A 1E6

A PROJECT FOR

**WORKPLACE NL** 

PLAN LEGE	ND
	NOT IN CONTRACT
	BUILDING CORE ELEMENTS
	EXISTING MILLWORK TO REMAIN
	INDICATES MILLWORK TO BE DEMOLISHED
	EXISTING CONSTRUCTION TO REMAIN
===	EXISTING CONSTRUCTION TO BE DEMOLISHED
	EXISTING DOOR TO REMAIN
	EXISTING DOOR TO BE REMOVED
	EXISTING GYPSUM BOARD TO BE DEMOLISHED

DENOTES DEVICE EXISTING TO REMAIN

DENOTES DEVICE TO BE DEMOLISHED

EXISTING 2X4 CEILING TO REMAIN

EXISTING 2X4 CEILING TO BE DEMOLISHED

DENOTES DEVICE TO BE RELOCATED

# DEMOLITION PLAN NOTES

D2 EXISTING LOCKERS AND WALL NICHE TO BE DEMOLISHED. LOCKERS TO BE STORED AND REUSED AT OWNER DISCRETION. GC TO REPAIR AND REPLACE REMAINING FLOOR AND WALL FINISH

D3 EXISTING ELECTRICAL PANEL TO BE RELOCATED. D4 EXISTING MAILROOM SLOT DISTRIBUTION TO

D5 REMOVE PORTION OF EXISTING WALL TO ACCOMODATE NEW OPENING.

D6 EXISTING DOOR TO BE REMOVED. GC TO INFILL WALL TO MATCH EXISTING CONSTRUCTION.

D7 EXISITING DOOR TO BE REPLACED WITH NEW. D8 EXISITING REFRIGERATOR TO BE STORED AT

OWNERS DISCRETION FOR POTENTIAL REUSE.

$\triangle$	DATE	REVISION						
	2024-08-06	ISSUE FOR PERMIT						
	2024-11-06	ISSUE FOR TENDER						
PROJE	<b>PROJECT NO</b> : 243034							

CHECKED BY: CS, AK SHEET NAME

DRAWN BY: CP, RH

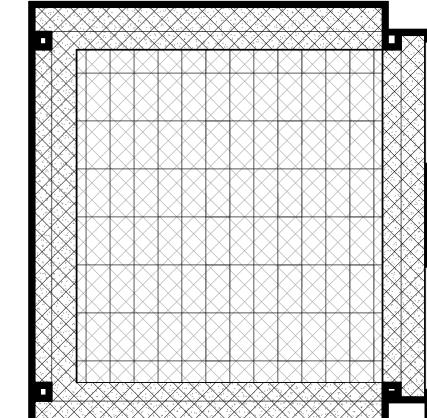
TYPICAL DEMOLITION PLANS

SHEET NUMBER Amanda Alfako Sanabria, NLAA
Expires Dec 31 2024 **AD101** Date: 2024-11-06

A2 TYPICAL SERVICE CENTER - LEVEL 01 - DEMOLITION FLOOR PLAN SCALE: 1/8" = 1'-0"

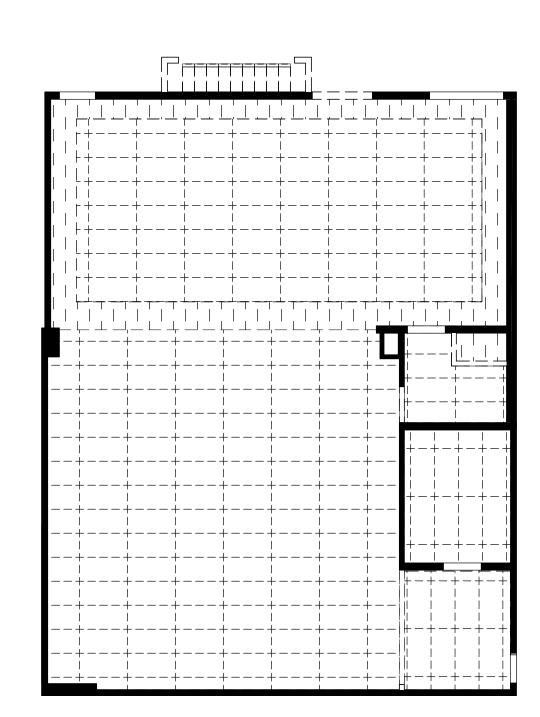
TYPICAL MAIL ROOM - LEVEL 01 - DEMOLITION FLOOR PLAN

SCALE: 1/8" = 1'-0"



C2 TYPICAL IMAGING ROOM - LEVEL 03 - DEMOLITION REFLECTED CEILING PLAN

SCALE: 1/8" = 1'-0"



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PROJECT TITLE

# WORKPLACE NL - INTERIOR FIT-OUT

148 FOREST ROAD ST. JOHN'S, NL A1A 1E6

A PROJECT FOR

**WORKPLACE NL** 

**PLAN LEGEND** NOT IN CONTRACT

EXISTING CONSTRUCTION TO REMAIN EXISTING CONSTRUCTION TO BE DEMOLISHED

EXISTING GYPSUM BOARD TO BE DEMOLISHED

BUILDING CORE ELEMENTS

EXISTING 2X2 CEILING TO BE DEMOLISHED

EXISTING 2X4 CEILING TO BE DEMOLISHED

EXISTING 2X2 CEILING TO REMAIN

GENERAL DEMOLITION CEILING AND LIGHTING NOTES

- REMOVE ALL EXISTING CEILING MOUNTED SMOKE DETECTORS, SPEAKERS, SENSORS, EXIT SIGNS, ETC IN AREA OF WORK AND HOLD FOR POSSIBLE RELOCATION. COORDINATE PROPOSED NEW LOCATIONS WITH CONTRACT DRAWINGS AND BUILDING MANAGEMENT.
- ALL EXISTING LIGHTS ARE TO BE REMOVED AND DISCARDED UNO.
- REMOVE AND DISCARD ALL EXISTING CEILING GRID, TILES, HANGERS, AND GYP BD SOFFITS AND FRAMING AS REQUIRED TO ACHIEVE NEW LAYOUT SHOWN ON THE REFLECTED CEILING PLAN.
- REFER TO DEMOLITION PLANS FOR ADDITIONAL GENERAL NOTES.

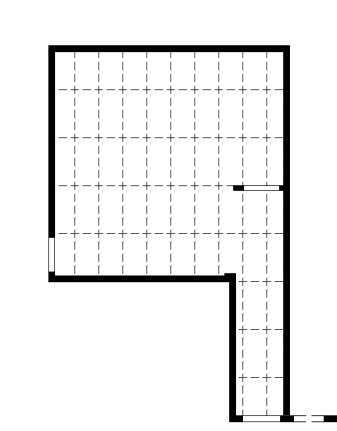
2024-08-06 ISSUE FOR PERMIT 2024-11-06 ISSUE FOR TENDER **PROJECT NO**: 243034

DRAWN BY: CP, RH CHECKED BY: CS,AK SHEET NAME

> TYPICAL DEMOLITION **CEILING PLANS**

Amanda Alfavo Sanabria, NLAA
Expires Dec 31 2024 Date: 2024-11-06

SHEET NUMBER



A2 TYPICAL SERVICE CENTER - LEVEL 01 - DEMOLITION REFLECTED CEILING PLAN

SCALE: 1/8" = 1'-0"

FOR APPLICATION OF FINISHES.

C ALL WALLS TO BE TYPE [P1] UNO.

 $\langle M1 \rangle$ 

**OPEN OFFICE** 

101

102

PRINT ROOM

104

TYPICAL SERVICE CENTER - LEVEL 01 - FINISH PLAN

(2743 mm)

PAC A

BREAKROOM

D FLOAT ALL FLOORING TRANSITIONS AS REQUIRED AT DIFFERENT FLOORING MATERIALS FOR

SMOOTH TRANSITION. FLOAT ALL AS REQUIRED FOR SMOOTH SURFACE. E ALL WALLS WITHIN THE AREA OF WORK, INCLUDING EXISTING WALLS SUCH AS THE BUILDING CORE, COLUMNS, AND EXTERIOR WALLS TO BE TAPED, FLOATED, AND SKIMMED SMOOTH

F ALL WALLS TO BE PAINTED WITH (1) PRIMER COAT PLUS (2) FINISH COATS MINIMUM. G ALL FLOORING TRANSITIONS SHALL OCCUR AT CENTER OF DOORWAYS, UNO. PROVIDE

TRANSITION STRIP AT CENTERLINE FOR DOORWAYS OR CASED OPENINGS BETWEEN H PROVIDE FLOORING TRANSITION MATERIALS AT THE PROFILE AND FINISH AS INDICATED ON

THE FINISH SCHEDULE. FLOAT SLAB AT FINISH TRANSITIONS FOR SMOOTH TRANSITIONS WHICH COMPLY WITH ACCESSIBILITY CODE REQUIREMENTS. J THE GENERAL CONTRACTOR TO FLOAT WALL ALL THE WAY TO FLOOR AS PREP FOR NEW

BASE INSTALLATION. K SEAL ALL STONE AND GROUT PER MANUFACTURER SPECIFICATIONS.

L ALL GROUT LINES SHALL BE NO GREATER THAN 1/16" WIDE. GROUT ALL LOCATIONS. IF MANUFACTURER RECOMMENDS LARGER GROUT SIZE, NOTIFY THE ARCHITECT / INTERIOR DESIGNER FOR APPROVAL PRIOR TO INSTALLING.

M FOR ALL DOOR AND FRAME FINISHES, REFER TO FINISH SCHEDULE AND DOOR AND FRAME SCHEDULE.

GENERAL CONTRACTOR TO PREPARE ALL EXISTING AND NEW WALL SURFACES TO RECEIVE SPECIFIED WALL FINISHES PER MANUFACTURER'S INSTALLATION RECOMMENDATIONS. GENERAL CONTRACTOR TO VERIFY WITH MANUFACTURER THE REQUIRED BACKING FOR ALL FABRICS / WALLCOVERING PRIOR TO ORDERING.

ALL EXPOSED REGISTERS, CONNECTOR UNITS, HEAT PUMPS, GRILLS, AND OTHER FITTINGS TO BE PAINTED WITH SEMI-GLOSS FINISH TO MATCH ADJACENT FINISH.

ALL WALLS TO RECEIVE WALLCOVERING SHALL RECEIVE (1) COAT OF PRIMER / SEALER APPROPRIATE TO SUBSTRATE AND WALLCOVERING.

R ALL EXISTING STAIN GRADE DOORS WITHIN THE WORK AREA SHALL BE PATCHED AND RECEIVE STAIN FINISH TOUCH-UP AS REQUIRED TO MATCH NEW DOORS.

ALL EXISTING AND NEW BUILDING CORE PAINT GRADE DOORS AND DOOR FRAMES WITHIN THE WORK AREA SHALL BE PAINTED WITH SEMI-GLOSS PAINT TO MATCH ADJACENT WALL

T GENERAL CONTRACTOR TO PREPARE EXISTING SLAB FOR INSTALLATION OF FLOOR COVERING IN ACCORDANCE WITH ALL MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS. GENERAL CONTRACTOR TO REMOVE ALL FOREIGN MATTER INCLUDING DIRT, GREASE, WAX, OIL AND/OR PAINT. CRACKS, HOLES, AND DEPRESSIONS SHALL BE FILLED WITH QUALITY GRADE FLASHING.

GENERAL CONTRACTOR TO VERIFY WITH MANUFACTURER THE REQUIRED FINISH / SEALANT AND FLOOR LEVELING FOR ALL FLOORING PRIOR TO ORDERING.

V ALL RUBBER BASE TO BE 1/8" THICKNESS. ALL RUBBER BASE AT CARPETING SHALL BE STRAIGHT STYLE AND COVE STYLE AT ALL OTHER LOCATIONS, UNO.

W AT AREAS WHERE FLUSH BASE IS SPECIFIED, GENERAL CONTRACTOR TO PROVIDE (2) LAYERS OF GYP BD.

### **POWER AND EQUIPMENT PLAN GENERAL NOTES**

- A. ANY DISCREPANCIES BETWEEN THE ARCHITECTURAL POWER PLAN AND ENGINEER'S ELECTRICAL POWER PLAN TO BE BROUGHT TO THE ARCHITECT / INTERIOR DESIGNER
- B. IF AN EXISTING OUTLET IS LOCATED WHERE A NEW OUTLET IS SHOWN, REUSE EXISTING IN LIEU OF ADDING AN OUTLET.

C. ALL OUTLETS AT WET AREAS TO BE GFCI AS REQUIRED.

D. ADD GYP BD FURRING TO COLUMNS AND CORRIDOR WALLS WHEN ADDING NEW

REQUIRED. COORDINATE STAGGERED LOCATIONS WITH TENANT FURNITURE

ELECTRICAL IF REQUIRED TO MAINTAIN EXISTING FIRE RATING. ELECTRICAL, TELEPHONE AND DATA LINES SHOWN IN SOUND RATED PARTITIONS SHALL NOT BE PLACED BACK TO BACK. OFFSET AT LEAST ONE STUD AND SEAL FOR SOUND AS

- . WHEN ADDING FLOOR OUTLETS, ALLOW FOR (2) CORE DRILLS: (1) AT FLOOR OUTLET AND (1) AT WALL LOCATION TO BE DETERMINDED. PROVIDE AND INSTALL CONDUIT FROM FLOOR OUTLET TO ADJACENT WALL WITH PULL STRING, UNO. COORDINATE FLUSH FLOOR ELECTRICAL OUTLET WITH STRUCTURE BELOW AND WITH FURNITURE PLANS. VERIFY THE LOCATION OF ALL CORE DRILL PENETRATIONS WITH ARCHITECT / INTERIOR DESIGNER
- G. GENERAL CONTRACTOR TO PROVIDE PULL STRING AT ALL NEW TELEPHONE / DATA RECETACLE LOCATIONS TO AN ACCESSIBLE CEILING LOCATION. PROVIDE (2) PULL STRINGS AT ALL TELEPHONE/DATA COMBO LOCATIONS. GENERAL CONTRACTOR TO COORDINATE ALL TELEPHONE/DATA WORK WITH TENANT CABLING, SECURITY, AND AV VENDORS.
- H. ALL NEW OUTLETS, SWITCHES, COVER PLATES THAT OCCUR ON STONE, SOLID SURFACE, MILLWORK, GLASS, WOOD PANELING, OR WALLCOVERING TO BE BRUSHED STAINLESS
- STEEL. ALL OTHER COVER PLATES AT PAINTED WALLS TO BE WHITE. J. ALL OUTLETS, SWITCHES, AND STROBES PLACED ABOVE EACH OTHER OR NEXT TO EACH
- OTHER TO BE ALIGNED VERTICALLY OR HORIZONTALLY WITH EACH OTHER ON THE WALL. K. GROUP TOGETHER, AS TIGHT AS POSSIBLE, ALL ELECTRICAL, TELEPHONE, AND DATA
- OUTLETS / RECEPTACLES SHOWN ADJACENT TO EACH OTHER. COORDINATE POWER OUTLET LOCATIONS WITH FURNITURE PLAN AS REQUIRED.
- M. ALL ABOVE COUNTER DEVICES ARE TO BE ORIENTED HORIZONTALLY 42" AFF, UNO. GENERAL CONTRACTOR TO LAY OUT THE LOCATION OF ALL PROPOSED OUTLETS FOR FIELD VERIFICATION BY ARCHITECT / INTERIOR DESIGNER PRIOR TO ACTUAL INSTALLATION OF OUTLETS, DATA, POKE-THROUGHS, AND JUNCTION BOXES, GENERAL CONTRACTOR TO
- REVIEW AND COORDINATE ALL ELECTRICAL DEVICES WITH MILLWORK ITEMS. P. ALL MOUNTING HEIGHTS ARE TO THE CENTERLINE OF THE DEVICE AFF, UNO. ALL THERMOSTATS AND SWITCHES TO BE MOUNTED AT 48" AFF.
- Q. CONFORMANCE OF ALL APPLICABLE CODES SHALL BE THE RESPONSIBILITY OF THE ELECTRICAL ENGINEER AND THE GENERAL CONTRACTOR. ALL ELECTRICAL WORK AND MATERIALS SHALL CONFORM WITH NEC AND OTHER APPLICABLE ORDINANCES. WHEN CONFLICT OCCURS, THE MOST RESTRICTIVE SHALL APPLY.
- R. ALL FURNITURE SIZES AND FURNITURE PLACEMENT ARE SCHEMATIC. EXACT FURNITURE SIZE TO BE COORDINATED WITH TENANT'S FURNITURE VENDOR.
- S. ALL OUTLETS TO BE MOUNTED AT 18" AFF, UNO.

