WorkplaceNL

Health | Safety | Compensation

Tender: 2020-18-T

2nd Floor Bathroom and Kitchenette Renovations

Issue Date: September 25, 2020

Closing Date: October 9, 2020 at 2:00PM (NL Time)

MANDATORY SITE VISIT REQUIRED on September 30, 2020 at 9:00AM (NL Time)

SECTION 1 – SCOPE OF WORK AND SPECIFICATIONS

1.1 INTENT

The Workplace Health, Safety and Compensation Commission (WorkplaceNL) invites submission on the tender call for the provision of all equipment, labour, disposals, materials and incidentals required to complete renovation work on the 2nd Floor bathrooms, kitchenettes and a janitor closet at the WorkplaceNL's building located at 146-148 Forest Road, St. John's, NL.

1.2 OVERVIEW

WorkplaceNL provides services to employers, injured workers and their dependents, and the public through the administration of the **Workplace Health, Safety and Compensation Act** (the **Act**). These services include promoting workplace health and safety in order to prevent and reduce workplace injuries and occupational disease. WorkplaceNL also works to ensure injured workers receive the best care possible and the benefits to which they are entitled; and facilitates recovery and return-to-work in an early and safe manner. In addition, WorkplaceNL administers an employer classification and assessment system, and must ensure adequate funding for services through sound financial management.

WorkplaceNL is organized along four main functional areas: 1) worker services; 2) employer services; 3) corporate services; and 4) financial services. These functional areas support the organization's three main lines of business:

1. Education on the prevention of workplace injuries, illnesses, and occupational disease;
2. Claims management for injured workers; and
3. Employer assessments (insurance coverage).

1.3 SCOPE OF WORK

1.3.1 The successful Bidder will provide WorkplaceNL all equipment, labour, disposals, materials and incidentals required to complete renovation work on four bathrooms, two kitchenettes and one janitor closet on the 2nd floor of WorkplaceNL's property located on 146-148 Forest Road, St. John's, NL as described herein these tender documents.

The general components of Work include, but are not limited to:

- Demolition of bathrooms, kitchenettes and janitor room
- Installation of wall and floor coverings
- Plastering and painting of walls, doors and ceilings

- Installation of bathroom and kitchenette millwork
- Leveling of concrete floors as required for floor covering installations
- Replacement of plumbing fixtures
- Installation of bathroom wall partitions
- Replacement of doors and related door hardware and equipment
- Replacement and/or upgrade of lighting fixtures and mirrors
- Installation of any and all necessary electrical equipment as it relates to fixture upgrades and tie back into nearest existing electrical panels
- Disposal of waste

Refer to the project drawings and specifications in Appendix A for a complete description of the scope of work and services required.

The expectation of this work is to be completed both during regular work day hours and after hours, as required, which may include evenings and weekends as coordinated with WorkplaceNL. The successful Bidder will be required to attend weekly meetings with WorkplaceNL to provide progress and status updates and address any concerns or issues that may exist.

The work is required to begin in October 2020 and be completed within three months from the start date. WorkplaceNL will work with the successful Bidder to determine an appropriate work schedule as WorkplaceNL is unable to shut down all bathrooms and kitchenettes at the same time to perform the renovations.

1.3.2 Foreman and Supervision

While the work is ongoing, the successful Bidder shall assign a competent foreman and any necessary assistants to the work, who are satisfactory to WorkplaceNL. The foreman shall represent the successful Bidder in their absence, and all directions given to the foreman shall be held to be given to the successful Bidder. The successful Bidder shall give efficient and appropriate supervision to the work, in a professional, skillful and safe manner.

1.3.3 Inspection and Quality of Work

1.3.3.1 All plumbing, electrical and construction work must meet the most current requirements of the National Plumbing Code of Canada, Canadian Electrical Code and be in strict compliance with the National Building Code and all applicable rules and regulations that may be imposed by the Municipal and Provincial Governments, Fire Commissioner and WorkplaceNL.

1.3.3.2 If the specifications, instructions, laws, ordinances or any public authority require any work to be specifically carried out, tested or approved, the successful Bidder shall give WorkplaceNL timely notice of its readiness for

inspection and if the inspection is by an authority other than WorkplaceNL, the date and time must be fixed for such inspection.

1.3.3.3 Re-examination of questioned work may be ordered by WorkplaceNL. If such work is in accordance with the agreement, WorkplaceNL shall pay the cost of re-examination. If such work is not in accordance with the agreement, through the fault of the successful Bidder, the successful Bidder shall pay such costs.

1.3.4 Quality of Goods

1.3.4.1 Unless otherwise stated in the Tender, all material included in the Bid must be new, first quality goods. Used, refurbished, second, obsolete, discontinued or demonstrator items must only be proposed if the Tender specifically request or otherwise states that such goods will be allowed.

1.3.4.2 Where applicable, the end user must be provided with complete operation manuals, warranty registration forms, user licenses/authentications and/or other associated documentation normally provided by the manufacturer, reseller, installer and/or consultants.

1.3.4.3 The Bidder warrants that there are no patents, trademarks or other rights restricting the use, repair or replacement of the goods or services furnished or any part thereof. The Bidder agrees to indemnify and save harmless WorkplaceNL from and against all claims filed or prosecuted in any manner because of such use, repair, or replacement of the goods or services being a violation of any patent, trademark, or other right.

1.3.5 Site Clean Up

The successful Bidder shall at all times keep the premises free from accumulations of surplus materials caused by work. At the completion of the work, the successful Bidder shall remove all materials from and about the premises and all equipment, tools and surplus materials unless specifically outlined herein. In case of dispute, WorkplaceNL, in its sole discretion, may remove surplus materials and charge the cost to the successful Bidder.

1.3.6 Hazardous or Controlled Products

1.3.6.1 The successful Bidder shall comply with the current WHMIS regulations.

1.3.6.2 The successful Bidder shall not use or deliver a hazardous or controlled product, as defined by the Hazardous Products Act, R.S.C. 1985, c. H-3, as amended, for the purposes of the agreement without the prior approval of WorkplaceNL. If such products are approved by WorkplaceNL, the successful Bidder shall be familiar with and fully comply with the Hazardous Products Act, and the Workplace Hazardous Materials Information System (WHMIS)

Regulation 1149/96 under the Occupational Health and Safety Act, R.S.N.L. 1990, c. O-3, as amended.

1.3.6.3 The successful Bidder shall ensure that a hazardous or controlled product is not used, stored or handled in the performance of services unless all of the requirements of the aforesaid *Act* and regulations in respect of labels, identifiers, material safety data sheets and worker education are complied with.

1.3.6.4 The successful Bidder shall ensure that each product has a MSDS sheet and is provided in a binder to WorkplaceNL. It is the responsibility of the successful Bidder to ensure these binders are updated when any new product had been added or any changes to existing products.

1.3.6.5 The successful Bidder shall ensure that all persons who work with a hazardous or controlled product or work in proximity to a hazardous or controlled product are informed about all hazard information received from the supplier of the said product as well as any other hazard information of which the successful Bidder is aware of, or ought to be aware of, concerning the use, storage and handling of the hazardous or controlled product.

1.3.6.6 The successful Bidder shall ensure that, prior to delivery of the hazardous or controlled product to the job site; it is labeled with the supplier's label in accordance with requirements of the aforesaid *Act* and regulations. The successful Bidder shall provide WorkplaceNL with all such information prior to delivery of the hazardous or controlled product to the job site.

1.3.7 Insurance and Bonding

1.3.7.1 In addition to the insurance requirements outlined in the WorkplaceNL Standard Terms and Conditions, the successful Bidder shall, without limiting its obligation or liabilities and at its own expense, provide and maintain the following insurance in the forms and amounts acceptable to WorkplaceNL:

- Products and Completed Operations insurance in an amount not less than $5,000,000 insuring its liability resulting from errors and omissions in the performance of services under this Agreement; and

- Automobile Liability Insurance in an amount not less than $2,000,000 per occurrence, including insurance against accidents while at the WorkplaceNL premises. The deductibles applicable to this insurance shall not exceed Five Thousand Dollars ($5,000) per occurrence.

1.3.7.2 The successful Bidder hereby warrants that it shall provide only bonded employees and the successful Bidder shall provide satisfactory written

confirmation of such bonding throughout the term of this Agreement upon request by WorkplaceNL.

1.3.7.3 Prior to commencing performance of this Agreement and annually thereafter, the successful Bidder shall supply a Criminal Records Screening Certificate, which is acceptable to WorkplaceNL, in relation to all of the successful Bidder's employees, officers, associates, and/or approved sub-contractors who will perform Services under the within Agreement from the Royal Newfoundland Constabulary and any other police force having jurisdiction over the area(s) in which the said employees, officers, associates, and/or approved sub-contractors have resided in the past 5 years.

1.4 SAFETY

1.4.1 The successful Bidder is responsible for the safety of its employees while on the job site and must abide by WorkplaceNL's safety procedures as well as the requirements of the **Occupational Health and Safety Act**, RSNL 1990, c. O-3, and the Regulations thereto, as amended.

1.4.2 The successful Bidder must submit its Safety Policy Manual to WorkplaceNL within fourteen (14) days of award. The Safety Policy Manuel must be acceptable to WorkplaceNL.

1.4.3 The successful Bidder must be **COR** certified through the Newfoundland and Labrador Construction Safety Association and must maintain their good standing throughout the duration of the agreement. A Certificate of Recognition program "letter of good standing' must accompany the Bid documents

1.4.4 The successful Bidder shall ensure that its employees wear proper protection for the work; including but not limited to safety hats, safety shoes, eye or face protection, and other safety equipment at all times.

1.4.5 The successful Bidder and all persons assigned to perform services shall attend a safety meeting held by the Building Superintendent or their designate and shall complete WorkplaceNL's contractor orientation prior to the commencement of the services.

1.4.6 Due to Covid-19 precautions WorkplaceNL will require the successful bidder to include in their safety manual a Covid-19 Safety plan which will detail their Covid-19 Safety Precautions, Safety Protocols, and Fit for Duty Questionnaires.

It is the responsibility of the successful bidder to ensure that workers attending and working at WorkplaceNL's premises to be fully appraised of all applicable safety protocols and to be provided with all the necessary equipment to work safely. The successful bidder is bound by all applicable public health directives and occupational

health and safety laws. WorkplaceNL's review of the successful bidder's safety precautions does not constitute an opinion on compliance with the applicable directives or laws as it relates to public health and Covid-19.

1.5 PERFORMANCE BOND AND FAILURE TO COMPLETE WORK

1.5.1 The successful Bidder shall, within fourteen (14) days from the receipt of notification of acceptance of its Tender, furnish at its expense:

- A Performance Bond in the amount of fifty (50) percent of the contract price (see Appendix "D", Performance Bond); or

- An irrevocable Letter of Credit from a chartered Canadian bank, in a form acceptable to WorkplaceNL, for an amount of not less than fifty (50) percent of the contract price. Such Letter of Credit shall expire forty-five (45) days following the date set herein for completion of the agreement and drafts drawn upon the Letter of Credit shall be exercised by advice to the Royal Bank of Canada, Main Branch, Water Street, St. John's, Newfoundland, Canada.

1.5.2 The Performance Security in the form of a letter of credit, subject to any adjustments as provided for in this document will be returned to the successful Bidder immediately following satisfactory completion of the agreement.

1.5.3 Where, in the opinion of WorkplaceNL, the successful Bidder has failed to perform its duties and obligations under the agreement, WorkplaceNL, shall use the Performance Security to provide for completion of the work, to the limits of the Performance Security as follows:

- Where, the Performance Security has been provided in the form of a Performance Bond, the work shall be completed in accordance with the terms and conditions stipulated in the Bond.

- Where the Performance Security has been provided in the form of a letter of credit, WorkplaceNL shall use sufficient funds obtained from the Performance Security to the limit of the Performance Security, to complete the work, including for any other costs and damages that WorkplaceNL may suffer.

- Any use of the Performance Security to secure completion of the work shall not invalidate any recourse WorkplaceNL may have under the agreement for damages for failure of the successful Bidder to perform under the agreement.

1.6 CHANGES IN SERVICE DELIVERY/SCOPE OF WORK

WorkplaceNL may, at any time, without invalidating the contract, make changes in the Service delivery requirements included in the scope of work and may require the Contractor to perform changes and/or extra services. Changes may include reduction of required service due to floor plan changes, periods of renovation, and/or changes made due to technology innovations as determined by WorkplaceNL. Before any changes in the scope of work is instituted, such changes and/or extra work shall be authorized by a written change order specifying the basis of compensation, and/or reduction in compensation to be paid to the Contractor. The value of any changes shall be determined in one or more of the following ways:

i. by estimate and acceptance in lump sum;

ii. by unit prices agreed upon; or

iii. by cost and percentages or by cost and a fixed sum

SECTION 2 – INSTRUCTIONS TO BIDDERS

2.1 MANDATORY SITE ASSESSMENT/EXAMINATION

2.1.1 Bidders must visit the project site at 9:00 am on Wednesday, September 30, 2020 and become familiar with the surroundings and scope of work prior to submitting a Bid. Upon arrival for site assessment, please ask for Mr. Jerry Welsh, Building Superintendent. A “Declaration of Confidentiality/Conflict of Interest” in the form attached hereto must be completed upon visit to the site for the assessment/examination.

Due to Covid-19 precautions, WorkplaceNL will require all attendees to wear a facemask or protective face covering while on WorkplaceNL premises, and physical distancing protocols will be required to be adhered to.

2.2 QUALIFICATIONS AND EXPERIENCE

2.2.1 The successful Bidder must possess the necessary knowledge, skill and experience to perform renovation work on bathrooms and kitchenettes and must meet the following mandatory criteria:

- The successful Bidder must have a proven record of providing the services tendered with a minimum of five (5) years’ experience.

- Bidders must be certified, licensed and authorized to do business in the Province of Newfoundland and Labrador prior to submitting a bid. The successful Bidder must continue to be certified, licensed, registered and authorized to do business in the Province of Newfoundland and Labrador during the term of the agreement.

2.3 ELECTRONIC COPY OF DOCUMENT

2.3.1 WorkplaceNL reserves the right to modify the terms of the Tender by issuance of addenda at any time prior to closing. It is the responsibility of the Bidder to ensure that they monitor WorkplaceNL's website (http://www.workplacenl.ca) or externally through the web posting at www.merx.com for any addendum to the Tender issued up to and including the closing date.

2.3.2 It is the Bidder's responsibility to ensure that they have received a complete set of documents. By submitting a Bid, the Bidder verifies that they have received a complete set of Tender documents including any and all addenda. All terms, conditions, and/or specifications stated or referenced in the Tender are assumed to be accepted by the Bidder and incorporated in the Bid.

2.3.3 Bidders who have obtained the Tender electronically must not alter any portion of the document, with the exception of applying any addendum issued by WorkplaceNL.

2.4 QUESTIONS AND CLARIFICATION

2.4.1 All questions related to this Tender must be directed in writing by email to purchasing@workplacenl.ca and received by WorkplaceNL before 4:30 p.m. Newfoundland Time on October 2, 2020.

2.4.2 All questions must include the Tender number and title in the email subject line. All questions should include the Bidder's name and address, contact person's name, telephone number, and email address, and the reference to the specific section and page number of the Tender in question.

2.4.3 To the extent that WorkplaceNL considers that the answer to the question may assist in the preparation of a Bid, WorkplaceNL will post an addendum on its website which will be part of the Tender. WorkplaceNL may not answer a question where WorkplaceNL considers the information requested is not required to prepare a Bid, or where the answer to the question posed may be found in the Tender. No responses shall be binding upon WorkplaceNL unless made in writing. Information obtained from any other source is not official and may be inaccurate and it is not binding.

2.5 CONFIDENTIALITY AND OWNERSHIP OF INFORMATION

2.5.1 Information pertaining to WorkplaceNL obtained by the Bidder as a result of participation in this Tender and/or negotiations with WorkplaceNL, if any, is confidential and shall not be disclosed without prior written authorization from WorkplaceNL.

2.5.2 The Tender and any supplementary document or portion thereof is proprietary information, and must not be used by the Bidder without the permission of WorkplaceNL, other than for the submission of Bids.

2.5.3 All Bids submitted become the property of WorkplaceNL. By submitting a Bid, the Bidder hereby grants WorkplaceNL a license to distribute, copy, print, or translate the Bid for the purposes of the Tender. Any attempt to limit WorkplaceNL's right in this area may result in rejection of the Bid.

2.5.4 The procurement process is subject to the **Access to Information and Protection of Privacy Act, 2015**, SNL 2015 c. A-1.2, as amended (**ATIPPA**). The Bidder's Bid package may be subject to disclosure under the **ATIPPA**. By submitting a Bid, the Bidder agrees to the appropriate disclosure of the information supplied, subject to the provisions of the governing law. WorkplaceNL cannot guarantee the confidentiality of the content of any Bid after the closing date. WorkplaceNL shall not be liable to any Bidder for any claim, direct or indirect, whether for costs, expenses, losses or damages, or loss of anticipated profits, or for any other matter whatsoever incurred by the Bidder as a result of disclosure pursuant to the **ATIPPA***.*

2.5.5 By submitting a bid, the Bidder agrees that it has identified any specific information in its bid that may qualify for an exemption from disclosure under subsection 39(1) of the **ATIPPA**. If no specific information has been identified it is assumed that, in the opinion of the Bidder, there is no specific information that qualifies for an exemption under subsection 39(1) of the **ATIPPA** and information may be released without further notice.

2.5.6 The financial value of a contract resulting from this procurement process will be publically released as part of the award notification process.

2.6 NO CLAIMS BY BIDDER

2.6.1 By participating in the process outlined in this Tender document, the Bidder consents to the procedures as described in this Tender.

2.6.2 By submitting a Bid, each Bidder irrevocably waives any claim, action or proceeding against WorkplaceNL, including without limitation any judicial review or injunction application, or against any of WorkplaceNL's employees, advisors or representatives

for damages, expenses or costs including costs of Bid preparation, loss of profits, loss of opportunity or any consequential loss for any reason including: any actual or alleged unfairness on the part of WorkplaceNL at any stage of the procurement process; if WorkplaceNL does not award or execute a contract; or, if WorkplaceNL is subsequently determined to have accepted a noncompliant bid or otherwise breached or fundamentally breached the terms of this procurement.

2.7 CONFLICT OF INTEREST

2.7.1 The Bidder, its employees, officers, associates and/or approved sub-contractors shall not and will not have any conflict of interest (actual or potential) in submitting its Bid or, if selected, in providing services under the agreement. Where applicable, the Bidder must declare in its Bid any situation that may be a conflict of interest in submitting its Bid or, if selected, with the contractual obligations under the agreement.