**FLOOR PLAN GENERAL NOTES** 

MUNICIPALITY REQUIREMENTS.

CONSTRUCTION DOCUMENTS.

WITH EXISTING FIRE RATINGS.

EXISTING WALLS TO REMAIN IN PREP OF NEW FINISH.

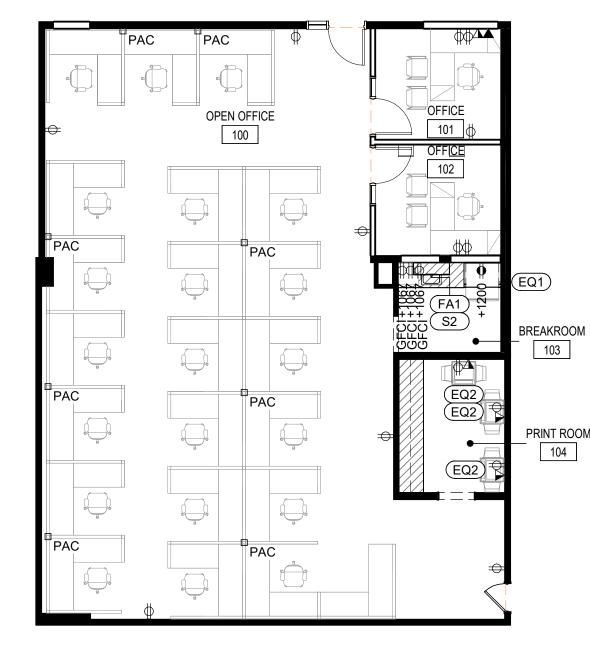
DIMENSIONS SHOWN ARE TO FACE OF FINISH UNO.

WORK PLANS PRIOR TO FRAMING NEW WALLS

OPENING ON THE HINGE SIDE OF DOOR, UNO.

WALLS COMPLY WITH EXISTING FIRE RATING IF APPLICABLE.

TYPES AND DESCRIPTIONS.



# TYPICAL SERVICE CENTER - LEVEL 01 - POWER & EQUIPMENT PLAN

ALL ALTERATIONS TO MEET CURRENT LOCAL ACCESSIBILITY CODES AND CURRENT

THE ARCHITECT / INTERIOR DESIGNER IS NOT RESPONSIBLE FOR ANY ALTERATIONS

GENERAL CONTRACTOR IS TO DETERMINE FIRE RATING OF EXISTING COMPONENTS

REPAIR OR REPLACEMENT OF FIRE RATED WALLS OR FOR ANY NEW PENETRATIONS

SPRAY-APPLIED FIRE PROOFING THAT IS ON EXISTING STRUCTURAL ELEMENTS IF IT

COMPLY WITH UL LISTING REQUIREMENTS FOR THE SYSTEM AND MUST ALSO COMPLY

INTERIOR COLUMN ENCLOSURES AT NEW WALL LOCATIONS AS REQUIRED. FLOAT ALL

ELECTRICAL DEVICES, AS REQUIRED. ENSURE ANY PENETRATIONS IN EXISTING CORE

PROVIDE FIRE RATED BLOCKING IN WALLS AS REQUIRED FOR INSTALLATION OF NEW

IS DISTURBED OR DAMAGED DURING CONSTRUCTION. REPAIR MUST BE DONE TO

ALL NEW WALL PARTITIONS TO BE TYPE 'A3D' UNO. SEE SHEET A601 FOR PARTITION

PATCH / TAPE / FLOAT ALL EXISTING WALLS INCLUDING PERIMETER WALLS AND

PATCH AND REPAIR EXISTING PERIMETER GYP BD SURFACES AT EXTERIOR WALLS

AND INTERIOR COLUMNS. GENERAL CONTRACTOR TO PROVIDE GYP BD FURRING

WALLS AT ALL EXPOSED STRUCTURAL COLUMNS AND CMU BLOCK WALLS UNO.

ADD GYP BD FURRING AT CORE WALLS TO ALLOW FOR INSTALLATION OF NEW

MILLWORK, FLAT PANEL DISPLAYS AND EQUIPMENT, SHELVING, ETC. GENERAL

ALL NEW FLOOR PENETRATIONS SHOULD BE FIRE CAULKED TO COMPLY WITH UL REQUIREMENTS FOR PENETRATIONS IN ANY FLOOR SLABS. PREP FOR NEW FINISHES.

GENERAL CONTACTOR TO COORDINATE ADEQUATE TIME FOR ARCHITECT / INTERIOR

INSTALLATION OF METAL FRAMING. GENERAL CONTRACTOR TO NOTIFY ARCHITECT /

INTERIOR DESIGNER OF ALL CONFLICTS BETWEEN EXISTING CONDITIONS AND NEW

ALL NEW DOORS SHALL BE 4" FROM FINISH FACE OF WALL TO INSIDE EDGE OF DOOR

REFER TO SHEET A602 FOR DOOR SCHEDULE, DOOR TYPES, AND HARDWARE

DESIGNER APPROVAL OF PARTITION LAYOUT FOR DIMENSIONAL ACCURACY PRIOR TO

PLANS, ELEVATIONS, DETAILS, AND MANUFACTURER'S REQUIREMENTS.

ALL DIMENSIONS AND ALIGNMENTS SHOWN TO BE VERIFIED IN FIELD. ALL

CONTRACTOR TO COORDINATE ALL BLOCKING REQUIREMENTS WITH THE POWER

IN FIRE RATED COMPONENTS. GENERAL CONTRACTOR IS TO NOTIFY THE ARCHITECT /

AND MATCH FIRE RATING AS REQUIRED FOR ANY NEW WORK. WHICH INCLUDES

MADE WITHOUT PRIOR APPROVAL FROM THE GOVERNING AUTHORITY.

INTERIOR DESIGNER IMMEDIATELY IF ANY FIRE RATED COMPONENTS ARE

GENERAL CONTRACTOR IS RESPONSIBLE FOR PATCHING AND REPAIRING ANY

UNCOVERED DURING DEMOLITION THAT WERE NOT IDENTIFIED ON THE

DUPLEX OUTLET - 110V, WALL MOUNTED DUPLEX OUTLET (DEDICATED) - 110V, WALL MOUNTED

2' X 2' DIRECT/INDIRECT

NOTE: FOR EQUIPMENT - SEE MFR REQ DATA / TELEPHONE OUTLET - WALL

MOUNTED NOTE: PROVIDE RING AND STRING POWER AND COMMUNICATIONS POLE, DUAL PAC CHANNEL, FROM CEILING TO INTO SYSTEMS

FURNITURE. CARPET TILE

powers

brown

archit

ecture

ROJECT TITLE

PLAN LEGEND

Architectural Consultant:

St. John's, NL A1C 1C4

www.powersbrown.com

354 Water Street,

Suite 402

**WORKPLACE NL - INTERIOR** 

FIT-OUT

ST. JOHN'S, NL A1A 1E6

A PROJECT FOR

WORKPLACE NL

**BUILDING CORE ELEMENTS** 

INDICATES NEW MILLWORK

EXISTING CONSTRUCTION TO REMAIN

EXISTING DOOR TO REMAIN

SUSPENDED 2' X 2' CEILING

EXISTING 2' X 4' CEILING TO REMAIN

INDICATES EXISTING MILLWORK TO REMAIN

NOT IN CONTRACT

NEW CONSTRUCTION

NEW DOOR

(2600mm) CEILING HEIGHT SYMBOL

709.726.3941

Powers Brown Architecture

A1 NEW DRYWALL TO BE INSTALLED.

L1 INSTALL CEILING TILES TO MATCH EXISITING

M1 INSTALL FINISHED FLOOR TO MATCH EXISTING. NEW DRYWALL PAINTED TO MATCH EXISTING.

$\triangle$	DATE	REVISION
	2024-08-06	ISSUE FOR PERMIT
	2024-11-06	ISSUE FOR TENDER

**PROJECT NO**: 243034 DRAWN BY: CP, RH CHECKED BY: CS.AK

SHEET NAME

TYPICAL SERVICE CENTER PLANS

WOLAND AND LA MEMBER Amanda Alfand Sanabria, NLAA Expires Dec 31 2024 Date: 2024-11-06 ED TO PR -YATION OF

SHEET NUMBER

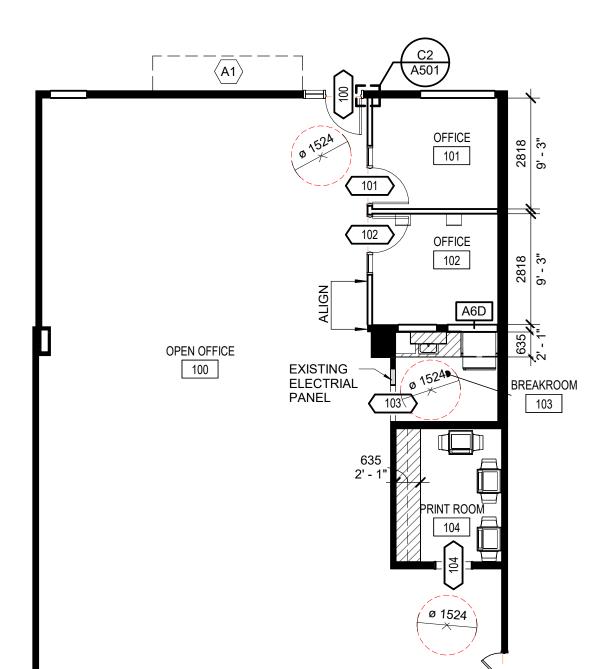


- A. GENERAL CONTRACTOR TO FURNISH IN QUANTITY AND TYPE ALL LIGHT FIXTURES, DIFFUSERS, GRILLS, ETC AS SHOWN ON BOTH THE MECHANICAL, ELECTRICAL, AND ARCHITECTURAL CEILING PLANS. ANY OMISSION FROM ONE PLAN TO THE OTHER SHOULD NOT BE CONSTRUED TO MEAN AN OMISSION FROM THE CONTRACT. GENERAL CONTRACTOR TO BRING ANY DISCREPANCIES IN QUANTITY OR SPACING OF FIXTURES TO THE ATTENTION OF THE DESIGN TEAM PRIOR TO ORDERING OR INSTALLING ANY LIGHT FIXTURES OR MECHANICAL ITEMS.
- B. ALL MULTIPLE SWITCHES TO BE BANKED WITH (1) COVER PLATE.
- C. ALL LIGHT SWITCHING AND ANY REQUIRED DAYLIGHT HARVESTING MUST BE COORDINATED WITH LOCAL ENERGY CODES AND DESIGNED BY THE ELECTRICAL D. ALL FIRE ALARM AND VISUAL ALARM REQUIREMENTS SHOULD BE COORDINATED WITH
- FIRE PROTECTION CONSULTANTS TO CONFIRM INSTALLATION REQUIREMENTS AND COMPLIANCE WITH LOCAL BUILDING CODES. E. GENERAL CONTRACTOR TO VERIFY AVAILABLE CEILING PLENUM HEIGHT BASED ON ELEVATIONS OF DUCTWORK, SPRINKLER LINES, AND CONDUIT LOCATIONS. CONFIRM LIGHT FIXTURE HEIGHT WITH AVAILABLE PLENUM SPACE PRIOR TO COMMENCING
- F. ALL RECESSED LIGHTS ARE TO BE CENTERED ON THE CEILING TILE IN BOTH DIRECTIONS

CEILING FRAMING. GENERAL CONTRACTOR TO NOTIFY ARCHITECT / INTERIOR DESIGNER

- G. GENERAL CONTRACTOR TO COORDINATE COMPATIBILITY OF ALL LIGHT FIXTURE TRIMS AND MECHANICAL DIFFUSERS AND GRILLS WITH SPECIFIED CEILING GRID OR OTHER CEILING TYPES PRIOR TO ORDERING.
- REFER TO ARCHITECTURAL CEILING PLAN FOR LOCATION AND ORIENTATION OF ALL LIGHT FIXTURES. REFER TO ARCHITECTURAL LIGHT FIXTURE SCHEDULES FOR FIXTURE
- J. REFER TO MECHANICAL & ELECTRICAL DRAWINGS FOR EXIT LIGHTS, EMERGENCY LIGHTS, SMOKE DETECTORS, FIRE ALARM PULL STATIONS, AND OTHER LIFE SAFETY DEVICE LOCATIONS AND INFORMATION.
- K. GENERAL CONTRACTOR TO OBTAIN APPROVAL FROM THE ARCHITECT / INTERIOR DESIGNER ON ANY LIGHTING FIXTURE SUBSTITUTIONS PROPOSED PRIOR TO BIDDING AND ORDERING ANY FIXTURES.
- L. ALL NEW SUSPENDED CEILING GRID SHALL BE CENTERED IN ALL CLOSED ROOMS UNO.
- M. ALL CEILING HEIGHTS TO BE 9'-0" AFF UNO.
- N. ALL CEILINGS TO BE TYPE [C1] UNO.

OF ALL LIGHT FIXTURE CONFLICTS.



TYPICAL SERVICE CENTER - LEVEL 01 - REFLECTED CEILING PLAN

TYPICAL SERVICE CENTER - LEVEL 01 - FLOOR PLAN

C ALL WALLS TO BE TYPE [P1] UNO. FLOAT ALL FLOORING TRANSITIONS AS REQUIRED AT DIFFERENT FLOORING MATERIALS

FOR SMOOTH TRANSITION. FLOAT ALL AS REQUIRED FOR SMOOTH SURFACE. E ALL WALLS WITHIN THE AREA OF WORK, INCLUDING EXISTING WALLS SUCH AS THE

BUILDING CORE, COLUMNS, AND EXTERIOR WALLS TO BE TAPED, FLOATED, AND SKIMMED SMOOTH FOR APPLICATION OF FINISHES.

F ALL WALLS TO BE PAINTED WITH (1) PRIMER COAT PLUS (2) FINISH COATS MINIMUM.

G ALL FLOORING TRANSITIONS SHALL OCCUR AT CENTER OF DOORWAYS, UNO. PROVIDE TRANSITION STRIP AT CENTERLINE FOR DOORWAYS OR CASED OPENINGS BETWEEN

H PROVIDE FLOORING TRANSITION MATERIALS AT THE PROFILE AND FINISH AS INDICATED ON THE FINISH SCHEDULE. FLOAT SLAB AT FINISH TRANSITIONS FOR SMOOTH TRANSITIONS WHICH COMPLY WITH ACCESSIBILITY CODE REQUIREMENTS.

J THE GENERAL CONTRACTOR TO FLOAT WALL ALL THE WAY TO FLOOR AS PREP FOR NEW BASE INSTALLATION.

K SEAL ALL STONE AND GROUT PER MANUFACTURER SPECIFICATIONS.

ALL GROUT LINES SHALL BE NO GREATER THAN 1/16" WIDE. GROUT ALL LOCATIONS. IF MANUFACTURER RECOMMENDS LARGER GROUT SIZE, NOTIFY THE ARCHITECT / INTERIOR DESIGNER FOR APPROVAL PRIOR TO INSTALLING.

M FOR ALL DOOR AND FRAME FINISHES, REFER TO FINISH SCHEDULE AND DOOR AND FRAME SCHEDULE.

GENERAL CONTRACTOR TO PREPARE ALL EXISTING AND NEW WALL SURFACES TO RECEIVE SPECIFIED WALL FINISHES PER MANUFACTURER'S INSTALLATION RECOMMENDATIONS. GENERAL CONTRACTOR TO VERIFY WITH MANUFACTURER THE REQUIRED BACKING FOR ALL FABRICS / WALLCOVERING PRIOR TO ORDERING.

ALL EXPOSED REGISTERS. CONNECTOR UNITS. HEAT PUMPS. GRILLS. AND OTHER FITTINGS TO BE PAINTED WITH SEMI-GLOSS FINISH TO MATCH ADJACENT FINISH.

Q ALL WALLS TO RECEIVE WALLCOVERING SHALL RECEIVE (1) COAT OF PRIMER / SEALER APPROPRIATE TO SUBSTRATE AND WALLCOVERING.

R ALL EXISTING STAIN GRADE DOORS WITHIN THE WORK AREA SHALL BE PATCHED AND RECEIVE STAIN FINISH TOUCH-UP AS REQUIRED TO MATCH NEW DOORS.

ALL EXISTING AND NEW BUILDING CORE PAINT GRADE DOORS AND DOOR FRAMES WITHIN THE WORK AREA SHALL BE PAINTED WITH SEMI-GLOSS PAINT TO MATCH ADJACENT WALL

GENERAL CONTRACTOR TO PREPARE EXISTING SLAB FOR INSTALLATION OF FLOOR COVERING IN ACCORDANCE WITH ALL MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS. GENERAL CONTRACTOR TO REMOVE ALL FOREIGN MATTER INCLUDING DIRT, GREASE, WAX, OIL AND/OR PAINT. CRACKS, HOLES, AND DEPRESSIONS SHALL BE FILLED WITH QUALITY GRADE FLASHING.

GENERAL CONTRACTOR TO VERIFY WITH MANUFACTURER THE REQUIRED FINISH / SEALANT AND FLOOR LEVELING FOR ALL FLOORING PRIOR TO ORDERING.

V ALL RUBBER BASE TO BE 1/8" THICKNESS. ALL RUBBER BASE AT CARPETING SHALL BE STRAIGHT STYLE AND COVE STYLE AT ALL OTHER LOCATIONS, UNO.

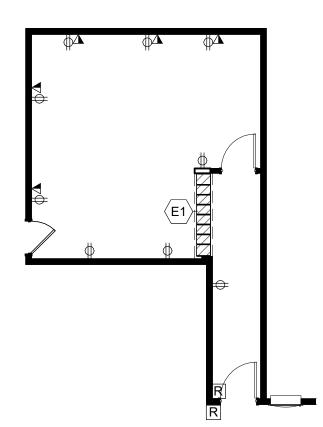
W AT AREAS WHERE FLUSH BASE IS SPECIFIED, GENERAL CONTRACTOR TO PROVIDE (2) LAYERS OF GYP BD.

#### POWER AND EQUIPMENT PLAN GENERAL NOTES

- A ANY DISCREPANCIES BETWEEN THE ARCHITECTURAL POWER PLAN AND ENGINEER'S ELECTRICAL POWER PLAN TO BE BROUGHT TO THE ARCHITECT / INTERIOR DESIGNER PRIOR
- B IF AN EXISTING OUTLET IS LOCATED WHERE A NEW OUTLET IS SHOWN, REUSE EXISTING IN LIEU OF ADDING AN OUTLET.
- C ALL OUTLETS AT WET AREAS TO BE GFCI AS REQUIRED.
- D ADD GYP BD FURRING TO COLUMNS AND CORRIDOR WALLS WHEN ADDING NEW ELECTRICAL IF REQUIRED TO MAINTAIN EXISTING FIRE RATING.
- E ELECTRICAL, TELEPHONE AND DATA LINES SHOWN IN SOUND RATED PARTITIONS SHALL NOT BE PLACED BACK TO BACK. OFFSET AT LEAST ONE STUD AND SEAL FOR SOUND AS REQUIRED. COORDINATE STAGGERED LOCATIONS WITH TENANT FURNITURE.
- WHEN ADDING FLOOR OUTLETS, ALLOW FOR (2) CORE DRILLS: (1) AT FLOOR OUTLET AND (1) AT WALL LOCATION TO BE DETERMINDED. PROVIDE AND INSTALL CONDUIT FROM FLOOR OUTLET TO ADJACENT WALL WITH PULL STRING, UNO. COORDINATE FLUSH FLOOR ELECTRICAL OUTLET WITH STRUCTURE BELOW AND WITH FURNITURE PLANS. VERIFY THE LOCATION OF ALL CORE DRILL PENETRATIONS WITH ARCHITECT / INTERIOR DESIGNER PRIOR
- G GENERAL CONTRACTOR TO PROVIDE PULL STRING AT ALL NEW TELEPHONE / DATA RECETACLE LOCATIONS TO AN ACCESSIBLE CEILING LOCATION. PROVIDE (2) PULL STRINGS AT ALL TELEPHONE/DATA COMBO LOCATIONS. GENERAL CONTRACTOR TO COORDINATE ALL TELEPHONE/DATA WORK WITH TENANT CABLING, SECURITY, AND AV VENDORS.
- H ALL NEW OUTLETS, SWITCHES, COVER PLATES THAT OCCUR ON STONE, SOLID SURFACE, MILLWORK, GLASS, WOOD PANELING, OR WALLCOVERING TO BE BRUSHED STAINLESS STEEL. ALL OTHER COVER PLATES AT PAINTED WALLS TO BE WHITE.
- ALL OUTLETS, SWITCHES, AND STROBES PLACED ABOVE EACH OTHER OR NEXT TO EACH OTHER TO BE ALIGNED VERTICALLY OR HORIZONTALLY WITH EACH OTHER ON THE WALL.
- GROUP TOGETHER, AS TIGHT AS POSSIBLE, ALL ELECTRICAL, TELEPHONE, AND DATA OUTLETS / RECEPTACLES SHOWN ADJACENT TO EACH OTHER.
- COORDINATE POWER OUTLET LOCATIONS WITH FURNITURE PLAN AS REQUIRED.
- M ALL ABOVE COUNTER DEVICES ARE TO BE ORIENTED HORIZONTALLY 42" AFF, UNO. N GENERAL CONTRACTOR TO LAY OUT THE LOCATION OF ALL PROPOSED OUTLETS FOR FIELD VERIFICATION BY ARCHITECT / INTERIOR DESIGNER PRIOR TO ACTUAL INSTALLATION OF OUTLETS, DATA, POKE-THROUGHS, AND JUNCTION BOXES. GENERAL CONTRACTOR TO
- P ALL MOUNTING HEIGHTS ARE TO THE CENTERLINE OF THE DEVICE AFF, UNO. ALL THERMOSTATS AND SWITCHES TO BE MOUNTED AT 48" AFF.

REVIEW AND COORDINATE ALL ELECTRICAL DEVICES WITH MILLWORK ITEMS.

- Q CONFORMANCE OF ALL APPLICABLE CODES SHALL BE THE RESPONSIBILITY OF THE ELECTRICAL ENGINEER AND THE GENERAL CONTRACTOR. ALL ELECTRICAL WORK AND MATERIALS SHALL CONFORM WITH NEC AND OTHER APPLICABLE ORDINANCES. WHEN CONFLICT OCCURS, THE MOST RESTRICTIVE SHALL APPLY.
- R ALL FURNITURE SIZES AND FURNITURE PLACEMENT ARE SCHEMATIC. EXACT FURNITURE SIZE TO BE COORDINATED WITH TENANT'S FURNITURE VENDOR.
- S. ALL OUTLETS TO BE MOUNTED AT 18" AFF, UNO.



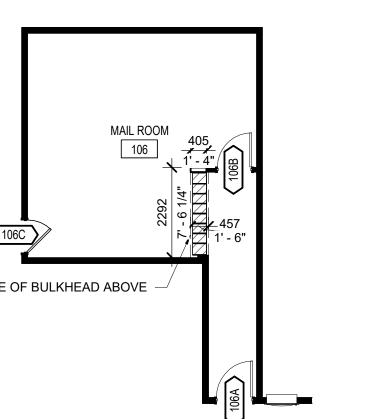






SCHEDULE.

- A ALL ALTERATIONS TO MEET CURRENT LOCAL ACCESSIBILITY CODES AND CURRENT MUNICIPALITY REQUIREMENTS.
- B THE ARCHITECT / INTERIOR DESIGNER IS NOT RESPONSIBLE FOR ANY ALTERATIONS MADE WITHOUT PRIOR APPROVAL FROM THE GOVERNING AUTHORITY.
- GENERAL CONTRACTOR IS TO DETERMINE FIRE RATING OF EXISTING COMPONENTS AND MATCH FIRE RATING AS REQUIRED FOR ANY NEW WORK, WHICH INCLUDES REPAIR OR REPLACEMENT OF FIRE RATED WALLS OR FOR ANY NEW PENETRATIONS IN FIRE RATED. COMPONENTS. GENERAL CONTRACTOR IS TO NOTIFY THE ARCHITECT / INTERIOR DESIGNER IMMEDIATELY IF ANY FIRE RATED COMPONENTS ARE UNCOVERED DURING DEMOLITION THAT WERE NOT IDENTIFIED ON THE CONSTRUCTION DOCUMENTS.
- D GENERAL CONTRACTOR IS RESPONSIBLE FOR PATCHING AND REPAIRING ANY SPRAY-APPLIED FIRE PROOFING THAT IS ON EXISTING STRUCTURAL ELEMENTS IF IT IS DISTURBED OR DAMAGED DURING CONSTRUCTION. REPAIR MUST BE DONE TO COMPLY WITH UL LISTING REQUIREMENTS FOR THE SYSTEM AND MUST ALSO COMPLY WITH
- E ALL NEW WALL PARTITIONS TO BE TYPE 'A3D' UNO. SEE SHEET A601 FOR PARTITION TYPES
- F PATCH / TAPE / FLOAT ALL EXISTING WALLS INCLUDING PERIMETER WALLS AND INTERIOR COLUMN ENCLOSURES AT NEW WALL LOCATIONS AS REQUIRED. FLOAT ALL EXISTING WALLS TO REMAIN IN PREP OF NEW FINISH.
- G PATCH AND REPAIR EXISTING PERIMETER GYP BD SURFACES AT EXTERIOR WALLS AND INTERIOR COLUMNS. GENERAL CONTRACTOR TO PROVIDE GYP BD FURRING WALLS AT ALL EXPOSED STRUCTURAL COLUMNS AND CMU BLOCK WALLS UNO.
- H ADD GYP BD FURRING AT CORE WALLS TO ALLOW FOR INSTALLATION OF NEW ELECTRICAL DEVICES, AS REQUIRED. ENSURE ANY PENETRATIONS IN EXISTING CORE WALLS COMPLY WITH EXISTING FIRE RATING IF APPLICABLE.
- J PROVIDE FIRE RATED BLOCKING IN WALLS AS REQUIRED FOR INSTALLATION OF NEW MILLWORK, FLAT PANEL DISPLAYS AND EQUIPMENT, SHELVING, ETC. GENERAL CONTRACTOR TO COORDINATE ALL BLOCKING REQUIREMENTS WITH THE POWER PLANS. ELEVATIONS, DETAILS, AND MANUFACTURER'S REQUIREMENTS.
- K ALL DIMENSIONS AND ALIGNMENTS SHOWN TO BE VERIFIED IN FIELD. ALL DIMENSIONS SHOWN ARE TO FACE OF FINISH UNO.
- L ALL NEW FLOOR PENETRATIONS SHOULD BE FIRE CAULKED TO COMPLY WITH UL REQUIREMENTS FOR PENETRATIONS IN ANY FLOOR SLABS. PREP FOR NEW FINISHES.
- M GENERAL CONTRACTOR TO COORDINATE ADEQUATE TIME FOR ARCHITECT / INTERIOR DESIGNER APPROVAL OF PARTITION LAYOUT FOR DIMENSIONAL ACCURACY PRIOR TO INSTALLATION OF METAL FRAMING. GENERAL CONTRACTOR TO NOTIFY ARCHITECT / INTERIOR DESIGNER OF ALL CONFLICTS BETWEEN EXISTING CONDITIONS AND NEW WORK
- N ALL NEW DOORS SHALL BE 4" FROM FINISH FACE OF WALL TO INSIDE EDGE OF DOOR



PLANS PRIOR TO FRAMING NEW WALLS. OPENING ON THE HINGE SIDE OF DOOR, UNO. P REFER TO SHEET A602 FOR DOOR SCHEDULE, DOOR TYPES, AND FOR HARDWARE

TYPICAL MAIL ROOM PLANS

powers

brown

archit

ecture

ROJECT TITLE

PLAN LEGEND

Architectural Consultant:

St. John's, NL A1C 1C4

www.powersbrown.com

354 Water Street,

Suite 402

**WORKPLACE NL - INTERIOR** 

FIT-OUT

148 FOREST ROAD

ST. JOHN'S, NL A1A 1E6

A PROJECT FOR

WORKPLACE NL

NOT IN CONTRACT

NEW CONSTRUCTION

**NEW DOOR** 

CARPET TILE

(2600mm) CEILING HEIGHT SYMBOL

DOOR RELEASE

REMAIN.

2' X 2' DIRECT/INDIRECT

BY SECURITY VENDOR

E1 EXISTING MAILROOM SLOT DISTRIBUTION TO

2024-08-06 ISSUE FOR PERMIT

2024-11-06 ISSUE FOR TENDER

DUPLEX OUTLET - 110V, WALL MOUNTED

MOUNTED NOTE: PROVIDE RING AND STRING

NOTE: FACE PLATE / WIRING CONNECTION

REVISION

DATA / TELEPHONE OUTLET - WALL

**BUILDING CORE ELEMENTS** 

INDICATES NEW MILLWORK

EXISTING CONSTRUCTION TO REMAIN

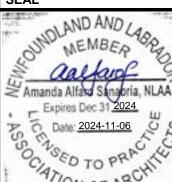
EXISTING DOOR TO REMAIN

SUSPENDED 2' X 2' CEILING

INDICATES EXISTING MILLWORK TO REMAIN

709.726.3941

Powers Brown Architecture



**PROJECT NO**: 243034

**DRAWN BY:** CP, RH

CHECKED BY: CS, AK

SHEET NAME

1702 mm

TYPICAL MAIL ROOM - LEVEL 01 - FINISH PLAN

**REFLECTED CEILING PLAN GENERAL NOTES** 

- GENERAL CONTRACTOR TO FURNISH IN QUANTITY AND TYPE ALL LIGHT FIXTURES, DIFFUSERS, GRILLS, ETC AS SHOWN ON BOTH THE MECHANICAL, ELECTRICAL, AND ARCHITECTURAL CEILING PLANS. ANY OMISSION FROM ONE PLAN TO THE OTHER SHOULD NOT BE CONSTRUED TO MEAN AN OMISSION FROM THE CONTRACT, GENERAL CONTRACTOR TO BRING ANY DISCREPANCIES IN QUANTITY OR SPACING OF FIXTURES TO THE ATTENTION OF THE DESIGN TEAM PRIOR TO ORDERING OR INSTALLING ANY LIGHT FIXTURES OR MECHANICAL ITEMS.
- B ALL MULTIPLE SWITCHES TO BE BANKED WITH (1) COVER PLATE.
- C ALL LIGHT SWITCHING AND ANY REQUIRED DAYLIGHT HARVESTING MUST BE COORDINATED WITH LOCAL ENERGY CODES AND DESIGNED BY THE ELECTRICAL ENGINEER.
- D ALL FIRE ALARM AND VISUAL ALARM REQUIREMENTS SHOULD BE COORDINATED WITH FIRE PROTECTION CONSULTANTS TO CONFIRM INSTALLATION REQUIREMENTS AND COMPLIANCE WITH LOCAL BUILDING CODES.
- E GENERAL CONTRACTOR TO VERIFY AVAILABLE CEILING PLENUM HEIGHT BASED ON ELEVATIONS OF DUCTWORK, SPRINKLER LINES, AND CONDUIT LOCATIONS. CONFIRM LIGHT FIXTURE HEIGHT WITH AVAILABLE PLENUM SPACE PRIOR TO COMMENCING CEILING FRAMING. GENERAL CONTRACTOR TO NOTIFY ARCHITECT / INTERIOR DESIGNER OF ALL LIGHT FIXTURE CONFLICTS.
- F ALL RECESSED LIGHTS ARE TO BE CENTERED ON THE CEILING TILE IN BOTH DIRECTIONS UNO.
- G GENERAL CONTRACTOR TO COORDINATE COMPATIBILITY OF ALL LIGHT FIXTURE TRIMS AND MECHANICAL DIFFUSERS AND GRILLS WITH SPECIFIED CEILING GRID OR OTHER CEILING TYPES PRIOR TO ORDERING.
- H REFER TO ARCHITECTURAL CEILING PLAN FOR LOCATION AND ORIENTATION OF ALL LIGHT FIXTURES. REFER TO ARCHITECTURAL LIGHT FIXTURE SCHEDULES FOR FIXTURE FINISHES.
- REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR EXIT LIGHTS, EMERGENCY LIGHTS, SMOKE DETECTORS, FIRE ALARM PULL STATIONS, AND OTHER LIFE SAFETY DEVICE LOCATIONS
- L ALL NEW SUSPENDED CEILING GRID SHALL BE CENTERED IN ALL CLOSED ROOMS UNO.
- M ALL CEILING HEIGHTS TO BE 8'-0" AFF UNO.
- N ALL CEILINGS TO BE TYPE [C1] UNO.