2.7.2 If, at the sole and absolute discretion of WorkplaceNL, the Bidder, its employees, officers, associates and/or approved sub-contractors is found by WorkplaceNL to be in an actual or perceived conflict of interest either during the Tender or after award of the contract, WorkplaceNL may, in addition to any other remedies available at law or in equity, disqualify the Bid submitted by the Bidder or terminate the agreement.

2.7.3 Sub-contracting to any firm or individual whose current or past corporate or other interests may, in WorkplaceNL's opinion, give rise to an actual or perceived conflict of interest in connection with this Tender will not be permitted. This includes, but is not limited to, any firm or individual involved in the preparation of the Tender.

2.8 AGREEMENT

2.8.1 The successful Bidder shall comply with the WorkplaceNL Standard Terms and Conditions, Appendix "F". To be eligible to provide services to WorkplaceNL, the successful Bidder shall initial all 5 pages of the WorkplaceNL Standard Terms and Conditions within the time frame established by WorkplaceNL.

2.8.2 Any awards made pursuant to this Tender process are subject to receipt by WorkplaceNL of the initialed WorkplaceNL Standard Terms and Conditions

2.8.3 Claims made by the Bidder in the Bid will constitute Contractual warranties.

2.9 TENDER CLOSING AND DELIVERY

2.9.1 Bidders are required to submit Bids via electronic upload at www.merx.com (**see**

Appendix "E" – Electronic Bid Instructions). Hard copy paper bids will **NOT** be accepted for this opportunity.

In the event that WorkplaceNL's St. John's office is closed due to poor weather conditions or other unscheduled closure, the Tender deadline will be extended to the next business day before 2:00 pm Newfoundland time.

2.9.2 Bidders will be solely responsible for the delivery of their Bids, in their entirety, in the manner and time prescribed. Bids or any portion thereof, received after the closing time will not be considered.

2.10 BID INSTRUCTIONS

2.10.1 The Bidder must submit the Bid and related documentation, including Appendix "B", Check List.

2.10.2 The Bidder must submit one copy of the attached Appendix "C", Bid Form, which must be signed by the Bidder or an authorized representative of the Bidder. If the Bidder is a corporation, the Bid must be signed by the authorized signing officer of the corporation.

2.10.3 It is essential that the Bid is complete and thoroughly addresses each requirement identified in the Tender, as incomplete Bids may be declared "non-responsive". Bids that are improperly signed, conditional, illegible, obscure, or contain arithmetical errors, erasures, alterations, or irregularities of any kind may be considered invalid.

2.10.4 The Bid must include a written statement of the company history, including, but not limited to, the length of time in business, and the length of time completing renovation work of a similar size and scope AND/OR a written statement outlining the knowledge, skills and experience of the Bidder and describing how the Bidder meets the mandatory criteria listed in paragraph 2.2.1.

2.10.5 The Bid must include a Certificate of Recognition program "letter of good standing" which confirms that the Bidder is COR certified through the Newfoundland and Labrador Construction Safety Association.

2.10.6 The Bid shall be accompanied by a list with a minimum of three (3) client references with appropriate contact information who can provide evidence of previous experience providing similar services with comparable scope and tender value. This list shall include the name of a contact person for reference purposes. References may be contacted as part of the review process. The list of references should exclude any potential references from WorkplaceNL.

2.10.7 The successful Bidder must provide bonded employees and Dishonesty coverage in the amount of $10,000 for each employee. Proof of bonding must be provided to WorkplaceNL for any and all employees working under the agreement within 14 days from the receipt of notification of acceptance of its tender. Notice of cancellation of bonding must be immediately provided to WorkplaceNL.

2.10.8 The Bidder must describe the duration, type (e.g. on site, depot, ship-in or carry-in) and terms of the manufacturer's warranty on all goods, services performed, including installation of such services. If the Bidder provides any additional/supplementary warranty coverage, the Bidder must describe this as well.

2.10.9 If warranties can be upgraded or extended, the Bidder must identify the upgrade costs separately. Do not include warranty upgrade or extension costs in the Bid price unless the Tender specifically states that the upgrade is a mandatory requirement.

2.10.10 The Bidder must acknowledge that they have read and understood any and all addenda in both the Appendix "B", Check List and the Appendix "C", Bid Form.

2.10.11 Shipping, cartage, lading, insurance and handling charges must be included in the total price. If these charges have not been stated specifically, it will be assumed that they have been included in the Bid price.

2.10.12 By submitting a Bid, the Bidder guarantees that, unless the Tender specifies otherwise, all components required to make the required equipment or system operable or to deliver the required services have been included in the Bid, or will be provided at no additional charge to WorkplaceNL.

2.10.13 While WorkplaceNL has tried to ensure the accuracy of the Tender, it is not guaranteed or warranted by WorkplaceNL to be accurate, nor is it necessarily comprehensive or exhaustive. WorkplaceNL will assume that all Bidders have resolved any questions they might have about the Tender and have informed themselves as to the existing conditions and limitations, site restrictions, etc. before submitting their Bids. Nothing in the invitation is intended to relieve Bidders from forming their own opinions and conclusions with respect to the matters addressed in the Tender.

2.10.14 Any error in the Bid is the responsibility of the Bidder. Submitted Bids may be amended prior to closing by submitting a complete new Bid clearly indicating it replaces the previously submitted Bid. Any such new Bid is subject to the requirements as outlined herein. The said new Bid replaces any other Bids previously submitted by the Bidder, and only the last of any new Bids received will be accepted.

2.10.15 Any Bid received in response to a Tender may be withdrawn by written request to the Manager of Purchasing at purchasing@workplacenl.ca, but cannot be withdrawn, altered or changed in any way after the Tender Closing Date. All requests for withdrawal, amendment or submission of a replacement Bid must be submitted in

writing on company letterhead or equivalent, and be signed by the Bidder, an authorized representative of the Bidder or, if a corporation, an authorized signing officer of the corporation.

2.11 BID EVALUATION

2.11.1 Tender evaluation and award of contract will be done in accordance with the **Public Procurement Act**, SNL 2016, c. P-41.001, as amended, and WorkplaceNL's procedures.

2.11.2 Tenders will be opened publicly immediately following the Tender closing in accordance with the Public Procurement Regulations, as amended. The names of all Bidders will be provided at the public opening. You can attend this public opening by emailing purchasing@workplacenl.ca to request a Webex meeting invite. Bidders must include their name; email address; and tender number. Meeting requests must be received by WorkplaceNL before 4:00 p.m. Newfoundland Time on October 7, 2020.

2.11.3 The Bid shall remain open for acceptance and is irrevocable for a period of ninety (90) days after the Tender closing date.

2.11.4 WorkplaceNL reserves the right to non-disclosure of pricing submitted by Bidders during the public opening. All Bidders will be notified electronically of the bidder names and bid prices within two (2) business days of the public opening. This information is for reference purposes only, and a full bid evaluation will be conducted to determine the preferred supplier.

2.11.5 WorkplaceNL reserves the right to waive any minor irregularity or non-compliance where such irregularity or non-compliance is not of a material nature in its sole and absolute discretion. Such minor irregularity or non-compliance will be deemed substantial compliance and capable of acceptance. WorkplaceNL will be the sole judge of whether a Bid is accepted or rejected.

2.11.6 WorkplaceNL, in its sole discretion, reserves the right to cancel the Tender without award. WorkplaceNL reserves the right to accept or reject any or all Bids in whole or in part. WorkplaceNL is not bound to accept the lowest or any Bid.

2.11.7 The Bidder may be required to demonstrate financial stability, authorization to provide the good/services being acquired, and/or regulatory agency approval, licensing or registration as needed, or otherwise clarify Bidder's capability to satisfy the Tender requirements. WorkplaceNL reserves the right to reject Bids from any Bidder that it feels is incapable of providing the necessary labour, materials, equipment, financing or management resources to perform the work or supply the goods in a satisfactory and timely manner.

2.11.8 WorkplaceNL, in its sole discretion, may assess the Bidders' experience and/or ability to provide the goods and/or services required and described in this Tender by checking the Bidders' references. A contract will not be awarded to any Bidder whose references, in the opinion of WorkplaceNL, are found to be unsatisfactory. WorkplaceNL reserves the right to obtain references from sources other than those provided in the Bid. WorkplaceNL reserves the sole discretion to determine whether the Bidder and its professional staff have the appropriate qualifications.

2.11.9 WorkplaceNL reserves the right to disqualify any Bidder if the Bidder has either breached an agreement and/or failed to provide satisfactory service and/or deliveries under any prior agreement with WorkplaceNL, in the sole opinion of WorkplaceNL.

2.11.10 WorkplaceNL reserves the right to determine equivalency, and may require demonstrator or sample items in order to be able to evaluate the items proposed. WorkplaceNL will be the sole judge of equivalence.

2.11.11 Upon acceptance by WorkplaceNL, a written Bid acceptance will be forwarded to the successful Bidder prior to signing the agreement.

2.11.12 In the event that the selected Bid(s) is higher than the budget approved by WorkplaceNL's Board of Directors, any awards made pursuant to this Tender process are subject to approval of the Board of Directors. In addition to any other rights of cancellation contained herein, WorkplaceNL, in its sole discretion, reserves the right to cancel this Tender without award should the Board of Directors not approve the award.

SECTION 3: GENERAL

3.1 Payment of invoices will be through direct deposit. The successful Bidder is required to meet WorkplaceNL's billing and accounting requirements. The successful Bidder shall invoice WorkplaceNL electronically on a monthly basis. Invoices must be legible and clearly labeled with the successful Bidder's invoice number. The Bidder must acknowledge in the Appendix "C", Bid Form that the Bidder agrees to direct deposit and electronic invoicing.

3.2 The successful Bidder must provide a payment schedule upon award to be approved by WorkplaceNL.

3.3 This Tender, all Bids, and any agreement will be construed and interpreted in accordance with the laws of the Province of Newfoundland and Labrador.

3.4 The Bidder shall not use WorkplaceNL's name or logo or make reference to this Tender in any advertising copy or other promotional materials or messages without WorkplaceNL's prior written consent.

3.5 WorkplaceNL reserves the right to tender any services by invited tender or public tender, as deemed necessary.

APPENDIX "A"

Drawings and Specifications

WORKPLACENL WASHROOMS PHASE II

148 FOREST ROAD,
ST. JOHN'S, NL, A1A 1E6

ARCHITECTS PROJECT # 193036

A PROJECT FOR

WORKPLACE NL

Mech.

Innovative Development & Design Engineers Ltd.
42 Powers Court
St. John's, NL A1A 1B6
709.368.8870
hubert.alacoque@iddel.ca
Hubert Alacoque

Owner

WorkPlaceNL
148 Forest Road
St. John's, NL A1A 1E6
709.778.1000
dean.whalen@workplacenl.ca
Dean Whalen

Architect

Powers Brown Architecture
354 Water Street., Suite 212
St. John's, NL A1C 1C4
709.726.3941
jackson@powersbrown.com
Mr. Peter Jackson

WorkplaceNL

Health | Safety | Compensation

powers brown architecture

193036

WORKPLACENL WASHROOMS PHASE II

ABBREVIATIONS

Ø	DIAMETER
℄	CENTER LINE
#	POUND/ NUMBER
&	AND
@	AT
A/C	AIR CONDITIONING
ACT	ACOUSTICAL CEILING TILE
ADA	AMERICANS WITH DISABILITIES ACT
ADDL	ADDITIONAL
AFF	ABOVE FINISH FLOOR
AFG	ABOVE FINISH GRADE
AHU	AIR HANDLING UNIT
ALT	ALTERNATE
ALUM	ALUMINUM
ARCH	ARCHITECT
BD	BOARD
BFF	BELOW FINISH FLOOR
BLDG	BUILDING
BOM	BOTTOM OF MULLION
BOR	BOTTOM OF REVEAL
CAB	CABINET
CJ	CONTROL JOINT/ CONSTRUCTION JOINT
CLG	CEILING
CIP	CAST-IN-PLACE
CLR	CLEAR
CMU	CONCRETE MASONRY UNIT
COL	COLUMN
CONC	CONCRETE
CONSTR	CONSTRUCTION
CONT	CONTINUE
CORR	CORRIDOR
CT	CERAMIC TILE
DF	DRINKING FOUNTAIN
DIM	DIMENSION
DIST	DISTANCE
DS	DOWNSPOUT
DWG	DRAWING
EIFS	EXTERIOR INSULATED FINISH SYSTEM
EJ	EXPANSION JOINT
ELEC	ELECTRIC
ELEV	ELEVATOR
EQ	EQUAL
EXIST	EXISTING
EXP	EXPANSION
EXT	EXTERIOR
FD	FLOOR DRAIN
FE	FIRE EXTINGUISHER
FEC	FIRE EXTINGUISHER CABINET
FLR	FLOOR
FLUOR	FLUORESCENT
FIN	FINISH
FIXT	FIXTURE
FV	FIELD VERIFY
GA	GAGE
GALV	GALVANIZED
GYP	GYPSUM
HB	HOSE BIB
HDW	HARDWARE
HM	HOLLOW METAL
HNDRL	HANDRAIL
HORIZ	HORIZONTAL
HT	HEIGHT
INSUL	INSULATION
INFO	INFORMATION
INT	INTERIOR
JAN	JANITOR
LAV	LAVATORY
LDG	LANDING
LT	LIGHT
LWC	LIGHTWEIGHT CONCRETE
MAX	MAXIMUM
MFR	MANUFACTURER
MIN	MINIMUM
MO	MASONRY OPENING
MTD	MOUNTED
MTL	METAL
MULL	MULLION
NIC	NOT IN CONTRACT
NTS	NOT TO SCALE
OC	ON CENTER
OF/CI	OWNER FURNISHED/ CONTRACTOR INSTALLED
OF/OI	OWNER FURNISHED/ OWNER INSTALLED
OPH	OPPOSITE HAND
PLAM	PLASTIC LAMINATE
PLYWD	PLYWOOD
PR	PAIR
PTD	PAINTED
R	RADIUS, RISER OR RISERS
RD	ROOF DRAIN
REQD	REQUIRED
REV	REVISION
RM	ROOM
RO	ROUGH OPENING
RTU	ROOF TOP UNIT
SCWD	SOLID CORE WOOD DOOR
SECT	SECTION
SIM	SIMILAR
SPECD	SPECIFIED
SQ	SQUARE
SST	STAINLESS STEEL
STO	STORAGE
STRUCT	STRUCTURAL
TOC	TOP OF CURB
TOM	TOP OF MULLION
TOP	TOP OF PARAPET
TOR	TOP OF REVEAL
TOS	TOP OF SLAB
TYP	TYPICAL
UNO	UNLESS NOTED OTHERWISE
VCT	VINYL COMPOSITION TILE
VERT	VERTICAL
VEST	VESTIBULE
W/	WITH
W/O	WITHOUT
WD	WOOD
WDW	WINDOW

SYMBOL LEGEND

TRUE NORTH / PROJECT NORTH (N)	NORTH ARROW
X	COLUMN ID
	EXISTING CONSTRUCTION TO REMAIN
	EXISTING CONSTRUCTION TO BE DEMOLISHED
	NEW PARTITION
FIRE RATING — XXXX	HEAD CONDITION
PARTITION TYPE	STUD SIZE
	EXISTING DOOR
	NEW DOOR
	TO CENTER LINE OF BUILDING ELEMENT
	FACE OF FINISH
A1 / A101	DETAIL NUMBER / SHEET NUMBER
SIM	DESCRIPTION OF SIMILAR OR OPPOSITE
	AREA TO BE DETAILED
A1 / A101	BLDG SECTION NUMBER / SHEET NUMBER
A1 / A101	WALL SECTION OR DETAIL NUMBER / SHEET NUMBER
A	LOCATION ON ROW WHERE SHOWN
	DIRECTION OF ELEVATION
A1 / A101	ROW ON ELEVATION SHEET WHERE SHOWN / SHEET WHERE SHOWN
XXXX	ROOM NAME
XXXX	ROOM NUMBER
XXXX	ROOM AREA
XXXX	DOOR NUMBER (WITH SCHEDULE)
1	KEYNOTE TAG
X	WINDOW TAG
W1	FINISH - WALL (WITH SCHEDULE)
B1	FINISH - BASE (WITH SCHEDULE)
F1	FINISH - FLOOR (WITH SCHEDULE)
C1	FINISH - CEILING (WITH SCHEDULE)
9'-0"	DIMENSION OF CEILING ABOVE FINISH FLOOR
P1	EQUIPMENT (WITH SCHEDULE)
$2	WALL MOUNTED ONE-WAY SWITCH
	DATA / TELEPHONE, WALL MTD
	TELEPHONE ONLY, WALL MTD
	DATA ONLY, WALL MTD
	DATA / TELEPHONE, FLOOR MTD
	110 DUPLEX RECEPTACLE, WALL MTD
	110 DUPLEX RECEPTACLE, FLOOR MTD
	DUPLEX CONVENIENCE, WALL MTD
	DUPLEX DEDICATED, WALL MTD
	DUPLEX SEPARATE, WALL MTD
	DOUBLE DUPLEX CONVENIENCE, WALL MTD
	DOUBLE DUPLEX DEDICATED, WALL MTD
	DOUBLE DUPLEX SEPARATE, WALL MTD
	DOUBLE DUPLEX RECEPTACLE, FLOOR MTD
	SIMPLEX CONVENIENCE, WALL MTD
	SIMPLEX DEDICATED, WALL MTD
	SIMPLEX SEPARATE, WALL MTD
	CEILING MOUNTED EXIT SIGN
FEC	FIRE EXTINGUISHER CABINET

VICINITY MAP

PROJECT LOCATION

148 FOREST ROAD
ST. JOHN'S, NL A1A 1E6

DRAWING INDEX

Future Issue (12)	Future Issue (11)	Future Issue (10)	Future Issue (09)	Future Issue (08)	Future Issue (07)	Future Issue (06)	Future Issue (05)	Issue for Construction	Issue for Addendum 1	Issue for Tender	Issue for Client Review	Sheet Number	Sheet Name

DRAWING INDEX - GENERAL

											•	G000	COVER
											•	G001	PROJECT INFO, SYMBOL & ABBRV INDEX
											•	G003	ACCESSIBILITY CODE SHEET
											•	G004	TOILET STANDARDS
											•	G006	SHEET SPECIFICATIONS
											•	G007	SHEET SPECIFICATIONS

DRAWING INDEX - ARCHITECTURAL

											•	A420	LEVEL 02 ENLARGED PLANS AND ELEVATIONS
											•	A421	LEVEL 02 ENLARGED PLANS AND ELEVATIONS
											•	A422	LEVEL 02 ENLARGED PLANS AND ELEVATIONS
											•	A530	MILLWORK SECTIONS
											•	A601	PARTITION TYPES
											•	A602	DOOR ELEVATIONS & DOOR & FRAME SCHEDULE
											•	A604	FINISH & WASHROOM ACCESSORY SCHEDULE
											•	A605	PLUMBING AND LIGHTING FIXTURE SCHEDULE

DRAWING INDEX - MECHANICAL

											•	M-0	COVER
											•	M-1	MECHANICAL SPECIFICATION
											•	M-2	MECHANICAL LEGEND
											•	M-3	DEMOLITION WASHROOM PLANS
											•	M-4	NEW WASHROOM PLAN - MECHANICAL LAYOUT
											•	M-5	MECHANICAL SCHEDULES & DETAILS
											•	M-6	PLUMBING DETAILS

DRAWING INDEX - ELECTRICAL

											•	E-0	COVER
											•	E-1	ELECTRICAL LEGEND
											•	E-2	DEMOLITION WASHROOM PLANS
											•	E-3	NEW WASHROOM PLANS - LIGHTING, FIRE ALARM & EXIT EMERGENCY LIGHTING LAYOUT
											•	E-4	NEW WASHROOM PLANS - POWER LAYOUT
											•	E-5	ELECTRICAL SCHEDULE & DETAILS
											•	E-6	ELECTRICAL SPECIFICATION

powers brown architecture

Architectural Consultant:
Powers Brown Architecture
354 Water St., Suite 212
St. John's, NL A1C 1C4
709.726.3941

www.powersbrown.com

PROJECT TITLE

WORKPLACENL
WASHROOMS PHASE II
148 FOREST ROAD,
ST. JOHN'S, NL, A1A 1E6

A PROJECT FOR

WORKPLACE NL

GENERAL NOTES

A. ALL MATERIALS ON JOB TO COMPLY WITH FEDERAL AND PROVINCIAL VOC/AIM REGULATIONS.
B. ALL CONSTRUCTION TO COMPLY WITH FEDERAL CSA STANDARDS, CURRENT ENERGY CODE AND LOCAL AMMENDMENTS OR REQUIREMENTS.
C. ALL FIRE WALL PENETRATIONS SHALL BE SEALED WITH FIRE RATED FOAM SEALANT (BOTH SIDES OF WALL). SEALANT TYPE SHALL BE A COMPATIBLE RATING TO THE WALL SYSTEMS.
D. MAXIMUM CLEAR SPAN HEIGHTS FOR INTERIOR METAL STUDS SHALL BE SUCH THAT DEFLECTION SHALL NOT EXCEED L/360 UNDER A 5 PSF LOAD (CERAMIC TILE FINISHES AND/OR WALLS TO DECK) AND L/120 AT ALL OTHER AREAS.
E. WHERE REQUIRED BY CODE ALUMINUM VERTICAL MULLIONS TO RECEIVE STEEL STIFFENER TO ACHIEVE WIND LOAD CAPACITY.
F. ALL WOOD FRAMING, BLOCKING, SHEATHING OR BRACING SHALL BE FIRE RETARDANT TREATED.
G. DO NOT SCALE THESE DRAWINGS FOR DIMENSIONAL INFORMATION. REFER TO DIMENSIONS ON THE FLOOR PLANS AND ENLARGED PLANS. IF THERE IS A CONFLICT WITH THE PLAN DIMENSIONS OR AN EXISTING FIELD CONDITION, CONTACT THE ARCHITECT. DIMENSIONS ARE GIVEN TO FACE OF FINISH, UNO.
H. REFER TO BUILDING ELEVATION DRAWINGS FOR FINISH MATERIAL CALL OUTS AND PAINT REQUIREMENTS. VERIFY COLOR OF MATERIALS NOT SHOWN ON THE DRAWINGS WITH THE ARCHITECT.
I. ALL GYPSUM BOARD THROUGHOUT THE PROJECT SHALL BE 5/8" THICK, UNO. (TYPE 'X' IF REQUIRED) USE WATER RESISTANT GYPSUM BOARD AT ALL WET LOCATIONS AND 5/8" FIBER REINFORCED CEMENT BOARD BEHIND ALL WALL TILE.
J. GALVANIZE ALL EXPOSED EXTERIOR STEEL.

△	DATE	REVISION
	2020-08-31	Issue for Construction
1	2020-09-15	Issue for Revision 1

PROJECT NO: 193036
DRAWN BY: ZL
CHECKED BY: PJ

SHEET TITLE

PROJECT INFO, SYMBOL & ABBRV INDEX

SEAL

NEWFOUNDLAND AND LABRADOR MEMBER
John P. Holland, NLAA
Expires Dec 31, 2020
Date: 2020.09.10
LICENSED TO PRACTICE
ASSOCIATION OF ARCHITECTS

SHEET NUMBER

G001

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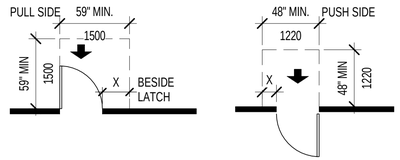
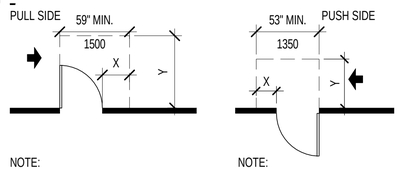
D



NOTE: X = 23 1/2" (600) MIN. BESIDE LATCH

NOTE: X = 12" (300) MIN. BESIDE LATCH

(A) FRONT APPROACHES - SWINGING DOORS

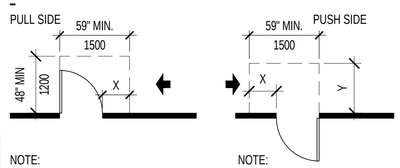


NOTE:
X = 23 1/2" (600) MIN. BESIDE LATCH;
Y = 59" (1500) MIN.

NOTE:
X = 17 1/2" (450) MIN. BESIDE LATCH;
Y = 42" (1050) MIN.

C

(B) HINGE SIDE APPROACHES - SWINGING DOORS



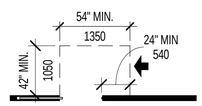
NOTE:
X = 23 1/2" (600) MIN. BESIDE LATCH

NOTE:
X = 23 1/2" (600) MIN. BESIDE LATCH
Y = 42" (1050) MIN.

(C) LATCH SIDE APPROACHES - SWINGING DOORS

B

(D) FRONT APPROACH
- SLIDING DRS & FOLDING DRS



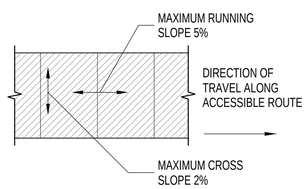
(E) SLIDE SIDE APPROACH
_SLIDING DRS & FOLDING DRS

NOTE:
ALL DOORS IN ALCOVES SHALL COMPLY WITH THE CLEARANCES FOR FRONT APPROACHES

(F) LATCH SIDE APPROACH
- SLIDING DRS & FOLDING DRS

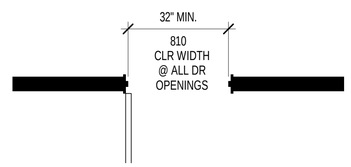
DOOR CLEARANCES

SCALE: 3/16" = 1'-0"



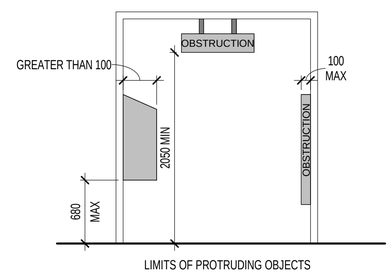
ACCESSIBLE ROUTES

SCALE: 3/8" = 1'-0"



DOOR - CLEAR WIDTH

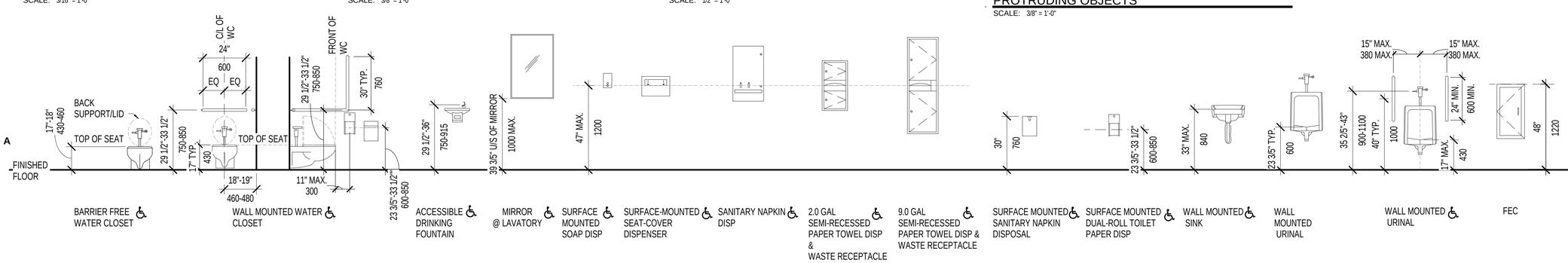
SCALE: 1/2" = 1'-0"



PROTRUDING OBJECTS

SCALE: 3/8" = 1'-0"

A



ACCESSORY MOUNTING HEIGHTS - TYP.

SCALE: 3/8" = 1'-0"

ACCESSIBLE DOOR SHALL COMPLY WITH THE FOLLOWING:

1. THRESHOLD SHALL BE A MAXIMUM ½" (13mm) IN HEIGHT.
2. RAISED THRESHOLDS AND FLOOR LEVEL CHANGES AT ACCESSIBLE DOORWAYS SHALL BE BEVELED WITH A SLOPE OF NO MORE THAN 1:2.
3. MAXIMUM DOOR OPENING FORCE SHALL NOT EXCEED 8.5 POUNDS (38N) FOR EXTERIOR HINGED DOOR, 5 POUNDS (22N) FOR SLIDING, 5 POUNDS (22N) FOR INTERIOR DOOR.
4. DOOR HARDWARE SHALL BE LEVER HANDLE OR EQUIVALENT AND MOUNTED BETWEEN 35" (900mm) - 43"(1100mm) ABOVE FINISH FLOOR.
5. DOOR CLOSERS, WHERE PROVIDED, SHALL BE ADJUSTED TO CLOSE FROM 90 DEGREES TO 12 DEGREES WITHIN 3 SECONDS OR MORE.
6. ALL DOORS SHALL BE CAPABLE OF OPENING SO THAT THE CLEAR WIDTH OF THE OPENING IS NOT LESS THAN 32" (810mm).

LAVATORIES & ASSOCIATED MIRRORS TO BE INSTALLED AS SHOWN:

1. HEIGHT: LAVATORIES AND SINKS SHALL BE MOUNTED WITH THE RIM OF THE COUNTER SURFACE NO HIGHER THAN 34" (864mm) ABOVE FINISH FLOOR. THE TOTAL DEPTH OF CLEAR SPACE BENEATH THE LAVATORY SHALL NOT BE MORE THAN 19" (480mm) KNEE CLEARANCE SHALL BE AT LEAST 30"(750mm) W X 8"(200mm) D X 27"(685mm) H WITH AN ADDITIONAL TOE CLEARANCE AT LEAST 30" (750mm) W X 9" (230mm) D X 9" (230) H.
2. EXPOSED PIPES AND SURFACES: ALL PIPES UNDER LAVATORIES AND SINKS SHALL BE INSULATED OR OTHERWISE COVERED. THERE SHALL BE NO SHARP OR ABRASIVE SURFACE UNDER LAVATORIES OR SINKS.
3. FAUCETS: LEVER-OPERATED FAUCET CONTROL HANDLES SHALL BE LOCATED IN KITCHENS AND JANITORS CLOSETS NOT MORE THAN 17"(432mm) FROM THE FRONT EDGE OF THE LAVATORY. SINK, OR COUNTER. SELF CLOSING VALVES SHALL REMAIN OPEN FOR AT LEAST 10 SECONDS PER OPERATION.
4. MIRRORS SHALL BE MOUNTED WITH THE BOTTOM EDGE 39" (1000 mm) MAXIMUM ABOVE THE FINISH FLOOR OR GROUND.

CONTROLS & OPERATING MECHANISMS SHALL COMPLY WITH THE FOLLOWING:

1. CLEAR FLOOR SPACE: CLEAR FLOOR SPACE COMPLYING WITH NBC/CSA/ LOCATION REGULATION THAT ALLOWS A FORWARD OR PARALLEL APPROACH BY A PERSON USING A WHEELCHAIR SHALL BE PROVIDED AT CONTROLS, DISPENSERS, RECEPTACLES, AND THER OPERABLE EQUIPMENT.
2. HEIGHT: THE HEIGHTS OPERABLE PART OF CONTROLS, DISPENSERS, RECEPTACLES, AND OTHER EQUIPMENT SHALL BE LACED AT LEAST ON TO THE REACH RANGES 16"(400mm)-47"(1200mm). ELECTRICAL AND COMMUNICATIONS SYSTEMS RECEPTACLES ON WALLS SHALL BE MOUNTED NO LESS THAN 15" (400mm) AFF.LL BE BEVELED WITH A SLOPE OF NO MORE THAN 1:2.
3. OPERATION: CONTROLS AND OPERATING MECHANISMS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE CONTROLS SHALL BE NO GREATER THAN 5 LBS (22N).

SIGNAGE SHALL COMPLY WITH THE FOLLOWING:

1. CHARACTER PROPORTION: LETTERS AND NUMBERS ON SIGNS SHALL HAVE A WIDTH TO HEIGHT RATIO BETWEEN 3:5 AND 1:1 AND STROKE TO HEIGHT RATIO BETWEEN 1:5 AND 1:10.
2. CHARACTER HEIGHT: MINIMUM CHARACTER HEIGHT SHALL BE RELATIVE TO THE INTENDED VIEWING DISTANCE IN COMPLIANCE TO NBC/CSA.
3. RAISED AND BRAILLED CHARACTER AND PICTORIAL SYMBOLS: LETTERS AND NUMERALS SHALL BE RAISED BETWEEN 0.8mm 1.5mm, UPPER CASE SANS SERIF TYPE SHALL BE ACCOMPANIED WITH GRADE 1 BRAILLE. RAISED CHARACTERS SHALL BE 3/5"(16mm) - 2"(50mm) IN HEIGHT. PICTOGRAM SHALL BE AT LEAST 6" (150mm) IN HIGH. COLOUR CONTRAST WITH THEIR BACKGROUND BY AT LEAST 70%.
4. FINISH AND CONTRAST: THE CHARACTERS AND BACKGROUND OF SIGNS SHALL BE EGGSHELL, MATTE, OR OTHER NON-GLARE FINISH. CHARACTERS AND SYMBOLS SHALL CONTRAST WITH THEIR BACKGROUND: EITHER LIGHT CHARACTERS ON A DARK BACKGROUND OR DARK CHARACTERS ON A LIGHT BACKGROUND.
5. MOUNTING LOCATION AND HEIGHT:MOUNTING LOCATION AND HEIGHT: IF USED TO IDENTIFY A DOOR, BE MOUNTED ON THE WALL ADJACENT TO THE LATCH SIDE OF THE DOOR, OR NEAREST ADJACENT WALL. LEADING VERTICAL EDGE 150 +/- 10mm FROM THE DOOR JAMB. BE MOUNTED WITH THE HORIZONTAL CENTRELINE 60" (1500+/-25MM) FROM THE FLOOR. MOUNTING LOCATION FOR SUCH SIGNAGE SHALL BE SO THAT A PERSON MAY APPROACH WITHIN 4" (100mm) OF SIGNAGE WITHOUT ENCOUNTERING PROTRUDING OBJECTS OR STANDING IN THE SWING OF THE DOOR. PROVIDE A CLEAR WALL AREA AROUND THE SIGN AT LEAST 3" (75mm) WIDE.

powers brown architecture

Architectural Consultant:
Powers Brown Architecture
354 Water St., Suite 212
St. John's, NL A1C 1C4
709.726.3941

www.powersbrown.com

PROJECT TITLE

WORKPLACENL WASHROOMS PHASE II
148 FOREST ROAD,
ST. JOHN'S, NL, A1A 1E6

A PROJECT FOR

WORKPLACE NL

GENERAL NOTES

△	DATE	REVISION
	2020-08-31	Issue for Construction
1	2020-09-15	Issue for Revision 1

PROJECT NO: 193036
DRAWN BY: PBA
CHECKED BY: PJ

SHEET TITLE

ACCESSIBILITY CODE SHEET

SEAL

NEWFOUNDLAND AND LABRADOR MEMBER
John P. Holland, NLAA
Expires Dec 31, 2020
Date: 2020.09.10
LICENSED TO PRACTICE ARCHITECTURE
ASSOCIATION OF ARCHITECTS

SHEET NUMBER

G003

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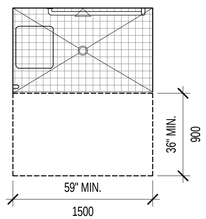
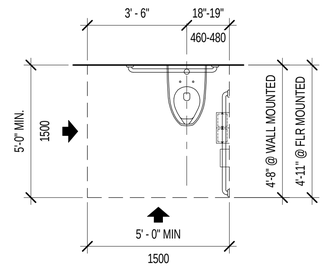
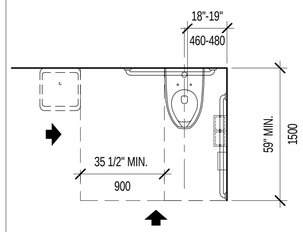