TYPICAL MAIL ROOM - LEVEL 01 - RELFECTED CEILING PLAN

A2 TYPICAL MAIL ROOM - LEVEL 01 - FLOOR PLAN

SCALE: 1/8" = 1'-0"

K GENERAL CONTRACTOR TO OBTAIN APPROVAL FROM THE ARCHITECT / INTERIOR DESIGNER ON ANY LIGHTING FIXTURE SUBSTITUTIONS PROPOSED PRIOR TO BIDDING AND ORDERING ANY

LINE OF BULKHEAD ABOVE

**SHEET NUMBER** 

C ALL WALLS TO BE TYPE [P1] UNO. D FLOAT ALL FLOORING TRANSITIONS AS REQUIRED AT DIFFERENT FLOORING MATERIALS FOR SMOOTH TRANSITION. FLOAT ALL AS REQUIRED FOR SMOOTH SURFACE.

E ALL WALLS WITHIN THE AREA OF WORK, INCLUDING EXISTING WALLS SUCH AS THE BUILDING CORE, COLUMNS, AND EXTERIOR WALLS TO BE TAPED, FLOATED, AND SKIMMED SMOOTH FOR APPLICATION OF FINISHES.

F ALL WALLS TO BE PAINTED WITH (1) PRIMER COAT PLUS (2) FINISH COATS MINIMUM.

G ALL FLOORING TRANSITIONS SHALL OCCUR AT CENTER OF DOORWAYS, UNO. PROVIDE TRANSITION STRIP AT CENTERLINE FOR DOORWAYS OR CASED OPENINGS BETWEEN

H PROVIDE FLOORING TRANSITION MATERIALS AT THE PROFILE AND FINISH AS INDICATED ON THE FINISH SCHEDULE. FLOAT SLAB AT FINISH TRANSITIONS FOR SMOOTH TRANSITIONS WHICH COMPLY WITH ACCESSIBILITY CODE REQUIREMENTS.

J THE GENERAL CONTRACTOR TO FLOAT WALL ALL THE WAY TO FLOOR AS PREP FOR NEW BASE INSTALLATION.

K SEAL ALL STONE AND GROUT PER MANUFACTURER SPECIFICATIONS. L ALL GROUT LINES SHALL BE NO GREATER THAN 1/16" WIDE. GROUT ALL LOCATIONS. IF MANUFACTURER RECOMMENDS LARGER GROUT SIZE, NOTIFY THE ARCHITECT / INTERIOR

DESIGNER FOR APPROVAL PRIOR TO INSTALLING.

M FOR ALL DOOR AND FRAME FINISHES, REFER TO FINISH SCHEDULE AND DOOR AND FRAME

N GENERAL CONTRACTOR TO PREPARE ALL EXISTING AND NEW WALL SURFACES TO RECEIVE SPECIFIED WALL FINISHES PER MANUFACTURER'S INSTALLATION RECOMMENDATIONS. GENERAL CONTRACTOR TO VERIFY WITH MANUFACTURER THE REQUIRED BACKING FOR ALL

FABRICS / WALLCOVERING PRIOR TO ORDERING. P ALL EXPOSED REGISTERS, CONNECTOR UNITS, HEAT PUMPS, GRILLS, AND OTHER FITTINGS TO BE PAINTED WITH SEMI-GLOSS FINISH TO MATCH ADJACENT FINISH.

Q ALL WALLS TO RECEIVE WALLCOVERING SHALL RECEIVE (1) COAT OF PRIMER / SEALER APPROPRIATE TO SUBSTRATE AND WALLCOVERING.

R ALL EXISTING STAIN GRADE DOORS WITHIN THE WORK AREA SHALL BE PATCHED AND RECEIVE STAIN FINISH TOUCH-UP AS REQUIRED TO MATCH NEW DOORS.

S ALL EXISTING AND NEW BUILDING CORE PAINT GRADE DOORS AND DOOR FRAMES WITHIN THE WORK AREA SHALL BE PAINTED WITH SEMI-GLOSS PAINT TO MATCH ADJACENT WALL

T GENERAL CONTRACTOR TO PREPARE EXISTING SLAB FOR INSTALLATION OF FLOOR COVERING IN ACCORDANCE WITH ALL MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS. GENERAL CONTRACTOR TO REMOVE ALL FOREIGN MATTER INCLUDING DIRT, GREASE, WAX, OIL AND/OR PAINT. CRACKS, HOLES, AND DEPRESSIONS SHALL BE FILLED WITH QUALITY GRADE FLASHING.

U GENERAL CONTRACTOR TO VERIFY WITH MANUFACTURER THE REQUIRED FINISH / SEALANT AND FLOOR LEVELING FOR ALL FLOORING PRIOR TO ORDERING.

V ALL RUBBER BASE TO BE 1/8" THICKNESS. ALL RUBBER BASE AT CARPETING SHALL BE STRAIGHT STYLE AND COVE STYLE AT ALL OTHER LOCATIONS, UNO.

W AT AREAS WHERE FLUSH BASE IS SPECIFIED, GENERAL CONTRACTOR TO PROVIDE (2) LAYERS OF GYP BD.

#### POWER AND EQUIPMENT PLAN GENERAL NOTES

- A. ANY DISCREPANCIES BETWEEN THE ARCHITECTURAL POWER PLAN AND ENGINEER'S ELECTRICAL POWER PLAN TO BE BROUGHT TO THE ARCHITECT / INTERIOR DESIGNER
- B. IF AN EXISTING OUTLET IS LOCATED WHERE A NEW OUTLET IS SHOWN, REUSE EXISTING IN

powers

brown

archit

ecture

PROJECT TITLE

PLAN LEGEND

Architectural Consultant:

St. John's, NL A1C 1C4

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354 Water Street,

Suite 402

**WORKPLACE NL - INTERIOR** 

FIT-OUT

148 FOREST ROAD

ST. JOHN'S, NL A1A 1E6

A PROJECT FOR

WORKPLACE NL

NOT IN CONTRACT

NEW CONSTRUCTION

**NEW DOOR** 

(2600mm) CEILING HEIGHT SYMBOL

WALL MOUNTED

FURNITURE.

CARPET TILE

2024-08-06 ISSUE FOR PERMIT

**PROJECT NO**: 243034

**DRAWN BY:** JM, CP

CHECKED BY: CS, AK

SHEET NAME

2024-11-06 ISSUE FOR TENDER

TYPICAL IMAGING ROOM

**PLANS** 

2' X 2' DIRECT/INDIRECT

**BUILDING CORE ELEMENTS** 

INDICATES NEW MILLWORK

EXISTING CONSTRUCTION TO REMAIN

EXISTING DOOR TO REMAIN

SUSPENDED 2' X 2' CEILING

EXISTING 2' X 4' CEILING TO REMAIN

DUPLEX OUTLET - 110V, WALL MOUNTED DUPLEX OUTLET (DEDICATED) - 110V,

NOTE: FOR EQUIPMENT - SEE MFR REQ

MOUNTED NOTE: PROVIDE RING AND STRING

POWER AND COMMUNICATIONS POLE, DUAL

REVISION

DATA / TELEPHONE OUTLET - WALL

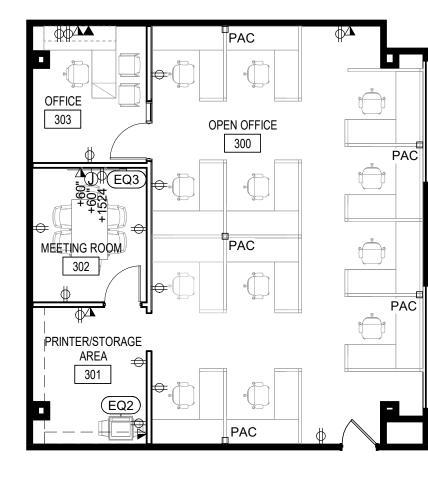
PAC CHANNEL, FROM CEILING TO INTO SYSTEMS

INDICATES EXISTING MILLWORK TO REMAIN

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- LIEU OF ADDING AN OUTLET. C. ALL OUTLETS AT WET AREAS TO BE GFCI AS REQUIRED.
- D. ADD GYP BD FURRING TO COLUMNS AND CORRIDOR WALLS WHEN ADDING NEW
- ELECTRICAL IF REQUIRED TO MAINTAIN EXISTING FIRE RATING.
- E. ELECTRICAL, TELEPHONE AND DATA LINES SHOWN IN SOUND RATED PARTITIONS SHALL NOT BE PLACED BACK TO BACK. OFFSET AT LEAST ONE STUD AND SEAL FOR SOUND AS REQUIRED. COORDINATE STAGGERED LOCATIONS WITH TENANT FURNITURE.
- F. WHEN ADDING FLOOR OUTLETS, ALLOW FOR (2) CORE DRILLS: (1) AT FLOOR OUTLET AND (1) AT WALL LOCATION TO BE DETERMINDED. PROVIDE AND INSTALL CONDUIT FROM FLOOR OUTLET TO ADJACENT WALL WITH PULL STRING, UNO. COORDINATE FLUSH FLOOR ELECTRICAL OUTLET WITH STRUCTURE BELOW AND WITH FURNITURE PLANS. VERIFY THE LOCATION OF ALL CORE DRILL PENETRATIONS WITH ARCHITECT / INTERIOR DESIGNER PRIOR TO GPR / X-RAY.
- G. GENERAL CONTRACTOR TO PROVIDE PULL STRING AT ALL NEW TELEPHONE / DATA RECETACLE LOCATIONS TO AN ACCESSIBLE CEILING LOCATION. PROVIDE (2) PULL STRINGS AT ALL TELEPHONE/DATA COMBO LOCATIONS. GENERAL CONTRACTOR TO COORDINATE ALL TELEPHONE/DATA WORK WITH TENANT CABLING, SECURITY, AND AV VENDORS.
- H. ALL NEW OUTLETS, SWITCHES, COVER PLATES THAT OCCUR ON STONE, SOLID SURFACE, MILLWORK, GLASS, WOOD PANELING, OR WALLCOVERING TO BE BRUSHED STAINLESS STEEL. ALL OTHER COVER PLATES AT PAINTED WALLS TO BE WHITE.
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- K. GROUP TOGETHER, AS TIGHT AS POSSIBLE, ALL ELECTRICAL, TELEPHONE, AND DATA OUTLETS / RECEPTACLES SHOWN ADJACENT TO EACH OTHER.
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- N. GENERAL CONTRACTOR TO LAY OUT THE LOCATION OF ALL PROPOSED OUTLETS FOR FIELD VERIFICATION BY ARCHITECT / INTERIOR DESIGNER PRIOR TO ACTUAL INSTALLATION OF OUTLETS, DATA, POKE-THROUGHS, AND JUNCTION BOXES, GENERAL CONTRACTOR TO REVIEW AND COORDINATE ALL ELECTRICAL DEVICES WITH MILLWORK ITEMS.
- P. ALL MOUNTING HEIGHTS ARE TO THE CENTERLINE OF THE DEVICE AFF, UNO. ALL THERMOSTATS AND SWITCHES TO BE MOUNTED AT 48" AFF.
- Q. CONFORMANCE OF ALL APPLICABLE CODES SHALL BE THE RESPONSIBILITY OF THE ELECTRICAL ENGINEER AND THE GENERAL CONTRACTOR. ALL ELECTRICAL WORK AND MATERIALS SHALL CONFORM WITH NEC AND OTHER APPLICABLE ORDINANCES. WHEN CONFLICT OCCURS, THE MOST RESTRICTIVE SHALL APPLY.
- R. ALL FURNITURE SIZES AND FURNITURE PLACEMENT ARE SCHEMATIC. EXACT FURNITURE SIZE TO BE COORDINATED WITH TENANT'S FURNITURE VENDOR.
- S. ALL OUTLETS TO BE MOUNTED AT 18" AFF, UNO.





## TYPICAL IMAGING ROOM - LEVEL 03 - FINISH PLAN

OPEN OFFICE

300

303

MEETING ROOM

PRINTER/STORAGE

AREA

301

## **REFLECTED CEILING PLAN GENERAL NOTES**

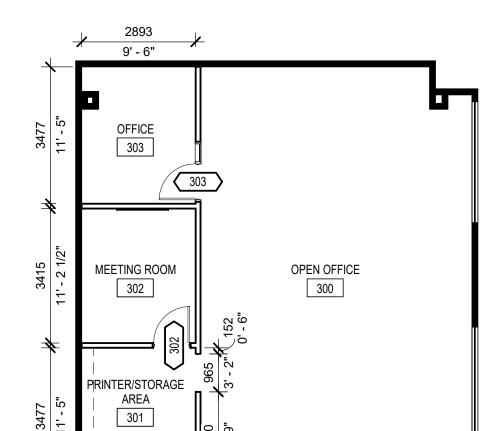
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- B. ALL MULTIPLE SWITCHES TO BE BANKED WITH (1) COVER PLATE C. ALL LIGHT SWITCHING AND ANY REQUIRED DAYLIGHT HARVESTING MUST BE
- COORDINATED WITH LOCAL ENERGY CODES AND DESIGNED BY THE ELECTRICAL D. ALL FIRE ALARM AND VISUAL ALARM REQUIREMENTS SHOULD BE COORDINATED WITH
- FIRE PROTECTION CONSULTANTS TO CONFIRM INSTALLATION REQUIREMENTS AND COMPLIANCE WITH LOCAL BUILDING CODES. E. GENERAL CONTRACTOR TO VERIFY AVAILABLE CEILING PLENUM HEIGHT BASED ON
- ELEVATIONS OF DUCTWORK, SPRINKLER LINES, AND CONDUIT LOCATIONS. CONFIRM LIGHT FIXTURE HEIGHT WITH AVAILABLE PLENUM SPACE PRIOR TO COMMENCING CEILING FRAMING. GENERAL CONTRACTOR TO NOTIFY ARCHITECT / INTERIOR DESIGNER OF ALL LIGHT FIXTURE CONFLICTS.
- F. ALL RECESSED LIGHTS ARE TO BE CENTERED ON THE CEILING TILE IN BOTH DIRECTIONS
- G. GENERAL CONTRACTOR TO COORDINATE COMPATIBILITY OF ALL LIGHT FIXTURE TRIMS AND MECHANICAL DIFFUSERS AND GRILLS WITH SPECIFIED CEILING GRID OR OTHER CEILING TYPES PRIOR TO ORDERING.
- H. REFER TO ARCHITECTURAL CEILING PLAN FOR LOCATION AND ORIENTATION OF ALL LIGHT FIXTURES. REFER TO ARCHITECTURAL LIGHT FIXTURE SCHEDULES FOR FIXTURE

J. REFER TO MECHANICAL & ELECTRICAL DRAWINGS FOR EXIT LIGHTS, EMERGENCY

- LIGHTS, SMOKE DETECTORS, FIRE ALARM PULL STATIONS, AND OTHER LIFE SAFETY DEVICE LOCATIONS AND INFORMATION. K. GENERAL CONTRACTOR TO OBTAIN APPROVAL FROM THE ARCHITECT / INTERIOR
- DESIGNER ON ANY LIGHTING FIXTURE SUBSTITUTIONS PROPOSED PRIOR TO BIDDING AND ORDERING ANY FIXTURES. L. ALL NEW SUSPENDED CEILING GRID SHALL BE CENTERED IN ALL CLOSED ROOMS UNO.
- M. ALL CEILING HEIGHTS TO BE 9'-0" AFF UNO. N. ALL CEILINGS TO BE TYPE [C1] UNO.



# TYPICAL IMAGING ROOM - LEVEL 03 - POWER & EQUIPMENT PLAN



- ALL ALTERATIONS TO MEET CURRENT LOCAL ACCESSIBILITY CODES AND CURRENT MUNICIPALITY REQUIREMENTS.
- THE ARCHITECT / INTERIOR DESIGNER IS NOT RESPONSIBLE FOR ANY ALTERATIONS
- GENERAL CONTRACTOR IS TO DETERMINE FIRE RATING OF EXISTING COMPONENTS AND MATCH FIRE RATING AS REQUIRED FOR ANY NEW WORK, WHICH INCLUDES REPAIR OR REPLACEMENT OF FIRE RATED WALLS OR FOR ANY NEW PENETRATIONS IN FIRE RATED COMPONENTS, GENERAL CONTRACTOR IS TO NOTIFY THE ARCHITECT. INTERIOR DESIGNER IMMEDIATELY IF ANY FIRE RATED COMPONENTS ARE UNCOVERED DURING DEMOLITION THAT WERE NOT IDENTIFIED ON THE
- GENERAL CONTRACTOR IS RESPONSIBLE FOR PATCHING AND REPAIRING ANY SPRAY-APPLIED FIRE PROOFING THAT IS ON EXISTING STRUCTURAL ELEMENTS IF IT IS DISTURBED OR DAMAGED DURING CONSTRUCTION. REPAIR MUST BE DONE TO COMPLY WITH UL LISTING REQUIREMENTS FOR THE SYSTEM AND MUST ALSO COMPLY
- PATCH / TAPE / FLOAT ALL EXISTING WALLS INCLUDING PERIMETER WALLS AND INTERIOR COLUMN ENCLOSURES AT NEW WALL LOCATIONS AS REQUIRED. FLOAT ALL
- PATCH AND REPAIR EXISTING PERIMETER GYP BD SURFACES AT EXTERIOR WALLS AND INTERIOR COLUMNS. GENERAL CONTRACTOR TO PROVIDE GYP BD FURRING
- ELECTRICAL DEVICES, AS REQUIRED. ENSURE ANY PENETRATIONS IN EXISTING CORE WALLS COMPLY WITH EXISTING FIRE RATING IF APPLICABLE
- PROVIDE FIRE RATED BLOCKING IN WALLS AS REQUIRED FOR INSTALLATION OF NEW MILLWORK, FLAT PANEL DISPLAYS AND EQUIPMENT, SHELVING, ETC. GENERAL CONTRACTOR TO COORDINATE ALL BLOCKING REQUIREMENTS WITH THE POWER PLANS, ELEVATIONS, DETAILS, AND MANUFACTURER'S REQUIREMENTS.
- DIMENSIONS SHOWN ARE TO FACE OF FINISH UNO.
- GENERAL CONTACTOR TO COORDINATE ADEQUATE TIME FOR ARCHITECT / INTERIOR DESIGNER APPROVAL OF PARTITION LAYOUT FOR DIMENSIONAL ACCURACY PRIOR TO INSTALLATION OF METAL FRAMING. GENERAL CONTRACTOR TO NOTIFY ARCHITECT / INTERIOR DESIGNER OF ALL CONFLICTS BETWEEN EXISTING CONDITIONS AND NEW WORK PLANS PRIOR TO FRAMING NEW WALLS.
- OPENING ON THE HINGE SIDE OF DOOR, UNO.
- REFER TO SHEET A602 FOR DOOR SCHEDULE, DOOR TYPES, AND HARDWARE

WOLAND AND LAS MEMBER Amanda Alfand Sanabria, NLAA Expires Dec 31 2024 Date: 2024-11-06

SHEET NUMBER

**FLOOR PLAN GENERAL NOTES** 

MADE WITHOUT PRIOR APPROVAL FROM THE GOVERNING AUTHORITY.

CONSTRUCTION DOCUMENTS.

WITH EXISTING FIRE RATINGS.

ALL NEW WALL PARTITIONS TO BE TYPE 'A3D' UNO. SEE SHEET A601 FOR PARTITION TYPES AND DESCRIPTIONS.

EXISTING WALLS TO REMAIN IN PREP OF NEW FINISH.

WALLS AT ALL EXPOSED STRUCTURAL COLUMNS AND CMU BLOCK WALLS UNO. ADD GYP BD FURRING AT CORE WALLS TO ALLOW FOR INSTALLATION OF NEW

ALL DIMENSIONS AND ALIGNMENTS SHOWN TO BE VERIFIED IN FIELD. ALL

ALL NEW FLOOR PENETRATIONS SHOULD BE FIRE CAULKED TO COMPLY WITH UL REQUIREMENTS FOR PENETRATIONS IN ANY FLOOR SLABS. PREP FOR NEW FINISHES.

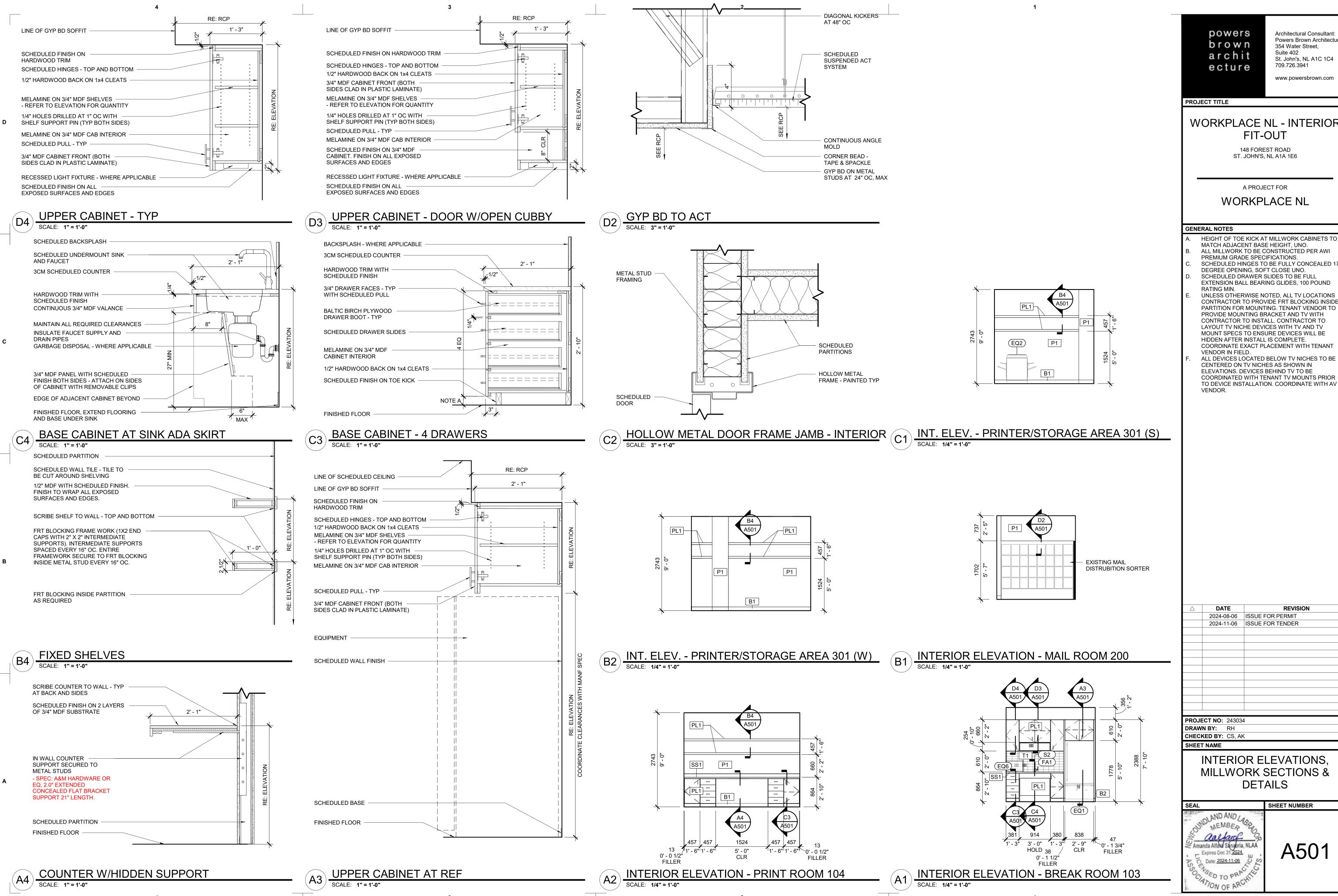
ALL NEW DOORS SHALL BE 4" FROM FINISH FACE OF WALL TO INSIDE EDGE OF DOOR

SCHEDULE.

TYPICAL IMAGING ROOM - LEVEL 03 - REFLECTED CEILING PLAN

TYPICAL IMAGING ROOM - LEVEL 03 - FLOOR PLAN

SCALE: 1/8" = 1'-0"



powers brown archit ecture

Architectural Consultant: Powers Brown Architecture 354 Water Street, Suite 402 St. John's, NL A1C 1C4 709.726.3941

www.powersbrown.com

## **WORKPLACE NL - INTERIOR** FIT-OUT

148 FOREST ROAD ST. JOHN'S, NL A1A 1E6

A PROJECT FOR

**WORKPLACE NL** 

- HEIGHT OF TOE KICK AT MILLWORK CABINETS TO MATCH ADJACENT BASE HEIGHT, UNO. ALL MILLWORK TO BE CONSTRUCTED PER AWI
- PREMIUM GRADE SPECIFICATIONS. SCHEDULED HINGES TO BE FULLY CONCEALED 170
  - DEGREE OPENING, SOFT CLOSE UNO. SCHEDULED DRAWER SLIDES TO BE FULL
- EXTENSION BALL BEARING GLIDES, 100 POUND
- UNLESS OTHERWISE NOTED, ALL TV LOCATIONS CONTRACTOR TO PROVIDE FRT BLOCKING INSIDE PARTITION FOR MOUNTING. TENANT VENDOR TO PROVIDE MOUNTING BRACKET AND TV WITH CONTRACTOR TO INSTALL. CONTRACTOR TO LAYOUT TV NICHE DEVICES WITH TV AND TV
- VENDOR IN FIELD. ALL DEVICES LOCATED BELOW TV NICHES TO BE CENTERED ON TV NICHES AS SHOWN IN ELEVATIONS. DEVICES BEHIND TV TO BE COORDINATED WITH TENANT TV MOUNTS PRIOR

**REVISION** 2024-08-06 ISSUE FOR PERMIT 2024-11-06 ISSUE FOR TENDER

**PROJECT NO**: 243034

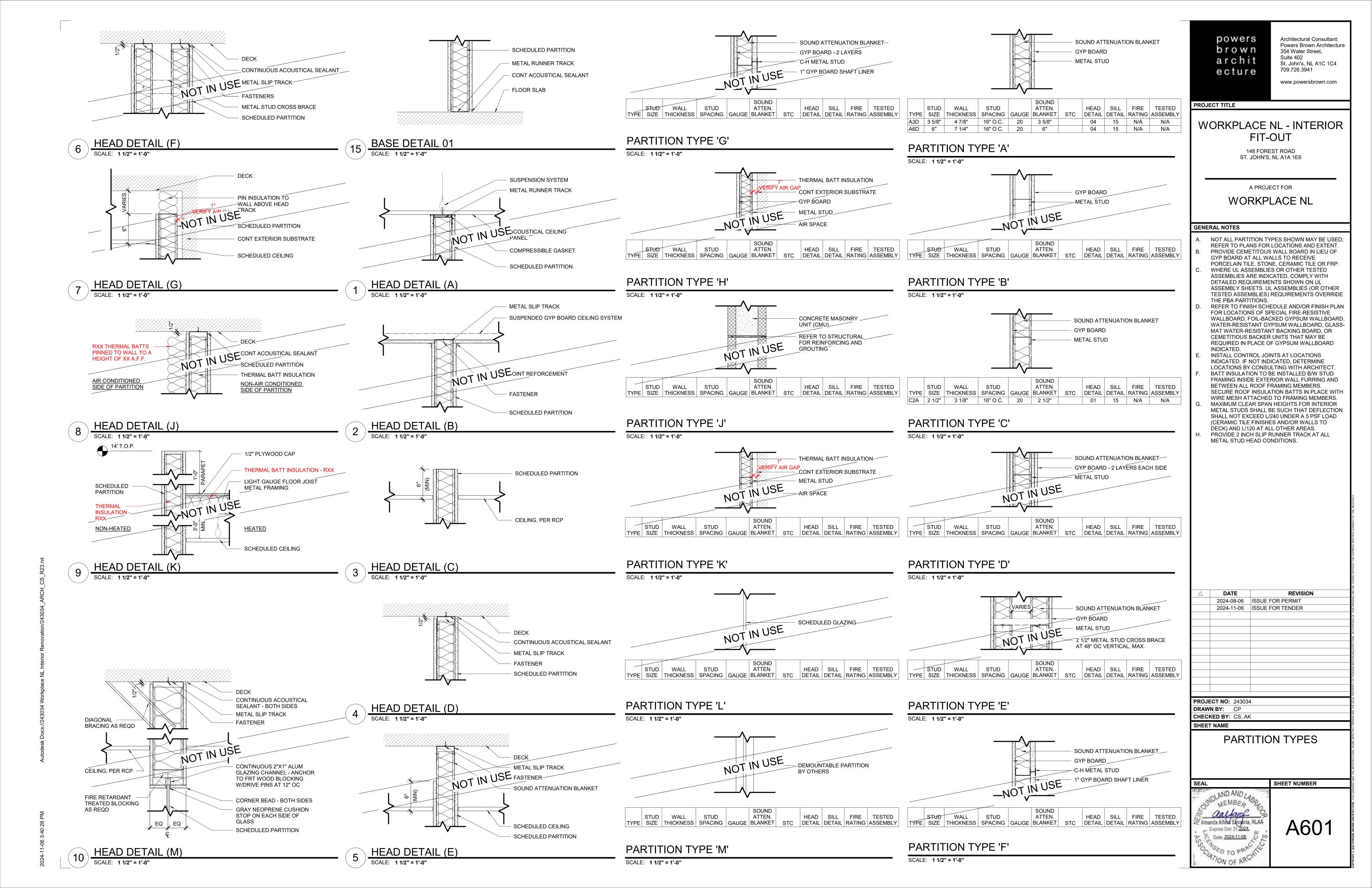
DRAWN BY: RH CHECKED BY: CS, AK

> INTERIOR ELEVATIONS, MILLWORK SECTIONS & **DETAILS**

WEMBER AB antarof Amanda Alfand Sanabria, NLAA \_ Expires Dec 31 2024 Date: 2024-11-06