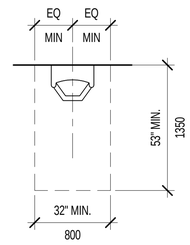
CLEAR FLOOR SPACE AT SHOWER



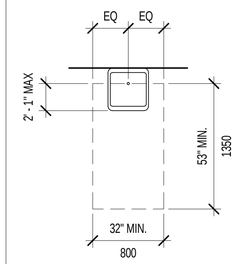
CLEAR FLOOR SPACE @ TOILET STALL



CLEAR FLOOR SPACE AT UNIVERSAL WASHROOM



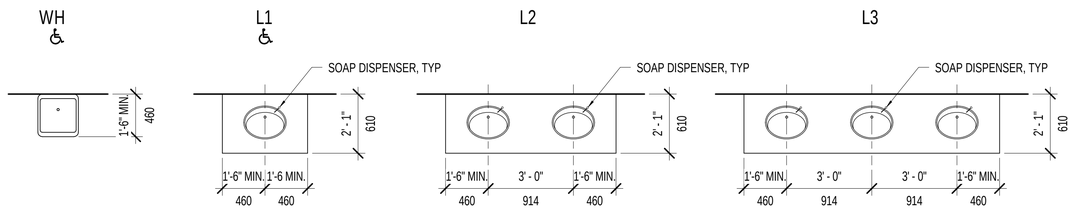
CLEAR FLOOR SPACE AT URINAL



CLEAR FLOOR SPACE AT LAVATORIES

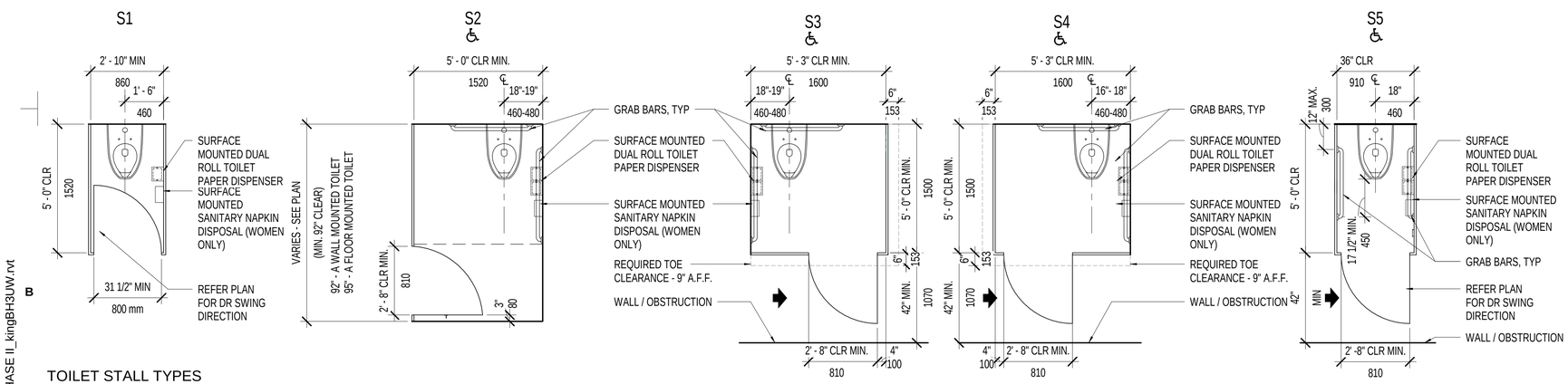
CLEAR FLOOR AREA

SCALE: 3/8" = 1'-0"



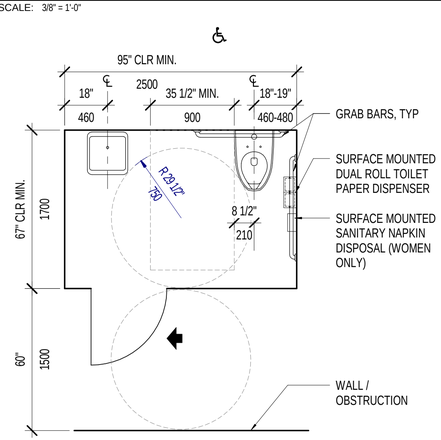
LAVATORY TYPES

SCALE: 3/8" = 1'-0"



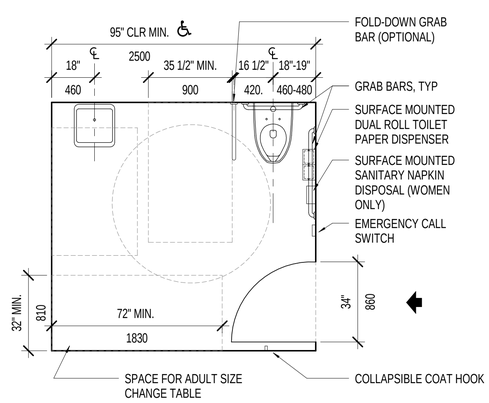
TOILET STALL TYPES

SCALE: 3/8" = 1'-0"



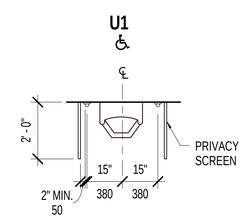
INDIVIDUAL WASHROOM

SCALE: 3/8" = 1'-0"



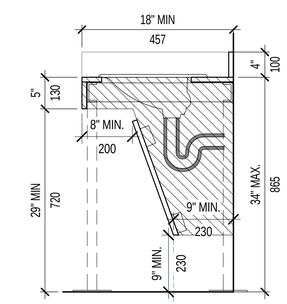
UNIVERSAL WASHROOM

SCALE: 3/8" = 1'-0"



URINAL STALL TYPES

SCALE: 3/8" = 1'-0"



SECTION THROUGH LAVATORY (TYP) - NBC/CSA

SCALE: 1" = 1'-0"

WATER CLOSETS

1. HEIGHT: THE HEIGHT OF THE WATER CLOSE SHALL BE 17" (430mm) TO 19" (485mm) MEASURED TO THE TOP OF THE SEAT.
2. GRAB BARS: GRAB BARS SHALL BE BETWEEN 1 1/5"(30mm)- 1 3/5"(40mm) IN DIAMETER AND SHALL PROVIDE A CLEARANCE OF 1 2/5"(35mm)- 1 4/5"(45mm) BETWEEN THE WALL AND THE BAR. PROVIDE MINIMUM 1.36N (292LB) ALLOWANCE FORCE. THERE SHALL BE ONE L-SHAPED GRAB BARS THAT HAS HORIZONTAL AND VERTICAL COMPONENTS THAT ARE AT LEAST 30"(760mm) LONG. VERTICAL COMPONENT IS 6"(150mm) IN FRONT OF THE TOILET. A HORIZONTRAL GRAB BAR THAT IS MOUNTED ON THE REAR WALL NOT LESS THAN 24"(600mm) LONG, SAME HEIGHT IS THE GRAB BAR ON THE SIDE WALL OR MOUNTED 4"(100mm) ABOVE THE TOP OF THE WATER TANK.
3. FLUSH CONTROLS: FLUSH CONTROLS SHALL BE MOUNTED ON THE TRANSFER SIDE OF THE TOILET AREAS AND AND IS LOCATED 20"(500mm)-35"(900mm) ABOVE FLOOR. LOCATED NO MORE THAN 14"(350mm) FROM THE TRANSFER SIDE
4. TOE CLEARANCE: IN STANDARD STALLS, THE FRONT PARTITION AND AT LEAST ONE SIDE PARTITION SHALL PROVIDE A TOE CLEARANCE OF A MINIMUM OF 9" (230mm).
5. TOILET PAPER DISPENSER: TP DISPENSER SHALL BE MOUNTED BETWEEN 24"(600mm) - 31"(800mm) ABOVE FLOOR, CLOSEST EDGES OF THE DISPENSER IS 12"(300mm) FROM THE FRONT EDGE OF THE WATER CLOSET.
6. URINALS SHALL BE STALL-TYPE, OR WALL HUNG WITH LOWER RIM NOT HIGHER THAN 17" (430mm) ABOVE THE FINISH FLOOR. THE UPPER RIM IS NOT LOWER THAN 34" (860mm) FROM THE FLOOR.
7. ACCESSIBLE STALL DOORS TO BE SELF CLOSING WITH NBC/CSA COMPLIANT PULLS ON BOTH SIDES.

powers brown architecture

Architectural Consultant:
Powers Brown Architecture
354 Water St., Suite 212
St. John's, NL A1C 1C4
709.726.3941

www.powersbrown.com

PROJECT TITLE

WORKPLACENL
WASHROOMS PHASE II
148 FOREST ROAD,
ST. JOHN'S, NL, A1A 1E6

A PROJECT FOR

WORKPLACE NL

GENERAL NOTES

△	DATE	REVISION
	2020-08-31	Issue for Construction
1	2020-09-15	Issue for Revision 1

PROJECT NO: 193036
DRAWN BY: PBA
CHECKED BY: PJ

SHEET TITLE

TOILET STANDARDS

SEAL

NEWFOUNDLAND AND LABRADOR MEMBER
John P. Holland, NLAA
Expires Dec 31, 2020
Date: 2020.09.10
LICENSED TO PRACTICE
ASSOCIATION OF ARCHITECTS

SHEET NUMBER

G004

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SPECIFICATIONS

DIVISION 00 PROCUREMENT AND CONTRACTING REQUIREMENTS

00 4323 ALTERNATES: CONTACT OFFICE OF THE ARCHITECT FOR ADD/DEDUCT FORM FOR EACH ALTERNATE. OWNER DETERMINE WHICH ALTERNATES ARE SELECTED FOR INCLUSION IN THE PROJECT.

DIVISION 01 GENERAL REQUIREMENTS

01 1000 SUMMARY

THE WORK SHALL INCLUDE ALL WORK COVERED BY THE CONTRACT DOCUMENTS.

CONTRACTOR SHALL REVIEW ALL DOCUMENTS TO VERIFY DIMENSIONS AND CONDITIONS. NO ALLOWANCE SHALL BE MADE FOR FAILURE TO VERIFY SITE CONDITIONS. DRAWINGS ARE INTENDED TO PROVIDE A BASIS FOR PROPER COMPLETION OF THE PROJECT AND SUITABLE USE BY THE OWNER. ITEMS NOT EXPRESSLY SET FORTH, BUT WHICH ARE REASONABLY IMPLIED OR NECESSARY FOR THE PROPER PERFORMANCE OF THIS PROJECT SHALL BE INCLUDED.

CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS REQUIRED TO PERFORM THE WORK.

CONTRACTOR SHALL COORDINATE THE WORK OF ALL TRADES AND NOTIFY ARCHITECT OF ANY DISCREPANCIES DIFFERENT FROM THOSE INDICATED ON THE DRAWINGS. DO NOT SCALE DRAWINGS, DIMENSIONS SHALL GOVERN. LARGE DETAILS SHALL TAKE PRECEDENCE OVER SMALL DRAWINGS.

EXECUTION:
EXAMINE PRODUCTS COVERED BY ALLOWANCES PROMPTLY UPON DELIVERY FOR DAMAGE OR DEFECTS. COORDINTE THEIR INSTALLATION TO ENSURE THESE ITEMS ARE INTEGRATED WITH RELATED WORK.

01 2100 ALLOWANCES

SUMMARY:
CASH ALLOWANCES ARE INCLUDED IN THE CONTRACT SUM.

PRODUCTS:
NOT APPLICABLE.

EXECUTION:
EXAMINE PRODUCTS COVERED BY ALLOWANCES PROMPTLY UPON DELIVERY FOR DAMAGE.

01 3000 ADMINISTRATIVE REQUIREMENTS

SUMMARY:
ALL WORK SHALL PERFORMED IN STRICT COMPLIANCE WITH ALL APPLICABLE CODES AND ORDINANCES, AND AUTHORITIES HAVING JURISDICTION, INCLUDING CSA REQUIREMENTS.

PRODUCTS:
PROVIDE PRODUCTS AND MATERIALS SPECIFIED. PROVIDE COLOR SELECTIONS AS REQUIRED TO AVOID DELAYING PROGRESS OF THE WORK. PROVIDE PRODUCTS OF ACCEPTABLE MANUFACTURERS WHICH HAVE BEEN IN SATISFACTORY USE FOR THREE YEARS. USE EXPERIENCED INSTALLERS OF THE PRODUCT INVOLVED. DELIVER, HANDLE AND STORE MATERIALS IN STRICT ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.

SUBMIT REQUESTS FOR SUBSTITUTIONS IN WRITING, GIVING REASONS FOR CHANGE. PROVIDE TIME FOR ARCHITECT TO EVALUATE PROPOSED SUBSTITUTION.

PROJECT MEETINGS SHALL BE HELD AS NECESSARY FOR REVIEW PROGRESS OF THE WORK. CONTRACTOR SHALL TAKE AND DISTRIBUTE MEETING NOTES.

PROGRESS SCHEDULE SHALL BE DEVELOPED TO DEFINE PROGRESS ENTIRE SCOPE OF WORK. SUBMIT WITH EACH PROJECT MEETING.

SUBMIT SHOP DRAWINGS AND OTHER SUBMITTALS AS REQUIRED TO CLARIFY EXTENT OF THE WORK. SUBMIT HARDWARE SCHEDULE, CUT SHEETS, SAMPLES AND OTHER ITEMS FOR REVIEW AND APPROVAL.

01 4000 QUALITY REQUIREMENTS

SUMMARY:
ADMINISTRATIVE AND PROCEDURAL REQUIREMENTS FOR QUALITY ASSURANCE AND QUALITY CONTROL. THE QUANTITY OR QUALITY LEVEL SHOWN OR SPECIFIED SHALL BE THE MINIMUM PROVIDED OR PERFORMED.

SUBMITTALS:
SCHEDULE TESTS AND INSPECTIONS REQUIRED. TESTS AND INSPECTIONS NOT EXPLICITLY ASSIGNED TO OWNER ARE CONTRACTOR'S RESPONSIBILITY.

EXECUTION:
ON COMPLETION OF TESTING, REPAIR DAMAGED CONSTRUCTION AND RESTORE SUBSTRATES AND FINISHES.

01 5000 TEMPORARY FACILITIES AND CONTROLS

SUMMARY:
REQUIREMENTS FOR TEMPORARY UTILITIES, SUPPORT FACILITIES, AND SECURITY
AND PROTECTION FACILITIES. COST OF TEMPORARY FACILITIES SHALL BE INCLUDED IN THE CONTRACT SUM.

PRODUCTS:
PROVIDE TEMPORARY BARRICADES AS NECESSARY TO ENSURE PROTECTION OF THE PUBLIC. PROVIDE ENCLOSURES FOR TEMPORARY
PARTITIONS OR FOR DUST CONTROL. PROVIDE COMMON-USE FIELD OFFICE FOR USE OF CONSTRUCTION PERSONNEL. PROVIDE DESKS, CHAIRS, TELEPHONE AND FAX MACHINES, HEATING AND AIR CONDITIONING AS REQUIRED TO MAINTAIN INDOOR TEMPERATURE OF 72 DEG. F. PROVIDE STORAGE SHEDS AS NECESSARY FOR MATERIALS AND EQUIPMENT FOR CONSTRUCTION OPERATIONS. PROVIDE FIRE EXTINGUISHERS IN WORK AREAS DURING CONSTRUCTION.

EXECUTION:
LOCATE FACILITIES WHERE THEY WILL SERVE PROJECT ADEQUATELY AND RESULT IN MINIMUM INTERFERENCE WITH PERFORMANCE OF THE WORK. ARRANGE WITH UTILITY COMPANY FOR INSTALLING TEMPORARY SERVICE. REMOVE EACH TEMPORARY FACILITY WHEN NEED FOR ITS SERVICE HAS ENDED.

01 6000 PRODUCT REQUIREMENTS

SUMMARY:
ADMINISTRATIVE AND PROCEDURAL REQUIREMENTS FOR SELECTION OF PRODUCTS FOR USE IN THE PROJECT, STORAGE AND HANDLING, WARRANTIES, PRODUCT SUBSTITUTIONS AND COMPARABLE PRODUCTS.

SUBMITTALS:
SUBMIT WITHIN 10 DAYS A LIST SHOWING SPECIFIED PRODUCTS. INCLUDE A WRITTEN EXPLANATION FOR OMISSIONS. SUBMIT THREE COPIES OF EACH REQUEST FOR CONSIDERATION OF SUBSTITUTION. INDICATE WHY SPECIFIED MATERIAL CANNOT BE PROVIDED, EFFECT ON CONSTRUCTION SCHEDULE AND TIME, AND COST INFORMATION OF ANY CHANGE IN CONTRACT SUM. ARCHITECT WILL REPLY WITHIN 15 DAYS OF ACCEPTANCE, REJECTION OR REQUEST FOR ADDITIONAL INFORMATION. DELIVER, STORE AND HANDLE PRODUCTS USING MEANS AND METHODS THAT WILL PREVENT DAMAGE, DETERIORATION, AND/OR LOSS, INCLUDING THEFT. WARRANTIES SPECIFIED IN OTHER SECTIONS SHALL BE IN ADDITION, OR RUN CONCURRENTLY, WITH WARRANTIES REQUIRED BY THE CONTRACT DOCUMENTS MANUFACTURER'S DISCLAIMERS AND LIMITATIONS ON PRODUCT WARRANTIES DO NOT RELIEVE CONTRACTOR OF OBLIGATIONS UNDER REQUIREMENTS OF THE CONTRACT DOCUMENTS.

PRODUCTS:
PROVIDE PRODUCTS THAT COMPLY WITH CONTRACT DOCUMENTS. WHERE SPECIFICATIONS NAME A SINGLE PRODUCT, PROVIDE THAT NAMED PRODUCT. WHERE SPECIFICATIONS LIST A RANGE OF PRODUCTS, PROVIDE ONE OF THE PRODUCTS LISTED. WHERE SPECIFICATIONS INCLUDE THE PHRASE "STANDARD RANGE OF COLORS, PATTERNS, TEXTURES OR SIMILAR PHRASE, ARCHITECT WILL SELECT FROM MANUFACTURER'S PRODUCT LINE THAT DOES NOT INCLUDE PREMIUM ITEMS.

EXECUTION:
NOT USED.

01 7000 EXECUTION AND CLOSEOUT REQUIREMENTS

SUMMARY:
CUTTING AND PATCHING WORK TO PROPERLY COMPLETE THE PROJECT. DO NOT REMOVE OR ALTER STRUCTURAL COMPONENTS WITHOUT WRITTEN APPROVAL. PATCH WITH MATERIALS AND METHODS TO PRODUCE PATCH WHICH IS NOT VISIBLE FROM A DISTANCE OF FIVE FEET. PROVIDE TEMPORARY PROTECTION FOR ADJACENT CONSTRUCTION.

SUBMITTALS:
SUBMIT QUALIFICATION DATA FOR ENGINEERS REQUIRED.

PRODUCTS:
NOT USED.

EXECUTION:
EXISTENCE AND LOCATION OF SITE IMPROVEMENTS, UTILITIES AND OTHER CONSTRUCTION INDICATED ARE NOT GUARANTEED. BEFORE BEGINNING WORK, INVESTIGATE AND VARY EXISTENCE OF MECHANICAL AND ELECTRICAL SYSTEMS AND OTHER CONSTRUCTION AFFECTING THE WORK. INSTALL PRODUCTS AT THE TIME AND UNDER CONDITIONS THAT WILL ENSURE THE BEST POSSIBLE RESULTS. CLEAN AREAS WHERE WORK IS IN PROGRESS TO THE LEVEL OF CLEANLINESS NECESSARY FOR PROPER EXECUTION OF THE WORK. START EQUIPMENT AND OPERATING COMPONENTS TO CONFIRM PROPER OPERATION. TEST AND ADJUST EQUIPMENT FOR PROPER OPERATION.