A501

**SHEET NUMBER** 



TYPE A

SINGLE SOLID

TYPE E

SINGLE SOLID

FRAMED SIDE LITE

TYPE FF

FRAMED OPENING

	DOOR A	SSEMBLY	'			DOOR		FR	AME		
				Dimensio	ns					Set	
From Room: Name	Number	Туре	Width	Height	Thickness	Door Material	Door Finish	Frame Material	Frame Finish	Hardware (	Comments
OPEN OFFICE	100	E	3' - 0"	7' - 0"	1 3/4"	SCWD (BIRCH)	CLR COAT STAINED	HM	PTD - P2	1	
OFFICE	101	E	3' - 0"	7' - 0"	1 3/4"	HM	PTD - P2	HM	PTD - P2	2	
OFFICE	102	E	3' - 0"	7' - 0"	1 3/4"	HM	PTD - P2	HM	PTD - P2	2	
BREAKROOM	103	FF	3' - 0"	7' - 0"	1 3/4"	NA	NA	WD	PTD - P2		WOOD TRIM TO MATCH THICKNESS OF HM FRAME
PRINT ROOM	104	FF	3' - 0"	7' - 0"	1 3/4"	NA	NA	WD	PTD - P2		WOOD TRIM TO MATCH THICKNESS OF HM FRAME
MAIL ROOM	106A	Α	3' - 0"	7' - 0"	1 3/4"	SCWD (BIRCH)	CLR COAT STAINED	HM	PTD - P2	1	W/ AUTO OPERATOR
MAIL ROOM	106B	A	2' - 10"	7' - 0"	1 3/4"	HM	PTD - P2	HM	PTD - P2	2	
MEETING ROOM	302	Α	3' - 0"	7' - 0"	1 3/4"	HM	PTD - P2	HM	PTD - P2	2	

## archit ecture

powers brown Architectural Consultant: Powers Brown Architecture 354 Water Street, Suite 402 St. John's, NL A1C 1C4 709.726.3941

www.powersbrown.com

PROJECT TITLE

# WORKPLACE NL - INTERIOR FIT-OUT

148 FOREST ROAD ST. JOHN'S, NL A1A 1E6

A PROJECT FOR

**WORKPLACE NL** 

GENERAL NOTES
---------------

- A. ALL PAINT GRADE DOORS AND FRAMES TO MATCH P1 IN SEMI-GLOSS FINISH UNO.
- B. ALL GLASS TO BE 1/2" TH CLEAR TEMP UNO. GLASS AT INTERIOR SIDELITES AND WINDOWS TO BE 1/4" TH CLEAR TEMP.
- C. ALL HARDWARE SETS TO BE LEVER STYLE, UNO. D. ALL HARDWARE TO COMPLY WITH APPLICABLE
- ANSI AND ADA GUIDELINES FOR ACCESSIBILITY.

  GENERAL CONTRACTOR TO COORDINATE ALL
  HARDWARE INSTALLATIONS WITH TENANT
  SECURITY VENDOR. ACCESS CONTROL
  HARDWARE TO COMPLY WITH APPLICABLE
  EGRESS AND FIRE CODE REQUIREMENTS.
  COORDINATE MOUNTING WITH TENANT SECURITY
- VENDOR AND ARCHITECT.
  GENERAL CONTRACTOR TO COORDINATE
  LOCKSET MASTER KEYING WITH TENANT AND
  BUILDING OWNER / LANDLORD. GENERAL
  CONTRACTOR TO MATCH BUILDING KEYWAY
- STANDARD WHERE APPLICABLE.

  G. GENERAL CONTRACTOR TO MOUNT ALL DOOR
  CLOSERS ON NON-PUBLIC SIDE OF DOOR. CLOSER
  PUSH /PULL FORCE TO MEET ADA REQUIREMENTS.
- H. HEIGHT OF ALL LATCHSETS / LOCKSETS TO BE INSTALLED WITHIN THE CENTER AT 3'-2" AFF OR COMPLY WITH BUILDING STANDARD WHERE APPLICABLE
- J. APPLICABLE.

  J. APPLIED FILM TO BE INSTALLED ON OUTSIDE OF ROOM UNO. REFER TO ELEVATIONS FOR SIZING AND PLACEMENT.
- K. ALL EXISTING BUILDING CORE DOORS / FRAMES WITHIN SCOPE OF WORK TO BE PAINTED TO MATCH ADJACENT WALL FINISH IN SEMI-GLOSS FINISH UNO.

## ABBREVIATIONS

ALUM ALUMINUM
ANOD CLR ANODIZED CLEAR
HM HOLLOW METAL
PTD PAINTED
SCWD SOLID CORE WOOD DOOR
STD STAINED
T TEMPERED
VISION VISION GLAZING, CLEAR

2024-11-06	ISSUE FOR TENDER

2024-08-06 ISSUE FOR PERMIT

PROJECT NO: 243034
DRAWN BY: CP, RH
CHECKED BY: CS, AK

SHEET NAME

SCHEDULES

SHEET NUMBER

Alfand Sinabria NLAA
res Dec 31 2024
the 2024-11-06

To PRIVATE TO

# HARDWARE SCHEDULE

QTY	EACH OR SET	COMPONENT	DESCRIPTION	FINISH	MANUFACTURER
		GL DOOR(S) WITH THE FOLLOWING:			
4	EACH	HINGE, FULL MORTISE	TA2714 4-1/2" X 4-1/2" (NRP)	US26D	MK
1	EACH	PASSAGE LATCH	MO 4701LN	626	YA
1	EACH	SURFACE CLOSER	3521	689	YA
1	EACH	KICK PLATE	K1050 10" X 2" LDW CSK BEV	US32D	RO
1	EACH	STOP AS REQUIRED.	409/442	US32D	RO
1	EACH	THRESHOLD	171A		PE
1	EACH	PERIMETER SEAL	S773BL		PE
1	EACH	SWEEP	315CN		PE
IW SE	T 2 - PROVIDE EACH S	GL DOOR(S) WITH THE FOLLOWING:			
4	EACH	HINGE, FULL MORTISE	TA2714 4-1/2" X 4-1/2" (NRP)	US26D	MK
1	EACH	ENTRY LOCK	MO 4707LN	626	YA
1	EACH	SURFACE CLOSER	3501	689	YA
1	EACH	STOP AS REQUIRED.	409/442	US32D	RO
1		PERIMETER SEAL	S773BL		PE

## LIGHT FIXTURE SCHEDULE

3' - 0" 7' - 0" 1 3/4" HM

DOOR AND FRAME SCHEDULE

TYPE MARK	TYPE	MANUFACTURER	SPECIFICATION	REMARKS
AA	2' X 2' DIRECT / INDIRECT LED	METALUX	24CZSB-SCT3-UNV	TYP. AT FIELD

PTD - P2

## **EQUIPMENT SCHEDULE**

OFFICE

TYPE MARK	TYPE	MANUFACTURER	DESCRIPTION	FINISH	REMARKS
	1				
	REFRIGERATOR				PROVIDED BY OWNER
EQ2	PRINTER				PROVIDED BY OWNER
EQ3	FLAT SCREEN TV				PROVIDED BY OWNER
EQ4	MICROWAVE				PROVIDED BY OWNER

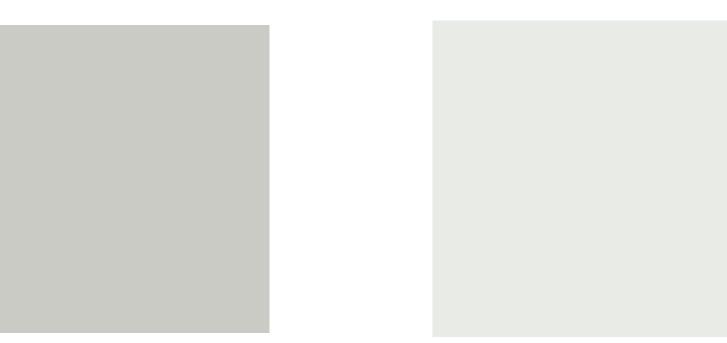
## PLUMBING FIXTURE SCHEDULE

TYPE MARK	TYPE	MANUFACTURER	DESCRIPTION	FINISH	REMARKS
FA1	KITCHEN SINK FAUCET	GLACIER BAY	UPSON SINGLE HANDLE PULL-DOWN KITCHEN FAUCET, ONE HOLE	CHROME	TYP. @ KITCHEN
S1	SINK, KITCHEN UNDERMOUNT		20x23 UNDERMOUNT SINGLE BOWL KITCHENSINK, MODEL # K-80170-3-N1	STAINLESS STEEL	TYP. @ KITCHEN

## FINISH SCHEDULE

CODE MATE	RIAL MANUFACTURER	DESCRIPTION	COLOR	REP NAME	CONTACT NO	REMARKS	
EILING							
ACOUSTICAL CEILING TILE	USG	RADAR BASIC R2110 ACOUSTIC CEILING; 24"x24" TILE WITH 15/16" ACOUSTICAL SUSPENSION SYSTEM IN FLATE WHITE	050 FLAT WHITE			GENERAL	
2 GYP BOARD	BENJAMIN MOORE	FLAT OVER LEVEL IV FINISH; 1 COAT PRIMER, 2 LATEX FINISH COATS	CEILING BRIGHT WHITE			GENERAL	
ALL							
1 PAINT	BENJAMIN MOORE	LEVEL IV DRYWALL FINISH; 1 COAT PRIMER AND 2 COATS FINISH PAINT, EGGSHELL FINISH	HC-170 STONINGTON GRAY			GENERAL	
PAINT	BENJAMIN MOORE	LEVEL IV DRYWALL FINISH; 1 COAT PRIMER 2 COATS FINISH PAINT, SEMI-GLOSS FINISH	2062-20 GENTLEMAN'S GRAY			TYP. AT INTERIOR DOOR FRAMES	
CERAMIC TILE	DALTILE	RETROSPACE REMIX; 3"x6" STACK BOND INSTALLATION	RS30 MODERN WHITE			TYPICAL @ BREAKROOM BACKSPLASH	
ASE							
1 RUBBER BASE	TARKETT	STYLE: TRADITIONAL 4" BASE	63 BURNT UMBER			COVE BASE, TYP.	
2 CERAMIC TILE	DALTILE	COLLECTION: BALANS - 3 x 12 FLOOR BULLNOSE (PC-43C9)	WHITE BA30			TYP @ ALL TILE FLOORS	
LOOR							
P1 CARPET - TILE	TARKETT	COLLECTION: GEOKNIT - STYLE: 10887 - 24 X 24 TILE - VERTICAL ASLAR INSTALL PATTERN	42710 SHADOW GRIS			GENERAL	
CERAMIC TILE	DALTILE	COLLECTION: BALANS - 12 x 24 TILE - VERTICAL ASHLAR INSTALL PATTERN	WHITE BA30			GROUT - (MANUFACTURER AND COLOR)	
ILLWORK							
_1 PLASTIC LAMINATE	FORMICA	NATURAL GRAIN; MATTE FINISH	8907-58 FOX TEAKWOOD			TYPICAL @ CABINETS, SHELVING & INTERIOR DOORS	
S1 ENGINEERED QUARTZ	CAESARSTONE	2CM QUARTZ COUNTERTOP WITH LAMINATED EASED EDGE	5141 FROSTY CARRINA			TYPICAL @ COUNTERTOPS	
RANSITION							
R1 METAL TRANSITION	SCHLUTER SYSTEMS	SCHIENE; COORDINATE MATERIAL THICKNESS	ANODIZED ALUMINUM			CARPET TO PORCELAIN	

# FINISH SAMPLES









PTD - P2 2

P1 - PAINT C1 - PAINT SS1 - ENGINEERED QUARTZ COUNTERTOP

PL1 - PLASTIC LAMINATE



CP1 - CARPET TILE

B1, T1 - GLAZED CERAMIC TILE

P2 - PAINT

24-11-06 3:40:29 PM

#### **APPENDIX "B"**

#### **Check List**

#### Check Box to be completed and included with submission

Mandatory Site visit completed (2.1)	YES □	NO □
Tender documents are completely read and understood	YES □	NO 🗆
All addenda (if applicable) are completely read and understood	YES □	NO □
Bid form signed and completed as required (Appendix "C")	YES □	NO 🗆
Checklist completed and included (Appendix "B")	YES □	NO □
Written Statement of Company History included (2.10.4)	YES □	NO □
List of references included (2.10.6)	YES □	NO □
COR "letter of good standing" to be included (2.10.5)	YES □	NO □
Warranty Information on all Goods and Services (2.10.8)	YES □	NO □

#### The Successful Bidder must provide the following within fourteen (14) days of award:

- A list of employees, officers, directors, associates and approved sub-contractor assigned to perform the services, including their job titles and qualifications as per **Article 3** of WorkplaceNL Standard Terms and Conditions;
- Certificates of insurance as per **Article 14** of WorkplaceNL Standard Terms and Conditions;
- Performance Bond as per Section 1.3.11 of this Tender;
- Criminal Records Screening Certificate which is acceptable to WorkplaceNL as per Section 1.3.10.3 of this Tender;
- Declarations of Confidentiality/Conflict of Interest signed by the Contractor or an officer or director of the Contractor as per Article 9 of WorkplaceNL Standard Terms and Conditions;
- Safety Policy Manual as per Section 1.3.6.2 of this Tender;
- Proof of Workplace Hazardous Materials Information System (WHIMIS) training for all personnel as per Section 1.3.9.4;
- Proof of bonded employees and Dishonesty coverage as per **Section 1.3.10.2** of this Tender;
- Payment schedule as per Section 3.2 of this Tender;
- Initialed WorkplaceNL Standard Terms and Conditions; and
- Initialed WorkplaceNL Confidentiality Schedule;

#### **APPENDIX "C"**

#### **Bid Form**

Name of Bidder:					
Address:					
Telephone No.:		Fax No.:			
E-mail address:					
Dated at:	_this	day of	_ 2024		
Authorized Signature		Witness Signature			
Authorized Name (Printe	d)	Witness Name (Printed)			
HST No.:					
Total Dollars (\$	) in Canadia	n Funds, <b>EXCLUDING</b> HST.			
Direct Deposit		Agree			
Electronic Invoicing		Agree			
Price Protection Period f	or 90 days	Agree			
I hereby acknowledge the understand any and all a	nd Agree				

#### **APPENDIX "D"**

#### **Electronic Bid Submission Instructions**

- 1. In order to be accepted, Bids must be submitted through WorkplaceNL's posting for this opportunity on <a href="https://www.merx.com">www.merx.com</a>.
- 2. Bidders shall create a supplier account and be registered on www.merx.com. This will enable the Bidder to download the bid opportunity, receive addenda/addendum email notifications, download addenda/addendum, and submit their Bid electronically through the MERX website.
- 3. The timing of the Bid is based on when the Bid is received by the bidding system, not when the Bid is submitted by the Bidder, as transmission can be delayed by "Internet Traffic" for any number of reasons. WorkplaceNL recommends that Bidder allow for ample time to provide for uploaded Bids to be received prior to the Tender Closing Date. Bids received after the Tender Closing Date will not be accepted.
- 4. It is the responsibility of the Bidder to ensure that the Bid is received on time. Once registered, MERX will send a confirmation email to the Bidder if the Bid was submitted successfully. If a confirmation has not been received by the Bidder, the Bid was not uploaded correctly and it is the responsibility of the Bidder to either reload the documents or to contact MERX to resolve any issues regarding their Bid.
- 5. Response materials should be prepared and submitted in accordance with the instructions in the bidding system, including any maximum upload file size. Documents should not be embedded within uploaded files, as the embedded files may not be accessible or evaluated.
- 6. To ensure receipt of the latest information and updates regarding this opportunity via email, the onus is on the Bidder to register with MERX, create a supplier account, and sign up for notices for this opportunity.
- 7. Clarifications and questions received for this opportunity electronically can be submitted via the opportunity listing on www.merx.com. Questions can be submitted, and confirmation will be received to the inquiry. Responses will be answered on an individual basis or collectively at the discretion of WorkplaceNL.

#### **APPENDIX "E"**

Fifty (50) % of Contract Price
PRESENTS THAT
, hereinafter called "PRINCIPAL" and a corporations created and existing under the laws of and duly authorized to transact the business of Surety ship in, hereinafter called "SURETY", are held and firmly bound unto Compensation Commission, Hereinafter canned "OBLIGEE", in % of Contract Price> (\$insert Fifty (50) % of Contract Price) e payment of which sum, well and truly to be made, PRINCIPAL ally, bind themselves and each of them and their and each of their, successors and assigns firmly by these presents.
֡֜֜֜֜֜֜֜֜֜֜֜֜֜֜֜֜֜֜֜֜֜֜֜֜֜֜֜֜֜֜֜֜֜֜֜֜

**NOW, THEREFORE, THE CONDITION OF THE OBLIGATION** is such that if **PRINCIPAL** shall promptly and faithfully perform the Agreement then this obligation shall be null and void; otherwise it shall remain in full force and effect.

Whenever **PRINCIPAL** shall be, and declared by **OBLIGEE** to be, in default under the Contract, **OBLIGEE** having performed **OBLIGEE's** obligations up to the time of default thereunder, **SURETY** may promptly remedy the default or shall promptly:

- a. Complete the Agreement in accordance with its terms and conditions; or
- b. Obtain a bid or bids for submission to OBLIGEE for completing the Agreement in accordance with its terms and conditions, and upon determination by OBLIGEE and SURETY of the lowest responsible bidder, arrange for an Agreement between such bidder and OBLIGEE and make available as work progresses (even though there should be a default, or a succession of defaults, under the Agreement or Agreement of completion, arranged under this paragraph) sufficient funds to pay for the cost of completion less the balance of the Agreement price; but not exceeding, including other costs and damages for which SURETY may be liable hereunder, the amount herein before set forth. The term "balance of Agreement price", as used in this paragraph, shall mean the total amount payable by OBLIGEE to PRINCIPAL under the Agreement, less the amount properly paid by OBLIGEE to PRINCIPAL,

Any suit under this Bond must be instituted before the expiration of two (2) years from the date on which final payment under the Agreement is due.

**SURETY** shall not be liable for a greater sum than the specified amount of this Bond.

No right of action shall accrue on this Bond to, or for the use of, any person or corporation other than **OBLIGEE** named herein, or the heirs, executors, administrators, or successors of **OBLIGEE**.

**PROVIDED, HOWEVER**, that no variation or alteration which may be made in the Agreement, or in the extent, nature, or method of performance of the Services to be performed thereunder, and no extension of time given by **OBLIGEE** for the performance of the Agreement, nor any waiver, forbearance or forgiveness on the part of either **PRINCIPAL** or **OBLIGEE** to the other shall in any way release **PRINCIPAL** and **SURETY**, or either of them, or their heirs, executors, administrators, successors and assigns from their liability hereunder, notice to **SURETY** of such variation, alteration, extension, waiver, forbearance or forgiveness being hereby expressly waived.

**AND IT IS HEREBY DECLARED AND AGREED** that **SURETY** shall be liable under this obligation as fully as if it were **PRINCIPAL** and that nothing of any kind or nature whatsoever that will not discharge **PRINCIPAL** shall operate as a discharge or a release of liability to **SURETY**, any law, rule or usage relating to the liability of sureties to the contrary notwithstanding.

IN TESTIMONY, WHEREOF, PRINCIPA has caused its corporate seal to be af			
presence of its duly authorized officers t	his da	ıy of	, 20
THE COMMON SEAL of PRINCIPAL was hereon affixed in the presence of:			
Witness	Principal		(seal)
THE COMMON SEAL of SURETY was hereon affixed in the presence of:			
Witness	Surety		(seal)



- 1. Agreement This Agreement includes the following documents and any conflict between the documents shall be resolved by giving priority to the documents in the order as they appear:
- (a) executed agreement between WorkplaceNL and the Contractor to which this document is appended (if applicable);
- (b) WorkplaceNL Confidentiality Schedule (if applicable);
- (c) WorkplaceNL Standard Terms and Conditions;
- (d) Declaration(s) of Confidentiality/Conflict of Interest;
- (e) procurement documents (including purchase orders) issued by WorkplaceNL; and
- (f) Contractor's bid, proposal or quote.

This Agreement constitutes the whole agreement of the parties relative to the purchase of Services from the Contractor by WorkplaceNL and supersedes all prior negotiations, representations, or agreements, either written or oral.

<u>2. Services</u> – Services means all goods, materials and/or services required under this Agreement.

The Contractor shall provide the Services. WorkplaceNL is responsible for the evaluation of the scope and suitability of the Services provided by the Contractor

3. Independent Contractor Status - The Contractor is an independent contractor as to all Services. Neither the Contractor, its employees, officers, directors, associates nor approved sub-contractors, if any, are to be construed as constituting employees, agents, or representatives of WorkplaceNL. As an independent contractor, the Contractor assumes all legal and contractual obligations arising out of the performance of the Services.

The Contractor shall not enter into any contract or commitment in the name of or on behalf of WorkplaceNL, or bind WorkplaceNL in any respect or make statements or representations of any kind or take any other actions that would be binding on WorkplaceNL except as specifically provided in this Agreement.

The Contractor shall be fully responsible for any and all employee benefits to be provided to the Contractor's employees. Neither the Contractor nor its employees, officers, directors, associates or approved sub-contractors shall be entitled to participate in or receive any benefits whatsoever from WorkplaceNL as a result of performing Services. The Contractor is solely responsible for deducting the appropriate withholdings from the Contractor and its employees' pay cheques and for the remittance of such withholdings to the appropriate regulatory body as required by law.

Prior to commencing provision of Services, the Contractor shall provide to WorkplaceNL a list of employees, officers, directors, associates and approved sub-contractors assigned to perform the Services including their job titles and qualifications for the provision of Services. The employees, officers, directors, associates and sub-contractors assigned to perform Services shall not change except with prior written consent of WorkplaceNL.

WorkplaceNL may, in its sole discretion, request that any employee, officer, director, associate or approved sub-contractor of the Contractor be prohibited from the performance of Service and/or from access to any files and/or to WorkplaceNL's premises, and the Contractor shall immediately comply with this request. The Contractor hereby releases and forever discharges and holds harmless WorkplaceNL from any costs, claims, losses, and damages of any kind whatsoever based on negligence, defamation, wrongful discharge/dismissal or otherwise which the Contractor may suffer, sustain, pay or incur as a result of any actions under this paragraph and will indemnify, defend and hold harmless WorkplaceNL against any third party claims based on actions hereunder.

4. Sub-Contractor - Without the prior written consent of WorkplaceNL, the Contractor shall not sub-contract any part of the Services, assign or transfer any interest, or delegate any responsibility arising out of this Agreement, to anyone other than the approved employees, officers, directors, associates, or sub-contractors of the Contractor in accordance with the provisions of this Agreement. Prior to approval of a sub-contractor, the Contractor must establish to the satisfaction of WorkplaceNL, that the sub-contractor also meets the requirements of this Agreement.

<u>5. Payment</u> - Provided the Contractor has complied with all terms, conditions and provisions of this Agreement, WorkplaceNL shall make payments to the Contractor of those fees as set forth in this Agreement, following appropriate invoicing by the Contractor. WorkplaceNL shall not be liable to the Contractor for any other costs or expenses, unless such costs or expenses are approved in advance and in writing by WorkplaceNL, or are specifically set out in this Agreement. The Contractor shall submit expense claims in a format acceptable to WorkplaceNL.

WorkplaceNL shall effect payment of invoices within thirty (30) days of receipt of an acceptable invoice by WorkplaceNL provided that the amounts so billed are correct and properly payable under this Agreement. All invoices shall include the Contractor's registration number for Harmonized Sales Tax (HST) and shall separately identify the amounts of such tax. Payment of invoices may be delayed through failure of the Contractor to identify the registration number and the amount of HST. The Contractor shall maintain records sufficient to verify invoices submitted to WorkplaceNL and WorkplaceNL shall not be responsible for reconciliation and/or review of incorrect bookkeeping by the Contractor.

WorkplaceNL will not pay interest on late or overdue accounts.

Payment for Services shall be made by direct deposit. The Contractor shall supply the necessary banking information to WorkplaceNL within seven (7) working days of awarding the contract.

Purchase orders and notices of payments will be forwarded to the Contractor from WorkplaceNL. The Contractor shall supply facsimile information to WorkplaceNL within seven (7) working days of awarding the contract.

Services which have been performed prior to the issuance of a purchase order shall not be invoiced to WorkplaceNL. Only Services rendered within the date range delineated on the purchase order will be paid by WorkplaceNL.

The Contractor shall only submit an invoice for payment once. If the Contractor has not received payment for an invoice, the Contractor may contact the Accounts Payable Department of WorkplaceNL but it shall not resubmit the invoice unless expressly requested by WorkplaceNL. If the Contractor sends a Statement of Account, it shall be clearly marked "Statement of Account" at the top of the page.

- 6. Set-Off At its sole option and without notice to the Contractor, WorkplaceNL shall have the right to set-off any amount due to WorkplaceNL by the Contractor under this Agreement or otherwise against any amount due and owing by WorkplaceNL to the Contractor under this Agreement.
- 7. Non-exclusive relationship between the Contractor and WorkplaceNL. WorkplaceNL may also, at any time, retain other contractors to perform work in relation to the Services or any changes or additions to such Services. The Contractor is free to, and it is anticipated that the Contractor will, engage with other clientele in addition to its engagement herein with WorkplaceNL.
- 8. Conflict of Interest Conflict of interest includes, but is not limited to, any situation or circumstance where in relation to the Services, the Contractor's other commitments, relationships, financial interests (i) could, or could be seen to, exercise an improper influence over the objective, unbiased, and impartial exercise of its independent judgement; or (ii) could, or could be seen to, compromise, impair, or be incompatible with the effective performance of its contractual obligations. The Contractor shall not provide Services if the Contractor is in a conflict of interest. The Contractor shall not permit any actual, possible or perceived conflict of interest between the interest of WorkplaceNL and/or its clients and the interest of the Contractor.



The Contractor shall immediately disclose any such conflict of interest to WorkplaceNL in writing. WorkplaceNL shall, in its sole discretion, determine if an actual, possible or perceived conflict of interest exists and determine the appropriate course of action to be taken by WorkplaceNL and/or the Contractor. WorkplaceNL's decision in this regard shall be final and conclusive.

The Contractor:

- (a) shall conduct all duties related to this Agreement with impartiality;
- (b) shall not influence, seek to influence, or otherwise take part in a decision of WorkplaceNL and/or WorkplaceNL's client, knowing that the decision might further its private interests;
- (c) shall not offer, solicit, receive or accept any communication, discount, allowance, payment, gift, or other benefit that is connected, directly or indirectly, with the performance of any Services, that causes, or would appear to cause, a conflict of interest; and
- (d) shall have no financial interest in the business of a third party that causes, or would appear to cause, a conflict of interest in connection with the performance of any Services.
- 9. Confidentiality All data and information of or concerning WorkplaceNL, WorkplaceNL clients, or of third parties to whom WorkplaceNL owes a duty of confidence, obtained by the Contractor, its employees, officers, directors, associates, and/or approved sub-contractors, is:
- (a) to be treated as confidential;
- (b) to be used only to supply or perform Services to WorkplaceNL pursuant to this Agreement:
- (c) not to be reproduced or disclosed to anyone other than WorkplaceNL personnel as required in the performance of this Agreement;
- (d) not to be removed from the offices of WorkplaceNL without prior written consent of WorkplaceNL;
- (e) to be delivered to WorkplaceNL without cost forthwith upon demand, including all copies and records of same; and
- (f) to be protected by making reasonable security arrangements against such risks as unauthorized access, collection, use, disclosure, disposal, and disaster

Nothing in the Agreement will prohibit or limit either Party's use or disclosure of information (including, but not limited to, ideas, concepts, knowledge, techniques, and methodologies) which is:

- (a) previously known to it without an obligation of confidence;
- (b) independently developed by or for it;
- (c) acquired by it from a third party which is not under an obligation of confidence with respect to such information; or
- (d) required by law. In the case of a disclosure required by law, the Contractor shall notify WorkplaceNL in writing prior to the disclosure to provide an opportunity to restrain the disclosure.

The Contractor will notify WorkplaceNL both verbally and in writing in the event of any unauthorized access to or disclosure of data or information.

The Contractor acknowledges that WorkplaceNL is bound by the terms of the Workplace Health, Safety and Compensation Act, 2022, SNL 2022, c. W-11.1, as amended (the "Act"), the Access to Information and Protection of Privacy Act, 2015, SNL 2015, c. A-1.2, as amended ("ATIPPA"), the Management of Information Act, SNL 2005, c. M-1.01, as amended, the Privacy Act, RSNL 1990, c. P-22, as amended, and the Personal Health Information Act, SNL 2008, c. P-7.01, as amended ("PHIA"), and agrees to abide strictly by the terms of these and any other applicable laws and professional standards respecting the collection, use and disclosure of data or information that the Contractor, its employees, officers, directors, associates, and/or approved sub-contractors, could become exposed to directly or indirectly during the performance of Services. WorkplaceNL may be compelled to disclose data or information pursuant to ATIPPA.

The Contractor shall observe all requirements, standards and protocols of WorkplaceNL, relating to confidentiality, conflict of interest, and collection, storage, transfer, copying, modification, use, disclosure and disposition of

information. The Contractor shall comply with the provisions of the attached "Declaration of Confidentiality/Conflict of Interest" and shall ensure compliance of the Contractor's employees, officers, directors, associates, and/or approved sub-contractors with the provisions of the said Declaration of Confidentiality/Conflict of Interest. The Contractor shall provide to WorkplaceNL the said Declaration of Confidentiality/Conflict of Interest which has been executed by the Contractor or an officer or director of the Contractor.

Without limiting the generality of the foregoing, the Contractor acknowledges that WorkplaceNL shall have the right to obtain injunctive relief for violation of the terms of the clause. All those carrying out this Agreement on the Contractor's behalf are subject to this Agreement and may be liable to suit by WorkplaceNL for breaching this clause.

When deemed appropriate by WorkplaceNL, in its sole discretion, WorkplaceNL may also require the Contractor and its employees, officers, directors, associates, and/or approved sub-contractors to comply with the WorkplaceNL Confidentiality Schedule. The Contractor must initial the WorkplaceNL Confidentiality Schedule which will form part and parcel of this Agreement.

- 10. Ownership of Information All materials, data, designs, plans, drawings, specifications, research, reports, notes, estimates, summaries, calculations, surveys, papers, completed work, and work in progress and such other information and materials or parts thereof as are compiled, drawn and produced by the Contractor in performing the Services, including without limitation computer printouts and computer models and all copyrights thereto and all patents, trademarks and industrial designs arising therefrom are the sole and exclusive property of WorkplaceNL and the contents thereof are privileged and confidential. Nothing in the Agreement shall give the Contractor a right, however arising, to assert any lien, claim, demand, property right, remedy or security right of any kind over the information provided to the Contractor pursuant to the terms of the Agreement. The Contractor acknowledges that WorkplaceNL's right to this information shall at all times be paramount to any rights of the Contractor, at law or in equity, and that the Contractor's remedies against WorkplaceNL for WorkplaceNL's breaches under the Agreement do not include the right to deprive WorkplaceNL of access to WorkplaceNL's information in the Contractor's possession.
- 11. Access to Information WorkplaceNL is subject to the ATIPPA and consequently the public has a right of access to WorkplaceNL's records. WorkplaceNL shall not be liable for any claims, costs, losses or damages experienced by the Contractor as a result of WorkplaceNL's release of information to another party pursuant to the provisions of ATIPPA or due to any other legal requirements.
- **12. Warranty and Liability** The Contractor represents, warrants and covenants that:
- (a) the information contained in its bid, proposal or quote is true and accurate;
- (b) all equipment supplied meets and is operated in accordance with the manufacturer's specifications and applicable regulatory requirements;
- (c) all Services provided are free from any defects in design, materials and workmanship, and that the Services fully comply with specifications and are suitable and fit for its intended purpose;
- (d) the supply of Services will not infringe any patent, trademark or copyright;
- (e) the Contractor provides good and clear title to the Services to WorkplaceNL;
- (f) the Contractor, its employees, officers, directors, associates and approved sub-contractors have the necessary skills, expertise, materials and experience, are qualified in the safe work procedures and operations of equipment, and shall provide and perform the Services in accordance with the provisions of this Agreement;
- (g) the Contractor shall provide and perform the Services in accordance with all applicable law and professional standards, and in a skilful, safe, efficient and professional manner satisfactory to WorkplaceNL;



- (h) the Contractor, its employees, officers, directors, associates and approved sub-contractors shall comply with all safety and security rules and workplace policies and procedures in effect from time to time while using or accessing WorkplaceNL's premises, assets, and/or resources;
- the Contractor, its employees, officers, directors, associates, and/or approved sub-contractors will not commence work while under the influence of alcohol, marijuana or illegal drugs;
- the Contractor, its employees, officers, directors, associates, and/or approved sub-contractors shall comply with the Occupational Health and Safety Act, RSNL 1990, c. O-3, and the Regulations thereto, as amended: and
- (k) if the Contractor is carrying on an undertaking in the Province of Newfoundland and Labrador, the Contractor will during the term of this Agreement continue to be registered and authorized to carry on business in compliance with the laws of the Province of Newfoundland and Labrador.