01 7800 CLOSEOUT PROCEDURES

SUMMARY:
ADMINISTRATIVE AND PROCEDURAL REQUIREMENTS FOR INSPECTION PROCEDURES, WARRANTIES AND FINAL CLEANING.

SUBMITTALS:
PREPARE PUNCH LIST FOR REMAINING WORK FOR REVIEW BY ARCHITECT. SUBMIT OPERATING AND MAINTENANCE MANUALS. OBTAIN AND SUBMIT COPY OF OCCUPANCY PERMIT. TRAIN OWNER'S PERSONNEL IN USE OF BUILDING SYSTEMS. SUBMIT RECORD DRAWINGS AND SPECIFICATIONS OF ACTUAL INSTALLATION WHICH VARIES FROM DOCUMENTS SHOWN.

PRODUCTS:
PROVIDE FINAL CLEANING USING AGENTS RECOMMENDED BY MANUFACTURER OR FABRICATOR. CLEAN PROJECT SITE, GROUNDS AND OTHER AREAS DISTURBED BY CONSTRUCTION ACTIVITIES.

EXECUTION:
REMOVE ANY TEMPORARY FACILITIES AND TOUCH-UP AS REQUIRED. RESTORE PORTIONS OF BUILDING, SITE OR OTHER ITEMS DAMAGED BY CONSTRUCTION OPERATIONS AT NO ADDITIONAL EXPENSE TO THE OWNER.

DIVISION 02 EXISTING REQUIREMENTS

02 4100 DEMOLITION

SUMMARY:
PROVIDE SELECTIVE DEMOLITION OF INTERIOR PORTIONS OF BUILDING AND SYSTEMS AS REQUIRED FOR INSTALLATION OF NEW WORK. REMOVE ABANDONED UTILITIES AND WIRING SYSTEMS. PROVIDE DEMOLITION OF BELOW GRADE FOUNDATIONS AND SITE IMPROVEMENTS WHICH COULD INTERFERE WITH NEW CONSTRUCTION.

SUBMITTALS:
SUBMIT DEMOLITION SCHEDULE, INCLUDING METHODS FOR PROTECTING ADJACENT WORK AND LOCATION OF TEMPORARY PARTITIONS, IF REQUIRED. HISTORIC ITEMS OR OTHER ITEMS OF INTEREST TO OWNER SHALL BE CAREFULLY REMOVED AND DELIVERED TO THE OWNER.

PRODUCTS:
NOT USED.

DEMOLITION:
PERFORM DEMOLITION OPERATIONS BY METHODS WHICH DO NOT ENDANGER ADJACENT SPACES, STRUCTURES OR THE PUBLIC. PROVIDE POLLUTION CONTROL DURING DEMOLITION OPERATIONS. PROVIDE REMOVAL AND LEGAL DISPOSAL OF MATERIALS NO LONGER REQUIRED. DO NOT BURN DEMOLISHED MATERIALS AT THE SITE.

DIVISION 06 WOOD, PLASTICS & COMPOSITES

06 1000 ROUGH CARPENTRY

SUMMARY:
PROVIDE ROUGH CARPENTRY ITEMS FOR WOOD FURRING, GROUNDS AND BLOCKING AS REQUIRED.

SUBMITTALS:
SUBMIT PRODUCT DATA.

PRODUCTS:
LUMBER SHALL COMPLY WITH PS 20, AMERICAN SOFTWOOD LUMBER STANDARD AND INSPECTION AGENCY GRADE STAMPS. PLYWOOD SHALL COMPLY WITH PS 1, U.S. PRODUCT STANDARD FOR CONSTRUCTION AND INDUSTRIAL PLYWOOD; APA PRP-108. PRESERVATIVE TREATMENT SHALL COMPLY WITH AWPA C2 FOR LUMBER AND AWPA C9 FOR PLYWOOD WATERBORNE PRESSURE TREATMENT. FIRE RETARDANT TREATED MATERIAL SHALL COMPLY WITH AWPA C20 AND C27 FOR PLYWOOD. DIMENSION LUMBER SHALL BE STUD, NO. 3 OR STANDARD GRADE.

EXECUTION:
PROVIDE NAILERS, BLOCKING AND GROUNDS WHERE REQUIRED. SET WORK PLUMB, LEVEL AND ACCURATELY CUT. COMPLY WITH MANUFACTURER'S REQUIREMENTS FOR TREATED MATERIALS.

06 4000 ARCHITECTURAL WOODWORK

SUMMARY:
PROVIDE INTERIOR ARCHITECTURAL WOODWORK FOR CASEWORK AND COUNTERTOPS, WOOD PANELING, WOOD TRIM AND REFINISHING OF EXISTING WOODWORK.

SUBMITTALS:
SUBMIT PRODUCT DATA, SHOP DRAWINGS AND MOCK-UP OF EACH TYPE. PROVIDE COLOR SAMPLES OF PLASTIC LAMINATE FOR APPROVAL.

PRODUCTS:
COMPLY WITH AWI "ARCHITECTURAL WOODWORK STANDARDS." PLASTIC LAMINATE CLAD CASEWORK SHALL BE CUSTOM GRADE WITH FLUSH OVERLAY STYLE FACE. DRAWERS SHALL HAVE DOVETAIL CONSTRUCTION, FULL EXTENSION SIDE MOUNTED DRAWER SLIDES, POLISHED CHROME FINISH PULLS. SHELF SUPPORTS SHALL BE SIDE MOUNTED USING RECESSED SHELF STANDARDS OR MULTIPLE HOLES FOR PIN SUPPORTS. PROVIDE MAGNETIC CATCHES AND EUROPEAN STYLE CONCEALED SELFCLOSING HINGES. HIGH PRESSURE LAMINATE (HPDL) SHALL BE 0.048 INCH FOR HORIZONTAL SURFACES, 0.028 INCH FOR VERTICAL SURFACES AND 0.020 INCH LAMINATE BACKER AS REQUIRED. PROVIDE SCREWS, NAILS OR ANCHORS FOR PROPER INSTALLATION.

EXECUTION:
COMPLY WITH STANDARDS REFERENCED. PROVIDE TRIM FOR SCRIBING AND SITE CUTTING. INSTALL WORK PLUMB, LEVEL AND IN PROPER ALIGNME PROVIDE WORK FREE FROM TOOL MARKS AND BLEMISHES. INSTALL IN LENGTHS TO MINIMIZE JOINTS AND SEAMS. SECURELY FASTEN TO SUBSTRATES.

DIVISION 08 OPENINGS

08 3100 ACCESS DOORS & PANELS

SUMMARY:
PROVIDE ACCESS DOORS FOR WALLS AND CEILINGS.
PRODUCTS: FRAMES SHALL BE 16 GAUGE SHEET STEEL WITH FLANGE SUITABLE FOR ADJACENT MATERIAL. DOORS SHALL BE 14 GAUGE SHEET STEEL, FLUSH WITH CYLINDER LOCK. PROVIDE FIRE RATING WHEN REQUIRED AND PROVIDE FACTORY PRIME FINISH FOR FIELD FINISHING.

SUBMITTALS: SUBMIT PRODUCT DATA.

PRODUCTS:
FRAMES SHALL BE 16 GAUGE SHEET STEEL WITH FLANGE SUITABLE FOR ADJACENT MATERIAL. DOORS SHALL BE 14 GAUGE SHEET STEEL, FLUSH, WITH CYLINDER LOCK AND SPRING LOADED HINGES. PROVIDE FIRE RATING WHEN REQUIRED AND PROVIDE FACTORY PRIME FINISH FOR FIELD FINISHING.

EXECUTION:
COMPLY WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS. INSTALL DOORS AND FRAMES FLUSH WITH ADJACENT MATERIAL OR RECESSED TO RECEIVE FINISH MATERIAL. ADJUST DOORS FOR PROPER OPERATION.

08 7100 DOOR HARDWARE

SUMMARY:
REUSE EXISTING DOOR HARDWARE WHEN POSSIBLE. PROVIDE HARDWARE FOR EXTERIOR AND INTERIOR DOORS IF EXISTING HARDWARE IS DOES NOT FUCTION PROPERLY. COMPLY WITH
CODE AND ACCESSIBILITY REQUIREMENTS.

SUBMITTALS:
SUBMIT PRODUCT DATA, SAMPLES, HARDWARE SCHEDULE AND MAINTENANCE DATA. PROVIDE A DHI HARDWARE CONSULTANT TO REVIEW SELECTION AND INSTALLATION. SUBMIT 5-YEAR WARRANTY FOR CLOSERS.

PRODUCTS:
PROVIDE COMMERCIAL LEVEL QUALITY HARDWARE. BUTTS SHALL BE PRIME FINISH; PROVIDE 1 ½ SETS FOR DOORS UP TO 7'-6" AND 2 SETS FOR TALLER DOORS. LOCKSETS AND LATCHSETS SHALL BE MORTISE AND/OR CYLINDER TYPE WITH LEVER DESIGN AND FINISH AS SELECTED. KEY TO OWNER'S REQUIREMENTS. CLOSERS SHALL FULLY HYDRAULIC, FULL RACK AND PINION ACTION WITH 1 ½ INCH DIAMETER PISTON. PROVIDE SURFACE MOUNTED OR CONCEALED AS SCHEDULED. EXIT DEVICES SHALL BE TOUCHPAD TYPE IN FINISH TO MATCH BALANCE OF DOOR HARDWARE. DEVICES SHALL BE UL LISTED. PROVIDE PUSH/PULL PLATES, KICK PLATES, STOPS, SILENCERS, THRESHOLDS AND WEATHERSTRIPPING AS REQUIRED. PROVIDE 3 CHANGE KEYS PER LOCK AND KEY CONTROL CABINET FOR
NUMBER OF LOCKS PLUS 10%.

EXECUTION:
COMPLY WITH DHI RECOMMENDED LOCATIONS AND ADJUST EACH OPERATING ITEM TO ENSURE PROPER OPERATION.

08 8000 GLAZING

SUMMARY:
PROVIDE GLASS AND GLAZING FOR UNITS NOT FACTORY GLAZED. INSULATED GLASS SHALL HAVE VISTEON GRAY 2000 AS BASIS OF DESIGN.

SUBMITTALS:
SUBMIT PRODUCT DATA, SAMPLES, SHOP DRAWINGS, WARRANTY AND MAINTENANCE DATA. PROVIDE SIMILAR REQUIREMENTS FOR MIRRORS WITH 5-YEAR WARRANTY.

PRODUCTS:
PRIMARY GLASS SHALL BE ASTM C1036, TYPE I, CLEAR, FLOAT AND/OR TINTED FLOAT AS SCHEDULED. HEAT TREATED PRODUCTS SHALL BE ASTM C1048, TYPE I, HEAT-STRENGTHENED, TEMPERED COATED. LAMINATED GLASS SHALL ASTM C1172 WITH POLYVINYL BUTYRAL INTERLAYER. FACTORY SEALED INSULATING UNITS SHALL COMPLY WITH ASTM E 774, CLASS A, 1 INCH THICK. HIGH PERFORMANCE COATINGS SHALL BE LOW-E TYPE. GLAZING SHALL HAVE ELASTOMERIC SEALANT GLAZING WITH SETTING BLOCKS, SPACERS AND COMPRESSIBLE FILLER RODS AS REQUIRED. MIRRORS SHALL BE 6 MM ANNEALED MONOLITHIC GLASS WITH SILVERING AND PROTECTIVE COATING. PERFORMANCE COATINGS SHALL BE LOW-E TYPE. GLAZING SHALL HAVE ELASTOMERIC SEALANT GLAZING WITH SETTING BLOCKS, SPACERS AND COMPRESSIBLE FILLER RODS AS REQUIRED. MIRRORS SHALL BE 6 MM ANNEALED MONOLITHIC GLASS WITH SILVERING AND PROTECTIVE COATING.

EXECUTION:
COMPLY WITH FGMA GLAZING MANUAL AND MANUFACTURER'S RECOMMENDATIONS. PROTECT GLASS EDGES FROM DAMAGE. INSTALL SETTING BLOCKS AND SPACERS AS REQUIRED. INSTALL COMPRESSION GASKETS BETWEEN GLASS AND FRAME SO IT IS SECURELY IN PLACE WITH JOINTS MITER CUT AND BONDED TOGETHER AT CORNERS FOR A WEATHERTIGHT SEAL. SET MIRRORS ON STAINLESS STEEL CHANNELS AND ADHERE TO WALL WITH MASTIC.

DIVISION 09 FINISHES

09 2116 GYPSUM BOARD ASSEMBLIES

SUMMARY:
GYPSUM WALLBOARD AS FINISH FOR INTERIOR WALLS AND CEILINGS AND SHAFT WALLS WITH TAPE AND JOINT COMPOUND FINISH. INSTALL CEMENTITIOUS BACKER UNITS AS BASE FOR TILE. GYPSUM BOARD SCREW ATTACHED TO NON-LOAD BEARING GALVANIZED FRAMING AND FURRING. PROVIDE SHAFT WALL ASSEMBLIES FOR ELEVATORS AND CHASE ENCLOSURES.

SUBMITTALS:
SUBMIT PRODUCT DATA ON MATERIAL AND ACCESSORIES.

PRODUCTS:
WALLBOARD ASTM C 36, 5/8 INCH THICK. CEMENTITIOUS BACKER UNITS, ANSI A 118.9, CEMENT-COATED PORTLAND CEMENT PANELS. JOINT TREATMENT SHALL BE ASTM C 1178, 3-COAT SYSTEM. TRIM ACCESSORIES SHALL BE METAL CORNERBEAD, EDGE TRIM AND CONTROL JOINTS. STEEL STUDS SHALL BE ASTM C 645, 22 GAUGE, "C" SHAPED SET IN RUNNERS TO MATCH SPACED AT 16" O.C. SEE DRAWINGS FOR DEPTH. STEEL FRAMING FOR SUSPENDED AND FURRED CEILINGS SHALL USE 25 GAUGE STANDARD CHANNELS. SHAFT WALL, ASTM C 1396, 1 INCH THICK, SQUARE WITH TONGUE AND GROOVE EDGES. AUXILIARY MATERIALS SHALL INCLUDE GYPSUM BOARD SCREWS AND SOUND ATTENUATION BLANKETS WHERE SCHEDULED. INSTALL SUPPLEMENTARY FRAMING FOR SHAFT WALLS AS REQUIRED FOR BLOCKING, BRACING AND SUPPORT OF LOADS OF FIXTURES, HANDRAILS, AND EQUIPMENTS.

EXECUTION:
INSTALL WALLBOARD ACROSS FRAMING WITH JOINTS ONLY OVER FRAMING MEMBERS. APPLY TO CEILING BEFORE WALL APPLICATION. DO NOT ALLOW BUTT-TO-BUTT JOINTS. PROVIDE BLOCKING FOR SUCH ITEMS AS RAILINGS, GRAB BARS, CASEWORK, TOILET ACCESSORIES AND SIMILAR ITEMS. PROVIDE ACOUSTICAL SEALANT AT RUNNER TRACKS, WALL PERIMETERS, OPENINGS AND CONTROL JOINTS AND WHERE SHAFT WALLS ABUT OTHER WORK. INSTALL GYPSUM BOARD ASSEMBLIES TRUE, PLUMB, LEVEL AND IN PROPER RELATION TO ADJACENT SURFACES. PROVIDE 3-COAT JOINT TREATMENT TO LEVEL 4 FINISH UNLESS SPECIFICALLY SHOWN OTHERWISE.

09 3000 TILING

SUMMARY:
CERAMIC, QUARRY AND PORCELAIN TILE FOR FLOORS, CEILINGS, SHOWERS AND COUNTERS OVER CEMENTITIOUS TILE BACKER BOARD INSTALLED UNDER GYPSUM BOARD SECTION. WHERE COLOR VARIATIONS OCCUR, BLEND TILE AND PACKAGE AT FACTORY.

SUBMITTALS: SUBMIT PRODUCT DATA, CERTIFICATES AND SAMPLES OF EACH TYPE.
PRODUCTS:
UNGLAZED CERAMIC MOSAIC TILE TO SIZES SHOWN ON DRAWINGS WITH PLAIN FACE AND CUSHION EDGES. GLAZED WALL TILE WITH PLAIN FACE AND MODIFIED SQUARE EDGE. UNGLAZED QUARRY TILE SHALL BE ABRASIVE EDGED FLAT TILE, 3/8 INCH THICKNESS WITH PLAIN FACE. SETTING MATERIALS SHALL BE THIN-SET ORGANIC ADHESIVE. GROUT SHALL BE COMMERCIAL LATEX PORTLAND CEMENT GROUT, ASTM A118.6.

EXECUTION:
COMPLY WITH ANSI INSTALLATION STANDARDS FOR MATERIALS SHOWN. LAYOUT TILE IN PATTERN INDICATED WITH UNIFORM JOINT WIDTHS IN ACCORDANCE WITH TCA HANDBOOK METHOD F 113 FOR FLOORS AND W244 FOR WALLS. LAY OUT TILE BY CENTERING IN BOTH DIRECTIONS OF SPACE OR WALL. PERFORM CUTTING AND DRILLING WITHOUT MARRING VISIBLE SURFACES. ALIGN JOINTS IN FLOOR, BASE AND WALLS. VERIFY THAT FLOORS ARE SMOOTH AND FLAT BEFORE BEGINNING. MAKE TILE JOINTS WATERTIGHT, WITHOUT VOIDS, CRACKS OR EXCESS MORTAR. USE MILDEW-RESISTANT SILICONE SEALANT FOR TILE JOINTS. UPON COMPLETION, CLEAN RESIDUE FROM TILE FACE AS SOON AS POSSIBLE. WITH CLEANER RECOMMENDED BY TILE MANUFACTURER.

09 5100 ACOUSTICAL CEILINGS

SUMMARY:
ACOUSTICAL LAY-IN CEILINGS AND METAL SUSPENSION SYSTEM.

SUBMITTALS:
SUBMIT PRODUCT DATA AND SAMPLES FOR APPROVAL.