The Contractor shall supply all labour, materials, and supervision to complete the Services in accordance with the Agreement. The Contractor shall obtain all permits and licences, pay such fees, and give all notices necessary for the lawful performance of the Services. Except as otherwise specifically stated in this Agreement, all facilities and equipment required for the provision of the Services shall be provided by the Contractor and shall remain the property and responsibility of the Contractor.

The Contractor is fully and solely responsible for the actions of the Contractor and its employees, officers, directors, associates, and/or approved subcontractors in performance of the Services and to ensure compliance with this Agreement. WorkplaceNL's approval of employees, officers, directors, associates, or sub-contractors does not relieve the Contractor of the Contractor's responsibilities under this Agreement.

- **13.** Indemnity The Contractor shall indemnify and hold harmless WorkplaceNL from and against all claims, actions, losses, expenses, costs and direct damages of every nature and kind whatsoever which WorkplaceNL or its employees, officers, directors, associates, or agents may suffer where the same are based upon or arise out of anything done or omitted to be done by the Contractor or its employees, officers, directors, associates, and/or approved sub-contractors.
- 14. Insurance The Contractor shall, at its own expense and without limiting its liability herein, insure its operations under a contract of General Liability Insurance, with an insurer licensed in Newfoundland and Labrador, in an amount not less than Two Million Dollars (\$2,000,000) per occurrence, with an annual general aggregate, if any, of not less than Four Million Dollars (\$4,000,000) for each of its locations, insuring against any and all bodily injury, personal injury and property damage including loss of use thereof. Such insurance shall include blanket contractual liability and shall be in effect for the duration of the Agreement and any extensions or renewals. The deductibles applicable to the insurance required shall not exceed Five Thousand Dollars (\$5,000) per occurrence.

Certificates of insurance shall be provided to WorkplaceNL prior to the provision of Services under this Agreement and within thirty (30) days of any insurance renewal. All insurance called for under this Agreement shall be endorsed to provide WorkplaceNL with thirty (30) days advance written notice of cancellation, failure to renew or material change (material defined as any change restricting or reducing required coverage). WorkplaceNL may, at any time, request certified true copies of the policies and they shall be provided within fourteen (14) working days of the request. All insurance called for under this Agreement shall be primary insurance and shall not require the pro rata sharing of any loss by WorkplaceNL or any insurer of WorkplaceNL.

15. Good Standing and Safety – If the Contractor is engaged in, about or in connection with an industry in the province of Newfoundland and Labrador under the Act, prior to commencing provision of Services and during the term of this Agreement, the Contractor and any approved sub-contractors must be registered as an employer or have independent operator coverage under the

**Act**, must be in good standing with WorkplaceNL, and shall comply with the **Act** and the Regulations thereto, as amended. The Contractor authorizes WorkplaceNL to obtain confirmation of the same.

#### 16. Performance Standards

Time is of the essence in the performance of the Agreement.

WorkplaceNL may notify the Contractor of any deficiencies, and in the event that the Contractor has failed to rectify the deficiencies within the time allocated by WorkplaceNL, WorkplaceNL may, at its discretion, obtain the Services, complete the work or rectify the deficiencies to its satisfaction and shall be entitled to deduct and set-off the costs of such work or rectification from any moneys due to the Contractor.

WorkplaceNL shall not be obligated to make any payments for Services rendered by the Contractor to remedy errors or omissions for which, in the reasonable opinion of WorkplaceNL, the Contractor is responsible.

- <u>17. Inspection</u> All Services are subject to final inspection and acceptance by WorkplaceNL. Services failing to conform to the specifications of this Agreement will be held at the Contractor's risk and may be returned to the Contactor. If so returned, all related costs are the responsibility of the Contractor. Services failing to conform to specifications of the Agreement may result in WorkplaceNL making adjustments to invoices.
- <u>18. Non-waiver</u> Mere acceptance of shipment of the Services specified and any inspection thereto by WorkplaceNL, shall not alter, limit or affect the obligations of the Contractor or the rights of WorkplaceNL herein or at law.
- 19. Title and Risk Title to Services shall not pass to WorkplaceNL until delivered to a WorkplaceNL location and until such time shall be at the sole risk of the Contractor.
- **20.** Canadian Standards Association (CSA) Approval The Contractor shall ensure that all electrical, materials, hardware and assemblies supplied under the Agreement are fully CSA approved.
- **21. Workplace Hazardous Materials Information System (WHIMIS)** When dealing with materials designated as hazardous, the Contractor shall ensure all goods and materials are provided with appropriate labels and material safety data sheets where required by WHIMIS legislation.
- **22. Changes** WorkplaceNL, without invalidating the Agreement, may alter, add to or delete from the work, the Agreement sum being adjusted accordingly provided the Contractor has agreed to the same in writing. All such changes shall be governed by the conditions of the original Agreement. Any changes and unforeseen extras must be documented by change orders and approved by WorkplaceNL prior to proceeding. Supplementary invoices not supported by change orders will not be honored. The Contractor must notify WorkplaceNL of changes in the Contractor's policy or organization that affects its ability to meet its obligations outlined in the Agreement.
- **23. Termination** This Agreement may be terminated at any time by the mutual consent of the Parties.

WorkplaceNL may terminate this Agreement at any time, without cause, by giving thirty (30) calendar days written notice to the Contractor. WorkplaceNL shall not be subject to a claim for damages by the Contractor for any such termination.

WorkplaceNL may, in addition to and not in lieu of any other right or remedy available, at law or in equity, on the terms outlined in this paragraph terminate this Agreement at any time without notice, for cause and without compensation to the Contractor should:

- (a) the Contractor, its employees, officers, directors, associates, and/or approved sub-contractors be in breach of any provision of this Agreement;
- (b) WorkplaceNL determine, in its sole discretion, that the Services are being provided in a manner inconsistent with this Agreement:

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- (c) the Contractor fail to make adequate progress in the performance of the Agreement, or alternatively, an indication by the Contractor that they cannot or will not meet any or all of the requirements of the Agreement;
- (d) WorkplaceNL determines, in its sole discretion, that the invoicing practices of the Contractor are unsatisfactory or improper; or
- (e) the Contractor becomes insolvent or bankrupt or makes an assignment for the benefit of creditors or receivers appointed of its business, or a voluntarily or involuntary petition in bankruptcy is filed, or proceedings for the reorganization or winding up of the Contractor is instituted.

WorkplaceNL may terminate the Agreement immediately or may provide the Contractor with written notice of the above noted default and provide the Contractor an opportunity to rectify the said default within 72 hours. If the default is not rectified to the satisfaction of WorkplaceNL within 72 hours, then WorkplaceNL can proceed to terminate this Agreement, for cause, without further notice.

Where this Agreement is terminated, either by mutual consent or otherwise, the Contractor shall, without any further fee or cost whatsoever to WorkplaceNL:

- (a) upon the effective date of termination of this Agreement cause all Services being provided under this Agreement to be discontinued, unless WorkplaceNL has provided its express, written consent to the continuation of Services; and
- (b) within thirty (30) working days of the effective date of termination, provide all work product and all final invoices for Services completed to the date of termination pursuant to this Agreement. The obligations of WorkplaceNL to make payment to the Contractor shall continue for Services performed up to and including the date of termination but do not continue beyond that time period. If the Agreement stipulates a lump sum payment, any such payment for Services performed shall be valued proportionately to the value of the contract.

The Contractor shall not be entitled to any other payment in respect of such termination including, without prejudice to the generality of the foregoing, any payment for any consequential loss or damage or loss of profits arising from termination of this Agreement or in any other way related thereto.

**24. Force Majeure** — Neither the Contractor nor WorkplaceNL shall be deemed to be in default of its obligations under this Agreement, if, and for as long as, any delay or non-performance is directly or indirectly caused by or results from events of Force Majeure beyond the reasonable control of that party. These events shall include, but not be limited to, strikes or other labour disturbance, riots, civil disturbances, wars, fires, explosions, floods, acts of God, epidemics, pandemics and acts of any government or branch or agency thereof. The performance of this Agreement shall resume as soon as practicable after force majeure has ceased.

Force Majeure shall not include the following:

- (a) late delivery of equipment or materials caused by congestion at a manufacturer's plant or elsewhere, an oversold condition of the market, inefficiencies, or similar occurrences; and
- (b) late performance by a sub-contractor(s) unless the delay arises out of a Force Majeure occurrence in accordance with this clause.
- 25. Records and Audit The Contractor shall maintain appropriate records and files in relation to the Services provided under this Agreement for seven (7) years, at which time the Contractor will destroy any and all copies and versions of the said records and files. The Contractor will retain copies of the records and files only to the extent required by law and applicable professional standards. The Contractor shall provide a copy of the said records and files within seven (7) working days of receipt of a written request from WorkplaceNL.

In addition to any other rights of inspection or audit that WorkplaceNL may have under this Agreement or under statute, WorkplaceNL or a person

authorized by WorkplaceNL, may, at any reasonable time and upon reasonable notice to the Contractor, inspect, audit and evaluate the Contractor's compliance with the terms of this Agreement, including but not limited to compliance with Service and invoice obligations, privacy, security and information management, under this Agreement through any means including but not limited to the following means:

- (a) on-site visit and examination of records and files, and inspection of electronic devices upon WorkplaceNL's request;
- (b) observation of the performance of the Services in progress;
- (c) full access to records and files and the ability to make copies of the record; and
- (d) oral or written communication pertaining to Services with any clients, employees, associates, directors, officers, agents and approved subcontractors of the Contractor.

Notwithstanding any other provision of this Agreement, WorkplaceNL shall not be responsible for the Contractor's costs or fees associated with compliance with this section.

- **<u>26. General</u>** The paragraph headings shall not be considered in interpreting the text
- <u>27. Invalid or Unenforceable Provision</u> If any term or provision of this Agreement is found to be illegal, invalid, or unenforceable, notwithstanding this Agreement may, at WorkplaceNL's option, remain in full force and effect and such term or provision shall be deemed removed from this Agreement and the remaining provisions form a valid agreement.
- 28. Waiver Any waiver of, or consent to depart from, the requirements of any provision of this Agreement shall be effective only if it is in writing and signed by the party giving it, and only in the specific instance and for the specific purpose for which it has been given. Failure on the part of any party to exercise, and/or delay in exercising, any right under this Agreement shall not operate as a waiver of such right. No single or partial exercise of any such right shall preclude any other or further exercise of such right or the exercise of any other right.
- **29.** Governing Law This Agreement shall be governed by and interpreted in accordance with the laws of the Province of Newfoundland and Labrador, and the forum for all disputes shall be the Courts of the Province of Newfoundland and Labrador.
- <u>30. Survival of Obligations</u> All the obligations of the Contractor under this Agreement, including but not limited to independent contractor status, confidentiality, warranty and liability, records and audit, termination, indemnification and insurance provisions, shall survive the termination or completion of this Agreement.
- 31. Promotion The Contractor shall not associate WorkplaceNL in any advertising or other promotional materials or messages associated with it without WorkplaceNL's prior written consent. The Contractor, its employees, officers, directors, associates and/or approved sub-contractors shall not approach WorkplaceNL personnel, to in any way promote the business of the Contractor.
- <u>32. Enurement</u> Subject to the express limitations set out in the Agreement, this Agreement shall enure to the benefit of and be binding upon the respective heirs, executors, administrators, successors and permitted assigns of the Parties.
- 33. Agreement Amendment The Agreement may only be modified by a written agreement signed by persons duly authorized by the Contractor and WorkplaceNL.

Contractor	Initials:	
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#### **DECLARATION OF CONFIDENTIALITY/CONFLICT OF INTEREST**

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۹s (۲	As a Contractor, I, (name), Company, hereby swear (or affirm) on behalf of the Company:	an officer	or dire	ctor of the	ne
1.	<ol> <li>I have read and understand the following documents and shall comply with all terms and</li> <li>WorkplaceNL Policy GP-01, Information Protection, Access and Disclosure;</li> <li>WorkplaceNL Standard Terms and Conditions; and</li> <li>WorkplaceNL Confidentiality Schedule (if attached to the Agreement).</li> </ol>	l conditions	outlined	therein:	
2.	<ol> <li>I will comply with all professional standards and all obligations imposed under any app include the Access to Information and Protection of Privacy Act, 2015, SNL 2015, c. the Management of Information Act, SNL 2005, c. M-1.01, as amended, the Privac amended, and the Personal Health Information Act, SNL 2008, c. P-7.01, as amended</li> </ol>	. A-1.2, as a c <b>y Act</b> , RS	amended	("ATIPPA	"),
3.	<ol> <li>I shall not collect, use, or retain, or disclose any Confidential Information whatsoever experform Services, which shall be limited to the minimum amount of information necess Further, I acknowledge and agree that these obligations continue indefinitely, beyond the</li> </ol>	sary to acc	omplish	the purpos	e.
4.	4. When required, I shall return to WorkplaceNL any and all Confidential Information obtai Services. Upon termination of the Company's relationship with any employees, office approved sub-contractors, or when required, I will ensure the return to the Company of any obtained in the course of performing Services. I will retain copies of Confidential Informati law and applicable professional standards.	rs, director y and all Co	s, assoc Infidentia	iaṫes, and/ I Informatio	or on
5.	5. I will immediately notify WorkplaceNL if the Company becomes aware of a breach or powhether the awareness of the breach is by an employee, officer, director, associate, an any other party that the Company may engage to assist in any part of the performance or	nd/or appro	ach of coved sub-	onfidentialit contractor	ty, or
3.	5. I will communicate WorkplaceNL's confidentiality and conflict of interest requirements officers, directors, associates, and/or approved sub-contractors and I will bind them to and sign an oath which addresses the principles of confidentiality contained therein. I a Company is fully and solely responsible for the actions of the Company and its employee and/or approved sub-contractors to ensure compliance with WorkplaceNL's confidence requirements.	comply wit acknowledges, officers,	h those i ge and a directors	equiremen gree that th , associate	nts he es,
7.	<ol><li>I will not permit any actual, possible or perceived conflict of interest between the interests and the interests of the Company, and will immediately disclose any such conflict to Wor</li></ol>	of Workpla rkplaceNL i	ceNL and n writing.	or its clien	ıts
3.	<ul> <li>In particular, the Company is aware of its obligation:</li> <li>to comply with the requirements of applicable legislation to protect the confidentiality the privacy of the individuals who are the subject of that information;</li> <li>to protect the confidentiality of the information that is in the Company's custody or individual who is the subject of that information;</li> <li>to provide for the secure storage, retention and disposal of Confidential Information to access to or disclosure of the Confidential Information.</li> </ul>	r control ar	nd the pr	ivacy of a	ny
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n	SWORN/AFFIRMED       at				
	day of, 20, before me: Signature of Individu	ual			_
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)ر	Commissioner of Oaths Print Name				_

Revised August, 2023 Contractor Initials:\_\_\_\_