PRODUCTS:
MINERAL FIBER TILE THAT COMPLY WITH ASTM E1264, 24"X24"X3/4",WHITE, TEGULAR EDGE. SUSPENSION SYSTEM SHALL BE STANDARD, EXPOSED GRID, 15/16" WIDTH, INTERMEDIATE DUTY AND WHITE PAINTED FINISH. PROVIDE PERIMETER EDGE MOLDING TO MATCH. PROVIDE GALVANIZED WIRE HANGERS, BRACES AND TIES. CEILING TILES TO BE USG MARS 2'x2'x3/4" SLT WITH DX/DXL SUSPENSION SYSTEM OR APPROVED EQUAL

EXECUTION:
INSTALL TO COMPLY WITH ASTM C636. RIGIDLY SECURE SUSPENSION SYSTEM. HANG SYSTEM INDEPENDENT OF WALLS, COLUMNS, DUCTS, ETC. LAYOUT CEILING TO AVOID LESS THAN HALF PANEL UNITS. FIT ACOUSTICAL UNITS IN PLACE, FREE OF DAMAGED UNITS AND PATTERN PARALLEL TO LONGEST ROOM AXIS.

09 9100 PAINTING

SUMMARY:
PAINTING AND SURFACE PAINTING FOR EXTERIOR AND INTERIOR UNFINISHED SURFACES AS SCHEDULED. REMAINING EXISTING DOORS TO BE PAINTED U.N.O. PROVIDE PRODUCT DATA AND SAMPLES OF EACH TYPE OF PAINT USED. FOLLOW MANUFACTURER'S RECOMMENDED PROCEDURES FOR BEST RESULTS. DO NOT APPLY MATERIALS WHEN SURFACE AND AMBIENT TEMPERATURES ARE OUTSIDE THE RANGES REQUIRED BY THE PAINT MANUFACTURER. ALL MATERIAL SHALL BE READY-MIXED AND USED WITHOUT THINNING OR DILUTING.

SUBMITTALS:
SUBMIT PRODUCT DATA AND COLOR SAMPLES FOR VERIFICATION. APPLY MOCK-UP TO VERIFY SELECTIONS.

PRODUCTS:
PROVIDE FIRST-LINE COMMERCIAL PRODUCTS, SHERWIN-WILLIAMS OR EQUAL, FOR ALL COATING SYSTEMS. CONCRETE/MASONRY SHALL HAVE ONE COAT OF FILLER AND TWO COATS OF FLAT ALKYD ENAMEL.
FERROUS METALS SHALL HAVE ONE COAT OF LATEX PRIMER AND TWO COATS OF LATEX ENAMEL. GALVANIZED METAL SHALL HAVE ONE COAT OF GALVANIZE PRIMER AND TWO COATS OF LATEX ENAMEL. GYPSUM DRYWALL SHALL HAVE ONE COAT OF LATEX PRIMER AND TWO COATS OF SATIN LATEX FINISH. WOOD FOR PAINTED FINISH SHALL HAVE ONE COAT ALKYD ENAMEL UNDERCOAT AND TWO COATS SEMI GLOSS ALKYD ENAMEL. STAINED WOOD SHALL HAVE ONE COAT WATER BASE WOOD STAIN, ONE COAT BAASE SEALER AND TWO COATS WATER BASE VARNISH.

EXECUTION:
CLEAN SURFACES THOROUGHLY AND CORRECT DEFECTS PRIOR TO COATING APPLICATION. TINT EACH UNDERCOAT A LIGHTER SHADE TO FACILITATE IDENTIFICATION OF EACH COAT. APPLY PAINTS TO PRODUCE SURFACE FILMS WITHOUT CLOUDINESS, HOLIDAYS, LAPS, BRUSH MARKS, RUNS, SAGS OR OTHER SURFACE IMPERFECTIONS. PAINTED CONCRETE AND MASONRY SHALL HAVE DIRT AND OTHER FOREIGN MATTER REMOVED WITH TRI-SODIUM PHOSPHATE. PAINTED GYPSUM SHALL HAVE MINOR DEFECTS CORRECTED WITH FILLER COMPOUND. GALVANIZED SURFACES SHALL HAVE APPLIED A COAT OF ETCHING PRIMER. SHOP-PRIMED SURFACES SHALL HAVE LOOSE PRIMER AND RUST REMOVED. PRIME BARE STEEL SURFACES. WOOD SURFACES SHALL BE WIPED CLEAN AND KNOTS, PITCH STREAKS AND SAPPY SECTIONS SEALED. FILL NAILHOLES AND SAND LIGHTLY BETWEEN COATS. METAL DOORS SHALL HAVE TOP AND BOTTOM EDGE SURFACES PAINTED. APPLY COATS TO DRY BEFORE NEXT COAT IS APPLIED. RE-INSTALL ELECTRICAL COVER PLATES, HARDWARE, LIGHT FIXTURES, ETC. REMOVED PRIOR TO FINISHING.

powers brown architecture

Architectural Consultant:
Powers Brown Architecture
354 Water St., Suite 212
St. John's, NL A1C 1C4
709.726.3941

www.powersbrown.com

PROJECT TITLE

WORKPLACENL
WASHROOMS PHASE II
148 FOREST ROAD,
ST. JOHN'S, NL, A1A 1E6

A PROJECT FOR

WORKPLACE NL

GENERAL NOTES

△	DATE	REVISION
	2020-08-31	Issue for Construction
1	2020-09-15	Issue for Revision 1

PROJECT NO: 193036
DRAWN BY: PBA
CHECKED BY: PJ

SHEET TITLE

SHEET SPECIFICATIONS

SEAL

NEWFOUNDLAND AND LABRADOR MEMBER
John P. Holland, NLAA
Expires Dec 31, 2020
Date: 2020.09.10
LICENSED TO PRACTICE ASSOCIATION OF ARCHITECTS

SHEET NUMBER

G006

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SPECIFICATIONS

DIVISION 10 SPECIALTIES

10 1400 SIGNAGE

SUMMARY:
INTERIOR DOOR AND ROOM SIGNS TO COMPLY WITH CSA AND APPLICABLE CODES.

SUBMITTALS:
SUBMIT PRODUCT DATA AND SAMPLES FOR APPROVAL.

PRODUCTS:
ACRYLIC PLASTIC PANEL WITH TEXT IN CONTRASTING COLOR, 3 INCHES HIGH. USE HELVETICA FONT. PROVIDE GRAPHICS FOR TOILET ROOMS AND OTHER PUBLIC SPACES. SIGNS SHALL COMPLY WITH ADA REQUIREMENTS FOR SIZE AND PLACEMENT.

EXECUTION:
INSTALL SIGNS USING PERMANENT TAPE ADHESIVE. COMPLY WITH MANUFACTURER'S INSTRUCTIONS.

10 4400 FIRE PROTECTION SPECIALTIES

SUMMARY:
FIRE EXTINGUISHERS AND CABINETS TO COMPLY WITH CODE REQUIREMENTS.

SUBMITTALS:
SUBMIT PRODUCT DATA.

PRODUCTS:
COMPLY WITH NFPA 10 AND UL RATED. DRY CHEMICAL TYPE FIRE EXTINGUISHERS, CLASS A, B, C, SIZE 10 PAINTED RED COLOR. CABINETS SHALL BE RECESSED TRIMLESS TYPE. DOOR GLAZING SHALL BE CLEAR GLASS WITH "FIRE EXTINGUISHER" ON THE FACE. CABINET INTERIOR SHALL BE WHITE ENAMEL; EXTERIOR SHALL BE FIELD FINISHED.

EXECUTION:
INSTALL WHERE REQUIRED BY CODE. SECURE RIGIDLY IN PLACE AND IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.

DIVISION 11 DOOR HARDWARE

11 1400 DOOR OPERATORS

SUMMARY:
POWER OPERATED PEDESTRIAN DOORS TO COMPLY WITH ANSI/BHMA A156.10. DESIGN INTENT AND FUNCTION OF OPENING AS INDICATED IN HARDWARE GROUPS. SUPPLIER TO INCLUDE ADDITIONAL COMPONENTS AND POWER SUPPLIES REQUIRED TO PROPERLY OPERATE ALL HARDWARE DEVICES, DOOR CONTROL DEVICES, REMOTE CONTROL DEVICES, COMPLETE WITH ANY SPECIAL CABLES OR WIRINGS TO CONNECT ALL PARTS.

SUBMITTALS:
SUBMIT PRODUCT DATA.

PRODUCTS: COMPLETE WITH ALL COMPONENTS INCLUDING OPERATOR HOUSING, POWER OPERATOR, ELECTRONIC CONTROL, SOFT START, SWITCHING NETWORKS, AND ALL CONNECTING HARDWARE. OPERATOR HOUSING SHALL BE COMPLETE WITH FINISHED END CAPS PREPARED FOR MOUNTING TO DOOR FRAME. OPERATOR HOUSING SHALL BE FACTORY ASSEMBLED WITH ALL NECESSARY COMPONENTS FOR PROPER OPERATION AND SWITCHING. RELAYS, WIRING HARNESS AND OTHER COMPONENTS SHALL BE PLUG-IN TYPE.

EXECUTION: INSTALLATION OF OPERATORS SHALL BE CARRIED OUT BY MANUFACTURER'S CERTIFIED AND AUTHORIZED PERSONNEL.

11 4401 DOOR CLOSERS AND ACCESSORIES

SUMMARY: DOOR CONTROLS (CLOSERS) TO COMPLY WITH ANSI/BHMA A156.4, DESIGNATED BY LETTER C AND NUMERAL IDENTIFIERS LISTED IN HARDWARE SCHEDULE, SIZE IN ACCORDANCE WITH ANSI/BHMA A156.4. TABLE A1.

SUBMITTALS:
SUBMIT PRODUCT DATA.

PRODUCTS: CLOSERS OF NARROW, SLIM LINE DESIGN COMPLETE WITH BACKCHECK, RACK AND PINION HYDRAULIC ACTION. CLOSERS EQUIPPED WITH FULL COVER, AS NOTED IN HARDWARE GROUPS, COMPLETE WITH SECURE AND CONCEALED MOUNTING SCREWS. ADAPTER PLATES FOR ADDED REINFORCING SHALL BE ADDED TO ANY OPENING IF REQUIRED TO SUIT FIELD CONDITIONS OR DOOR DESIGN. CLOSERS SHALL INCLUDE ALL NECESSARY ARM BRACKETS, CUSH ARM SUPPORTS AND BLADE STOP SPACERS TO SUIT DOOR SWING, FRAME REVEALS OR STOP CONDITIONS.

EXECUTION: INSTALLATION OF OPERATORS SHALL BE CARRIED OUT BY MANUFACTURER'S CERTIFIED AND AUTHORIZED PERSONNEL. FINISH AS INDICATED IN HARDWARE GROUPS.

powers brown architecture

Architectural Consultant:
Powers Brown Architecture
354 Water St., Suite 212
St. John's, NL A1C 1C4
709.726.3941

www.powersbrown.com

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WASHROOMS PHASE II
148 FOREST ROAD,
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A PROJECT FOR
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GENERAL NOTES

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1	2020-09-15	Issue for Revision 1

PROJECT NO: 193036
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CHECKED BY: PJ

SHEET TITLE

SHEET SPECIFICATIONS

SEAL

NEWFOUNDLAND AND LABRADOR MEMBER
John P. Holland, NLAA
Expires Dec 31, 2020
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ASSOCIATION OF ARCHITECTS

SHEET NUMBER

G007

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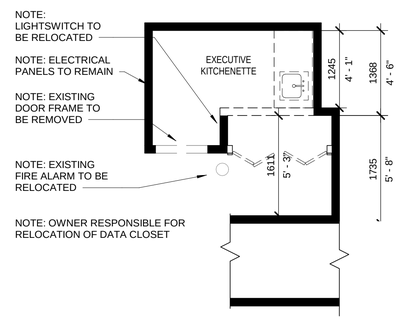
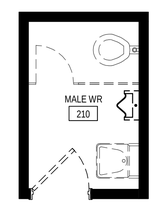
ARCHITECTURAL DEMOLITION NOTES

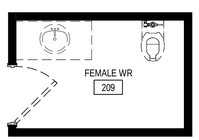
A. THE INTENT OF THE DEMOLITION DRAWINGS IS TO PROVIDE A GUIDE FOR DEMOLITION WORK IN THE AREA OF WORK. GENERAL CONTRACTOR SHALL PROCEED WITH CAUTION AND INVESTIGATE EXISTING CONDITIONS THROUGHLY BEFORE PROCEEDING WITH ANY WORK.
B. IF THE DEMOLITION WORK REVEALS CONDITIONS THAT CONFLICT WITH THE PROPOSED NEW WORK, THE GENERAL CONTRACTOR SHALL IMMEDIATELY BRING SUCH MATTERS TO THE ARCHITECT'S/INTERIOR DESIGNER'S ATTENTION FOR RESOLUTION BEFORE PROCEEDING WITH NEW WORK.
C. GENERAL CONTRACTOR IS TO PROTECT ALL EXISTING CONSTRUCTION TO REMAIN. ANY DAMAGE TO EXISTING ITEMS TO BE REPAIRED AT NO ADDITIONAL COST TO THE TENANT TO LIKE NEW CONDITION. IN ALL AREAS WITH NEW MATERIALS, PARTITIONS, OR PRODUCTS ARE INSTALLED, THE GENERAL CONTRACTOR SHALL PATCH AND FINISH WALLS, FLOORS, CEILINGS, AND AFFECTED AREAS AS REQUIRED.
D. REMOVE WALLS SHOWN AS DASHED (TYP.)
E. ALL EXISTING FINISHED WITHIN AREA OF WORK TO BE REMOVED AS PER MANUFACTURER'S RECOMMENDATIONS. EXISTING WALLS AND FLOORING TO REMAIN WHERE INDICATED SHALL BE PATCHED TO ACHIEVE A SMOOTH TRANSITION. SEE FINISH PLAN FOR NEW WORK.
F. PATCH AND REPAIR ALL EXISTING EXTERIOR AND CORE WALLS FOR A 'LIKE NEW' APPEARANCE.
G. ALL EXISTING EQUIPMENT, WIRING, PIPING, DUCTWORK, AND DEVICES ABOVE THE CEILING THAT ARE NOT REQUIRED FOR NEW WORK SHALL BE REMOVED BACK TO THE SOURCE.
H. PATCH ALL FLOOR PENETRATIONS WITH FIRE RATED CONCRETE AS REQUIRED. PREP SLAB FOR NEW FINISHES.
I. ALL DOORS, FRAMES AND ASSOCIATED HARDWARE SHOW AS DASHED ARE TO BE REMOVED, UNO. ALL DOORS, FRAMES AND HARDWARE THAT ARE IN GOOD CONDITION TO BE RETURNED TO BLDG STORAGE
J. DEMOLISH ALL EXISTING WALL MOUNTED RECESSED PAPER TOWEL DISPENSERS/WASTE DISPOSALS.



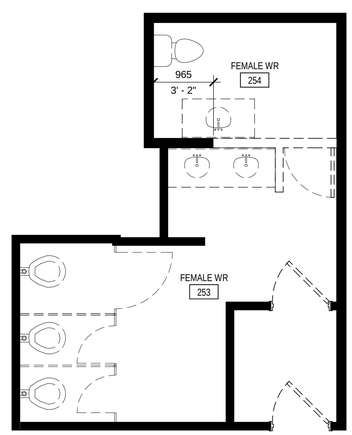
B2 LEVEL 02 EXECUTIVE KITCHENETTE- DEMO
SCALE: 1/4" = 1'-0"



B1 LEVEL 02 EXECUTIVE MALE WASHROOM- DEMO
SCALE: 1/4" = 1'-0"



A4 LEVEL 02 EXECUTIVE FEMALE WASHROOM- DEMO
SCALE: 1/4" = 1'-0"



A3 LEVEL 02 WOMENS WASHROOM- DEMO
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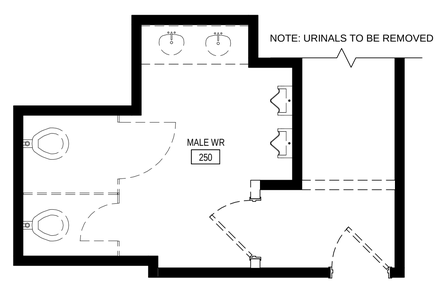
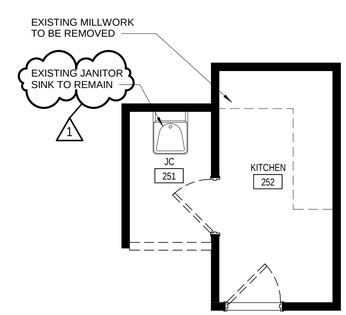


A2 LEVEL 02 MENS WASHROOM- DEMO
SCALE: 1/4" = 1'-0"



A1 LEVEL 02 KITCHENETTE AND JANITORS CLOSET- DEMO
SCALE: 1/4" = 1'-0"

powers brown architecture

Architectural Consultant:
Powers Brown Architecture
354 Water St., Suite 212
St. John's, NL A1C 1C4
709.726.3941

www.powersbrown.com

PROJECT TITLE

WORKPLACENL
WASHROOMS PHASE II
148 FOREST ROAD,
ST. JOHN'S, NL, A1A 1E6

A PROJECT FOR
WORKPLACE NL

GENERAL NOTES

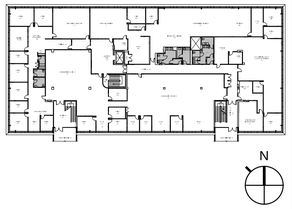
REFER TO SHEET G001 FOR ADDITIONAL PLAN SYMBOLS

- EXISTING MILLWORK TO REMAIN
- INDICATES MILLWORK TO BE DEMOLISHED
- EXISTING CONSTRUCTION TO REMAIN
- EXISTING CONSTRUCTION TO BE DEMOLISHED
- EXISTING DOOR TO REMAIN
- EXISTING DOOR TO BE REMOVED

NOTES:

A. CONTRACTOR TO OBTAIN AND PAY FOR ALL PERMITS AND FEES REQUIRED TO CARRY OUT AND COMPLETE THE WORK
B. CONTRACTOR MUST GUARANTEE ALL WORK FOR A PERIOD OF ONE (1) YEAR AFTER DATE OF COMPLETION
C. ANY RECESSED EQUIPMENT TO BE REMOVED AND INFILL WALL TO MATCH EXISTING CONSTRUCTION.

KEY PLAN



△	DATE	REVISION
	2020-08-31	Issue for Construction
1	2020-09-15	Issue for Revision 1

PROJECT NO: 193036
DRAWN BY: ZL/AK
CHECKED BY: SMS/JH

SHEET TITLE

LEVEL 02 DEMOLITION PLAN

SEAL

NEWFOUNDLAND AND LABRADOR MEMBER
John P. Holland, NLAA
Expires Dec 31, 2020
Date: 2020.09.10
LICENSED TO PRACTICE
ASSOCIATION OF ARCHITECTS

SHEET NUMBER

AD101

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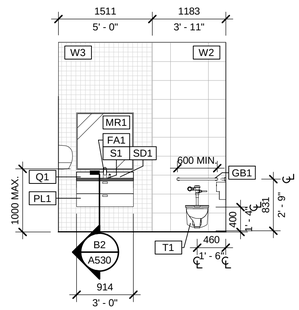
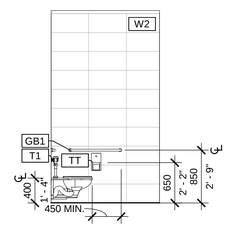
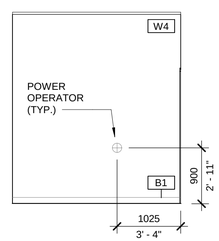


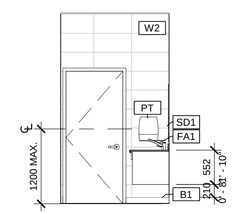
C3 LEVEL 02 EXECUTIVE FEMALE WR- NORTH
SCALE: 1/4" = 1'-0"



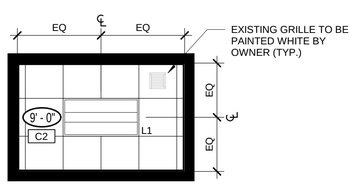
C2 LEVEL 02 EXECUTIVE FEMALE WR- EAST
SCALE: 1/4" = 1'-0"



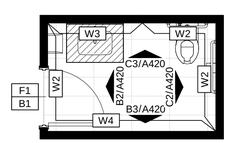
B3 LEVEL 02 EXECUTIVE FEMALE WR- SOUTH
SCALE: 1/4" = 1'-0"



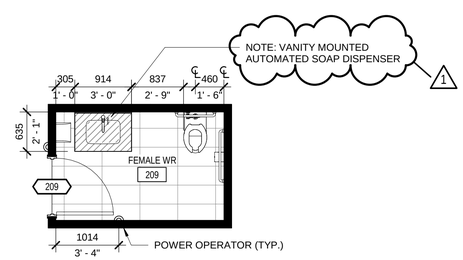
B2 LEVEL 02 EXECUTIVE FEMALE WR- WEST
SCALE: 1/4" = 1'-0"



A4 LEVEL 02 EXECUTIVE FEMALE WR- RCP
SCALE: 1/4" = 1'-0"



A3 LEVEL 02 EXECUTIVE FEMALE WR- FINISH
SCALE: 1/4" = 1'-0"



A2 LEVEL 02 EXECUTIVE FEMALE WR- PLAN
SCALE: 1/4" = 1'-0"

ARCHITECTURAL PLAN NOTES

A. ALL ALTERATIONS TO MEET CURRENT LOCAL ACCESSIBILITY CODES AND CURRENT MUNICIPALITY REQUIREMENTS.
B. THE ARCHITECT/INTERIOR DESIGNER IS NOT RESPONSIBLE FOR ANY ALTERATIONS MADE WITHOUT PRIOR APPROVAL FROM THE GOVERNING AUTHORITY.
C. GENERAL CONTRACTOR TO DETERMINE FIRE RATING OF EXISTING COMPONENTS AND MATCH FIRE RATING AS REQUIRED FOR ANY NEW WORK, WHICH INCLUDES REPAIR OR REPLACEMENT OF FIRE RATED WALLS, OR FOR ANY NEW PENETRATIONS IN FIRE RATED COMPONENTS. GENERAL CONTRACTOR SHOULD NOTIFY THE ARCHITECT/INTERIOR DESIGNER IMMEDIATELY IF ANY FIRE RATED COMPONENTS ARE UNCOVERED DURING DEMOLITION THAT WERE NOT IDENTIFIED ON THE CONSTRUCTION DOCUMENTS.
D. GENERAL CONTRACTOR IS RESPONSIBLE FOR PATCHING AND REPAIRING ANY SPRAY-APPLIED FIRE PROOFING THAT IS ON EXISTING STRUCTURAL ELEMENTS IF IT IS DISTURBED OR DAMAGED DURING CONSTRUCTION. REPAIR MUST BE DONE TO COMPLY WITH ULC LISTING REQUIREMENTS FOR THE SYSTEM AND MUST ALSO COMPLY WITH EXISTING FIRE RATINGS.
E. PATCH AND REPAIR ALL EXISTING WALLS AS REQUIRED IN PREPARATION FOR NEW FINISH.
F. GENERAL CONTRACTOR TO PROVIDE SUBMITTAL MATERIALS, TO INCLUDE PRODUCT DATA, CUT SHEETS, AND FINISH SAMPLES, TO ARCHITECT/INTERIOR DESIGNER AND ENGINEERS FOR FORMAL REVIEW PRIOR TO ORDERING ANY MATERIALS FOR THE PROPOSED WORK.
G. GENERAL CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR ALL MILLWORK, INCLUDING SECTIONS, CONSTRUCTION DETAILS, DIMENSIONS, AND ALL PROPOSED FINISHES AND MATERIALS LISTED FOR TENANT AND ARCHITECT/INTERIOR DESIGNER APPROVAL PRIOR TO CONSTRUCTION OF MILLWORK.
H. PROVIDE MOISTURE RESISTANT TYPE X GYPSUM BOARD AT ANY WALLS IN WET AREAS, INCLUDING WALLS OF LAVATORIES, SINKS, DRINKING FOUNTAINS, BREAK ROOMS, MOP SINKS, ETC THAT ARE NOT TO RECEIVE TILE. ANY WALLS IN WET AREAS TO RECEIVE TILE TO HAVE CEMENTITIOUS BACKER BOARD BEHIND TILE IN ALL LOCATIONS.
I. PROVIDE POWER ASSISTED DOOR CONTROL FOR EACH WASHROOM
J. ALL NEW LAVATORIES, SOAP DISPENSERS AND PAPER TOWEL DISPENSERS TO BE AUTOMATIC U.N.O.
K. ALL NEW TOILETS TO BE WALL MOUNTED
L. REFER TO SHEET A604 FOR INTERIOR FINISH SCHEDULE.
M. EXISTING EMERGENCY LIGHTS TO REMAIN

FINISH PLAN GENERAL NOTES

A. ALL FLOORING TO BE TYPE F1, UNLESS NOTED OTHERWISE.
B. ALL BASE TO BE TYPE B1, UNLESS NOTED OTHERWISE.
C. ALL WALLS WITHIN THE AREA OF WORK INCLUDING EXISTING WALLS, TO BE TAPED, FLOATED, AND SKIMMED FOR SMOOTH APPLICATION OF FINISHES.
D. ALL WALLS TO BE PAINTED WITH (1) PRIMER COAT PLUS (2) FINISH COATS MINIMUM, UNO.
E. ALL FLOORING TRANSITIONS SHALL OCCUR AT THE CENTER OF DOORWAYS, UNLESS NOTED OTHERWISE. PROVIDE TRANSITION STRIP AT CENTERLINE FOR DOORWAYS OR CASED OPENINGS BETWEEN FLOORING TRANSITIONS.
F. GENERAL CONTRACTOR TO FLOAT WALL ALL THE WAY TO FLOOR AS PREP FOR NEW BASE INSTALLATION.
G. ALL GROUT LINES SHALL BE NO GREATER THAN 1/16" WIDE. GROUT ALL LOCATIONS. IF MANUFACTURER RECOMMENDS LARGER GROUT SIZE, NOTIFY ARCHITECT FOR APPROVAL PRIOR TO INSTALLING.
H. GENERAL CONTRACTOR TO PREPARE EXISTING SLAB FOR INSTALLATION OF NEW FINISHES PER MANUFACTURER'S RECOMMENDATIONS. GENERAL CONTRACTOR TO REMOVE ALL FOREIGN MATTER INCLUDING DIRT, GREASE, WAX, OIL AND/OR PAINT. CRACKS, HOLES, AND DEPRESSIONS SHALL BE FILLED WITH QUALITY GRADE FLASHING.
I. GC TO VERIFY WITH MANUFACTURER REQUIRED FINSH/SEALANT AND FLOOR LEVELING FOR ALL FLOORING PRIOR TO ORDERING.
J. ALL RUBBER BASE TO BE 1/8" THICKNESS.
K. ALL EXISTING DOORS TO BE PAINTED U.N.O.
L. FLOOR TILES F1 TO ALIGN WITH WALL TILES W3
M. SECURITY KEYS TO REMAIN, WALLS TO BE PROTECTED
N. WALL TILES TO RUN TO UNDERSIDE OF CEILING WHERE APPLICABLE
O. ALL RESTROOM MIRRORS TO BE WALL MOUNTED LED. REFER TO WASHROOM ACCESSORY SCHEDULE ON A604

REFLECTED CEILING PLAN GENERAL NOTES

A. GENERAL CONTRACTOR TO COORDINATE COMPATIBILITY OF ALL LIGHT FIXTURE TRIMS AND MECHANICAL DIFFUSERS AND GRILLS WITH SPECIFIED CEILING GRID. GENERAL CONTRACTOR TO NOTIFY THE ARCHITECT OF ANY CONFLICTS PRIOR TO ORDERING OR INSTALLING LIGHTING, MEP, OR CEILING ITEMS.
B. GC TO FURNISH IN QUANITITY AND TYPE ALL LIGHT FIXTURES, DIFFUSERS, GRILLES, ETC. AS SHOWN ON BOTH MECHANICAL AND REFLECTED CEILING PLANS. ANY OMISSION FROM ONE PLAN TO THE OTHER SHALL NOT BE CONSTRUED TO MEAN THEIR OMISSION FROM THE PROJECT.
C. GENERAL CONTRACTOR TO VERIFY AVAILABLE CEILING PLENUM HEIGHT, INCLUDING BUT NOT LIMITED TO, ELEVATIONS OF DUCTWORK, SPRINKLER LINES, AND CONDUIT LOCATIONS. CONFIRM LIGHT FIXTURE HEIGHT WITH AVAILABLE PLENUM SPACE PRIOR TO COMMENCING CEILING FRAMING. GENERAL CONTRACTOR TO NOTIFY ARCHITECT/INTERIOR DESIGNER OF ALL LIGHT FIXTURE CONFLICTS.
D. GENERAL CONTRACTOR TO OBTAIN APPROVAL FROM ARCHITECT ON LIGHTING SUBSTITUTIONS PRIOR TO BIDDING AND ORDERING.

powers brown architecture

Architectural Consultant:
Powers Brown Architecture
354 Water St., Suite 212
St. John's, NL A1C 1C4
709.726.3941

www.powersbrown.com

PROJECT TITLE

WORKPLACENL
WASHROOMS PHASE II
148 FOREST ROAD,
ST. JOHN'S, NL, A1A 1E6

A PROJECT FOR
WORKPLACE NL

GENERAL NOTES

SUSPENDED 2' X 2' CEILING
GYP BD CEILING
2' X 4' DIRECT/INDIRECT FIXTURE
4" ROUND DOWNLIGHT FIXTURE

NOTES:

A. CONTRACTOR TO OBTAIN AND PAY FOR ALL PERMITS AND FEES REQUIRED TO CARRY OUT AND COMPLETE THE WORK
B. CONTRACTOR MUST GUARANTEE ALL WORK FOR A PERIOD OF ONE (1) YEAR AFTER DATE OF COMPLETION
C. EQUIPMENT FOR POWER OPERATORS REQUIRED ON ALL WASHROOM DOORS. POWER OPERATORS LOCATED AND INSTALLED TO MEET CSA REQUIREMENTS.
D. ALL DOOR SIZES TO BE VERIFIED ON-SITE TO CONFIRM EXISTING OPENINGS

F.V. = FIELD VERIFY

EXISTING CONSTRUCTION
NEW CONSTRUCTION
EXISTING DOOR
DEDICATED DUPLEX RECEPTACLE

KEY PLAN

△	DATE	REVISION
	2020-08-31	Issue for Construction
1	2020-09-15	Issue for Revision 1

PROJECT NO: 193036
DRAWN BY: ZL/AK
CHECKED BY: SMS/JH

SHEET TITLE

LEVEL 02 ENLARGED PLANS AND ELEVATIONS

SEAL

NEWFOUNDLAND AND LABRADOR
MEMBER
John P. Hoiland, NLAA
Expires Dec 31 2020
Date: 2020.09.10
LICENSED TO PRACTICE
ASSOCIATION OF ARCHITECTS

SHEET NUMBER

A420

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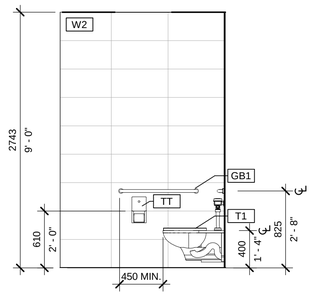
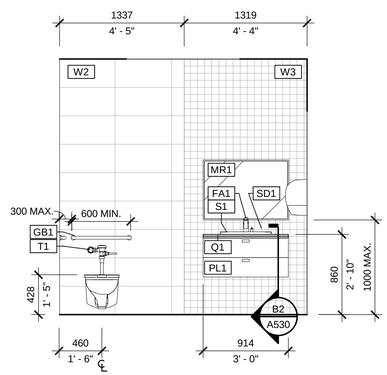
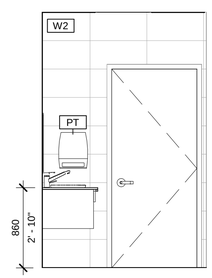


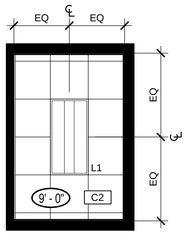
B4 LEVEL 02 EXECUTIVE MALE WR- NORTH
SCALE: 3/8" = 1'-0"



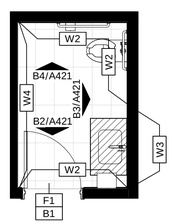
B3 LEVEL 02 EXECUTIVE MALE WR - EAST
SCALE: 3/8" = 1'-0"



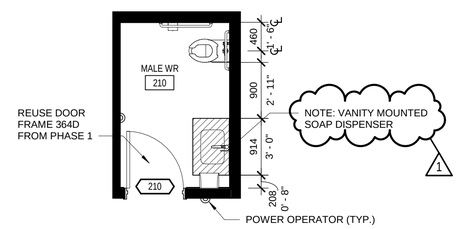
B2 LEVEL 02 EXECUTIVE MALE WR- SOUTH
SCALE: 3/8" = 1'-0"



A4 LEVEL 02 EXECUTIVE MALE WR- RCP
SCALE: 1/4" = 1'-0"



A3 LEVEL 02 EXECUTIVE MALE WR- FINISH
SCALE: 1/4" = 1'-0"



A2 LEVEL 02 EXECUTIVE MALE WR- PLAN
SCALE: 1/4" = 1'-0"

ARCHITECTURAL PLAN NOTES

A. ALL ALTERATIONS TO MEET CURRENT LOCAL ACCESSIBILITY CODES AND CURRENT MUNICIPALITY REQUIREMENTS.
B. THE ARCHITECT/INTERIOR DESIGNER IS NOT RESPONSIBLE FOR ANY ALTERATIONS MADE WITHOUT PRIOR APPROVAL FROM THE GOVERNING AUTHORITY.
C. GENERAL CONTRACTOR TO DETERMINE FIRE RATING OF EXISTING COMPONENTS AND MATCH FIRE RATING AS REQUIRED FOR ANY NEW WORK, WHICH INCLUDES REPAIR OR REPLACEMENT OF FIRE RATED WALLS, OR FOR ANY NEW PENETRATIONS IN FIRE RATED COMPONENTS. GENERAL CONTRACTOR SHOULD NOTIFY THE ARCHITECT/INTERIOR DESIGNER IMMEDIATELY IF ANY FIRE RATED COMPONENTS ARE UNCOVERED DURING DEMOLITION THAT WERE NOT IDENTIFIED ON THE CONSTRUCTION DOCUMENTS.
D. GENERAL CONTRACTOR IS RESPONSIBLE FOR PATCHING AND REPAIRING ANY SPRAY-APPLIED FIRE PROOFING THAT IS ON EXISTING STRUCTURAL ELEMENTS IF IT IS DISTURBED OR DAMAGED DURING CONSTRUCTION. REPAIR MUST BE DONE TO COMPLY WITH ULC LISTING REQUIREMENTS FOR THE SYSTEM AND MUST ALSO COMPLY WITH EXISTING FIRE RATINGS.
E. PATCH AND REPAIR ALL EXISTING WALLS AS REQUIRED IN PREPARATION FOR NEW FINISH.
F. GENERAL CONTRACTOR TO PROVIDE SUBMITTAL MATERIALS, TO INCLUDE PRODUCT DATA, CUT SHEETS, AND FINISH SAMPLES, TO ARCHITECT/INTERIOR DESIGNER AND ENGINEERS FOR FORMAL REVIEW PRIOR TO ORDERING ANY MATERIALS FOR THE PROPOSED WORK.
G. GENERAL CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR ALL MILLWORK, INCLUDING SECTIONS, CONSTRUCTION DETAILS, DIMENSIONS, AND ALL PROPOSED FINISHES AND MATERIALS LISTED FOR TENANT AND ARCHITECT/INTERIOR DESIGNER APPROVAL PRIOR TO CONSTRUCTION OF MILLWORK.
H. PROVIDE MOISTURE RESISTANT TYPE X GYPSUM BOARD AT ANY WALLS IN WET AREAS, INCLUDING WALLS OF LAVATORIES, SINKS, DRINKING FOUNTAINS, BREAK ROOMS, MOP SINKS, ETC THAT ARE NOT TO RECEIVE TILE. ANY WALLS IN WET AREAS TO RECEIVE TILE TO HAVE CEMENTITIOUS BACKER BOARD BEHIND TILE IN ALL LOCATIONS.
I. PROVIDE POWER ASSISTED DOOR CONTROL FOR EACH WASHROOM
J. ALL NEW LAVATORIES, SOAP DISPENSERS AND PAPER TOWEL DISPENSERS TO BE AUTOMATIC U.N.O.
K. ALL NEW TOILETS TO BE WALL MOUNTED
L. REFER TO SHEET A604 FOR INTERIOR FINISH SCHEDULE.
M. EXISTING EMERGENCY LIGHTS TO REMAIN

FINISH PLAN GENERAL NOTES

A. ALL FLOORING TO BE TYPE F1, UNLESS NOTED OTHERWISE.
B. ALL BASE TO BE TYPE B1, UNLESS NOTED OTHERWISE.
C. ALL WALLS WITHIN THE AREA OF WORK INCLUDING EXISTING WALLS, TO BE TAPED, FLOATED, AND SKIMMED FOR SMOOTH APPLICATION OF FINISHES.
D. ALL WALLS TO BE PAINTED WITH (1) PRIMER COAT PLUS (2) FINISH COATS MINIMUM, UNO.
E. ALL FLOORING TRANSITIONS SHALL OCCUR AT THE CENTER OF DOORWAYS, UNLESS NOTED OTHERWISE. PROVIDE TRANSITION STRIP AT CENTERLINE FOR DOORWAYS OR CASED OPENINGS BETWEEN FLOORING TRANSITIONS.
F. GENERAL CONTRACTOR TO FLOAT WALL ALL THE WAY TO FLOOR AS PREP FOR NEW BASE INSTALLATION.
G. ALL GROUT LINES SHALL BE NO GREATER THAN 1/16" WIDE. GROUT ALL LOCATIONS. IF MANUFACTURER RECOMMENDS LARGER GROUT SIZE, NOTIFY ARCHITECT FOR APPROVAL PRIOR TO INSTALLING.
H. GENERAL CONTRACTOR TO PREPARE EXISTING SLAB FOR INSTALLATION OF NEW FINISHES PER MANUFACTURER'S RECOMMENDATIONS. GENERAL CONTRACTOR TO REMOVE ALL FOREIGN MATTER INCLUDING DIRT, GREASE, WAX, OIL AND/OR PAINT. CRACKS, HOLES, AND DEPRESSIONS SHALL BE FILLED WITH QUALITY GRADE FLASHING.
I. GC TO VERIFY WITH MANUFACTURER REQUIRED FINSH/SEALANT AND FLOOR LEVELING FOR ALL FLOORING PRIOR TO ORDERING.
J. ALL RUBBER BASE TO BE 1/8" THICKNESS.
K. ALL EXISTING DOORS TO BE PAINTED U.N.O.
L. FLOOR TILES F1 TO ALIGN WITH WALL TILES W3
M. SECURITY KEYS TO REMAIN, WALLS TO BE PROTECTED
N. WALL TILES TO RUN TO UNDERSIDE OF CEILING WHERE APPLICABLE
O. ALL RESTROOM MIRRORS TO BE WALL MOUNTED LED. REFER TO WASHROOM ACCESSORY SCHEDULE ON A604

REFLECTED CEILING PLAN GENERAL NOTES

A. GENERAL CONTRACTOR TO COORDINATE COMPATIBILITY OF ALL LIGHT FIXTURE TRIMS AND MECHANICAL DIFFUSERS AND GRILLS WITH SPECIFIED CEILING GRID. GENERAL CONTRACTOR TO NOTIFY THE ARCHITECT OF ANY CONFLICTS PRIOR TO ORDERING OR INSTALLING LIGHTING, MEP, OR CEILING ITEMS.
B. GC TO FURNISH IN QUANITITY AND TYPE ALL LIGHT FIXTURES, DIFFUSERS, GRILLES, ETC. AS SHOWN ON BOTH MECHANICAL AND REFLECTED CEILING PLANS. ANY OMISSION FROM ONE PLAN TO THE OTHER SHALL NOT BE CONSTRUED TO MEAN THEIR OMISSION FROM THE PROJECT.
C. GENERAL CONTRACTOR TO VERIFY AVAILABLE CEILING PLENUM HEIGHT, INCLUDING BUT NOT LIMITED TO, ELEVATIONS OF DUCTWORK, SPRINKLER LINES, AND CONDUIT LOCATIONS. CONFIRM LIGHT FIXTURE HEIGHT WITH AVAILABLE PLENUM SPACE PRIOR TO COMMENCING CEILING FRAMING. GENERAL CONTRACTOR TO NOTIFY ARCHITECT/INTERIOR DESIGNER OF ALL LIGHT FIXTURE CONFLICTS.
D. GENERAL CONTRACTOR TO OBTAIN APPROVAL FROM ARCHITECT ON LIGHTING SUBSTITUTIONS PRIOR TO BIDDING AND ORDERING.

powers brown architecture

Architectural Consultant:
Powers Brown Architecture
354 Water St., Suite 212
St. John's, NL A1C 1C4
709.726.3941

www.powersbrown.com

PROJECT TITLE

WORKPLACENL
WASHROOMS PHASE II
148 FOREST ROAD,
ST. JOHN'S, NL, A1A 1E6

A PROJECT FOR

WORKPLACE NL

GENERAL NOTES

SUSPENDED 2' X 2' CEILING

GYP BD CEILING

2' X 4' DIRECT/INDIRECT FIXTURE

4" ROUND DOWNLIGHT FIXTURE

NOTES:

A. CONTRACTOR TO OBTAIN AND PAY FOR ALL PERMITS AND FEES REQUIRED TO CARRY OUT AND COMPLETE THE WORK
B. CONTRACTOR MUST GUARANTEE ALL WORK FOR A PERIOD OF ONE (1) YEAR AFTER DATE OF COMPLETION
C. EQUIPMENT FOR POWER OPERATORS REQUIRED ON ALL WASHROOM DOORS. POWER OPERATORS LOCATED AND INSTALLED TO MEET CSA REQUIREMENTS.
D. ALL DOOR SIZES TO BE VERIFIED ON-SITE TO CONFIRM EXISTING OPENINGS

F.V. = FIELD VERIFY

EXISTING CONSTRUCTION

NEW CONSTRUCTION

EXISTING DOOR

DEDICATED DUPLEX RECEPTACLE

KEY PLAN

△	DATE	REVISION
	2020-08-31	Issue for Construction
1	2020-09-15	Issue for Revision 1

PROJECT NO: 193036
DRAWN BY: ZL/AK
CHECKED BY: SMS/JH

SHEET TITLE

LEVEL 02 ENLARGED PLANS AND ELEVATIONS

SEAL

NEWFOUNDLAND AND LABRADOR MEMBER
John P. Holland, NLAA
Expires Dec 31, 2020
Date: 2020.09.10
LICENSED TO PRACTICE ARCHITECTS ASSOCIATION OF ARCHITECTS

SHEET NUMBER

A421

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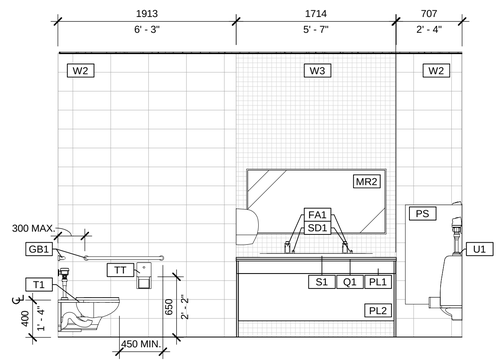
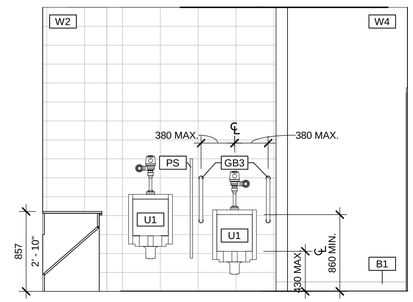
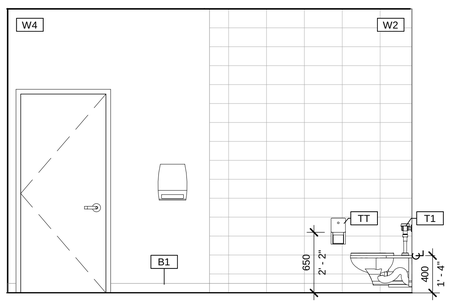


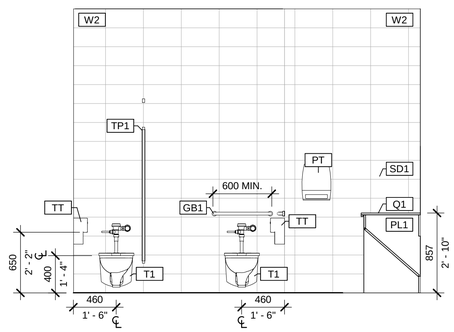
C3 LEVEL 02 MALE WASHROOM - NORTH
SCALE: 3/8" = 1'-0"



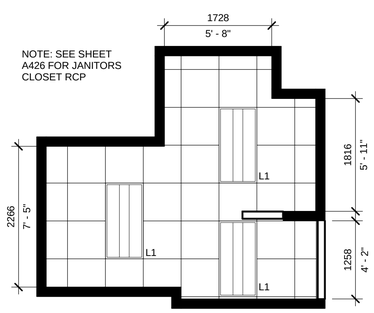
C2 LEVEL 02 MALE WASHROOM - EAST
SCALE: 3/8" = 1'-0"



B3 LEVEL 02 MALE WR- SOUTH
SCALE: 3/8" = 1'-0"



B2 LEVEL 02 MALE WR- WEST
SCALE: 3/8" = 1'-0"



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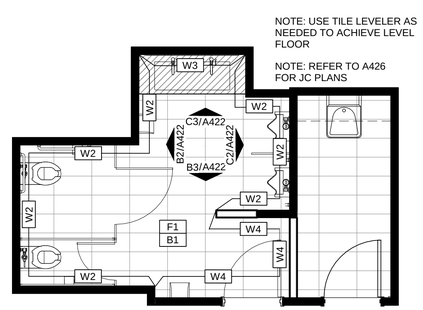
SCALE: 1/4" = 1'-0"



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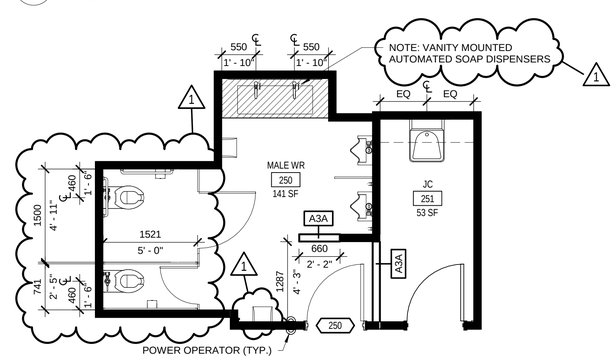

A2 LEVEL 02 MALE WR- PLAN
SCALE: 1/4" = 1'-0"

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K. ALL EXISTING DOORS TO BE PAINTED U.N.O.
L. FLOOR TILES F1 TO ALIGN WITH WALL TILES W3
M. SECURITY KEYS TO REMAIN, WALLS TO BE PROTECTED
N. WALL TILES TO RUN TO UNDERSIDE OF CEILING WHERE APPLICABLE
O. ALL RESTROOM MIRRORS TO BE WALL MOUNTED LED. REFER TO WASHROOM ACCESSORY SCHEDULE ON A604

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D. GENERAL CONTRACTOR TO OBTAIN APPROVAL FROM ARCHITECT ON LIGHTING SUBSTITUTIONS PRIOR TO BIDDING AND ORDERING.

powers brown architecture

Architectural Consultant:
Powers Brown Architecture
354 Water St., Suite 212
St. John's, NL A1C 1C4
709.726.3941

www.powersbrown.com

PROJECT TITLE

WORKPLACENL WASHROOMS PHASE II

148 FOREST ROAD,
ST. JOHN'S, NL, A1A 1E6

A PROJECT FOR

WORKPLACE NL

GENERAL NOTES

SUSPENDED 2' X 2' CEILING
GYP BD CEILING
2' X 4' DIRECT/INDIRECT FIXTURE
4" ROUND DOWNLIGHT FIXTURE

NOTES:

A. CONTRACTOR TO OBTAIN AND PAY FOR ALL PERMITS AND FEES REQUIRED TO CARRY OUT AND COMPLETE THE WORK
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D. ALL DOOR SIZES TO BE VERIFIED ON-SITE TO CONFIRM EXISTING OPENINGS

F.V. = FIELD VERIFY

EXISTING CONSTRUCTION
NEW CONSTRUCTION
EXISTING DOOR
DEDICATED DUPLEX RECEPTACLE

KEY PLAN

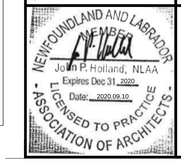
△	DATE	REVISION
	2020-08-31	Issue for Construction
1	2020-09-15	Issue for Revision 1

PROJECT NO: 193036
DRAWN BY: ZL/AK
CHECKED BY: SMS/JH

SHEET TITLE

LEVEL 02 ENLARGED PLANS AND ELEVATIONS

SEAL



SHEET NUMBER

A422

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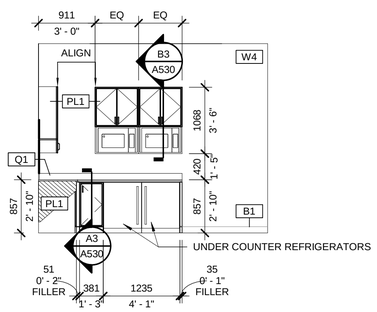
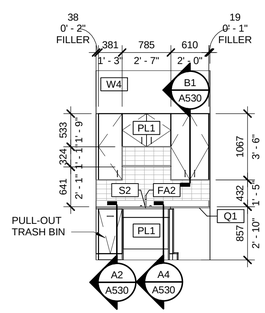
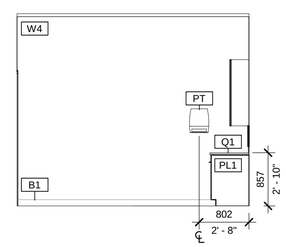


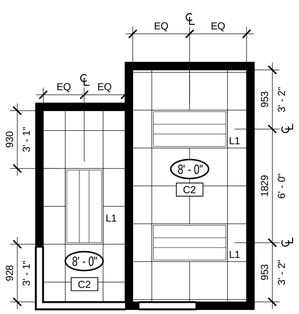
B4 LEVEL 02 KITCHENETTE- EAST
SCALE: 1/4" = 1'-0"



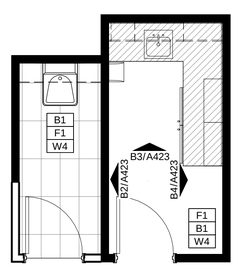
B3 LEVEL 02 KITCHENETTE- NORTH
SCALE: 1/4" = 1'-0"



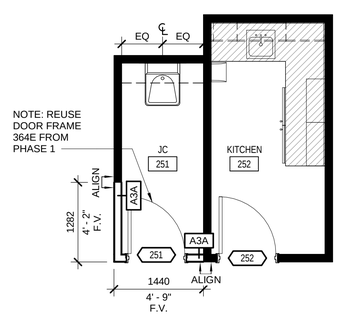
B2 LEVEL 02 KITCHENETTE- WEST
SCALE: 1/4" = 1'-0"



A4 LEVEL 02 KITCHENETTE AND JANITORS CLOSET- RCP
SCALE: 1/4" = 1'-0"



A3 LEVEL 02 KITCHENETTE AND JANITORS CLOSET- FINISH
SCALE: 1/4" = 1'-0"



A2 LEVEL 02 KITCHENETTE AND JANITORS CLOSET- PLAN
SCALE: 1/4" = 1'-0"

ARCHITECTURAL PLAN NOTES

A. ALL ALTERATIONS TO MEET CURRENT LOCAL ACCESSIBILITY CODES AND CURRENT MUNICIPALITY REQUIREMENTS.
B. THE ARCHITECT/INTERIOR DESIGNER IS NOT RESPONSIBLE FOR ANY ALTERATIONS MADE WITHOUT PRIOR APPROVAL FROM THE GOVERNING AUTHORITY.
C. GENERAL CONTRACTOR TO DETERMINE FIRE RATING OF EXISTING COMPONENTS AND MATCH FIRE RATING AS REQUIRED FOR ANY NEW WORK, WHICH INCLUDES REPAIR OR REPLACEMENT OF FIRE RATED WALLS, OR FOR ANY NEW PENETRATIONS IN FIRE RATED COMPONENTS. GENERAL CONTRACTOR SHOULD NOTIFY THE ARCHITECT/INTERIOR DESIGNER IMMEDIATELY IF ANY FIRE RATED COMPONENTS ARE UNCOVERED DURING DEMOLITION THAT WERE NOT IDENTIFIED ON THE CONSTRUCTION DOCUMENTS.
D. GENERAL CONTRACTOR IS RESPONSIBLE FOR PATCHING AND REPAIRING ANY SPRAY-APPLIED FIRE PROOFING THAT IS ON EXISTING STRUCTURAL ELEMENTS IF IT IS DISTURBED OR DAMAGED DURING CONSTRUCTION. REPAIR MUST BE DONE TO COMPLY WITH ULC LISTING REQUIREMENTS FOR THE SYSTEM AND MUST ALSO COMPLY WITH EXISTING FIRE RATINGS.
E. PATCH AND REPAIR ALL EXISTING WALLS AS REQUIRED IN PREPARATION FOR NEW FINISH.
F. GENERAL CONTRACTOR TO PROVIDE SUBMITTAL MATERIALS, TO INCLUDE PRODUCT DATA, CUT SHEETS, AND FINISH SAMPLES, TO ARCHITECT/INTERIOR DESIGNER AND ENGINEERS FOR FORMAL REVIEW PRIOR TO ORDERING ANY MATERIALS FOR THE PROPOSED WORK.
G. GENERAL CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR ALL MILLWORK, INCLUDING SECTIONS, CONSTRUCTION DETAILS, DIMENSIONS, AND ALL PROPOSED FINISHES AND MATERIALS LISTED FOR TENANT AND ARCHITECT/INTERIOR DESIGNER APPROVAL PRIOR TO CONSTRUCTION OF MILLWORK.
H. PROVIDE MOISTURE RESISTANT TYPE X GYPSUM BOARD AT ANY WALLS IN WET AREAS, INCLUDING WALLS OF LAVATORIES, SINKS, DRINKING FOUNTAINS, BREAK ROOMS, MOP SINKS, ETC THAT ARE NOT TO RECEIVE TILE. ANY WALLS IN WET AREAS TO RECEIVE TILE TO HAVE CEMENTITIOUS BACKER BOARD BEHIND TILE IN ALL LOCATIONS.
I. PROVIDE POWER ASSISTED DOOR CONTROL FOR EACH WASHROOM
J. ALL NEW LAVATORIES, SOAP DISPENSERS AND PAPER TOWEL DISPENSERS TO BE AUTOMATIC U.N.O.
K. ALL NEW TOILETS TO BE WALL MOUNTED
L. REFER TO SHEET A604 FOR INTERIOR FINISH SCHEDULE.
M. EXISTING EMERGENCY LIGHTS TO REMAIN

FINISH PLAN GENERAL NOTES

A. ALL FLOORING TO BE TYPE F1, UNLESS NOTED OTHERWISE.
B. ALL BASE TO BE TYPE B1, UNLESS NOTED OTHERWISE.
C. ALL WALLS WITHIN THE AREA OF WORK INCLUDING EXISTING WALLS, TO BE TAPED, FLOATED, AND SKIMMED FOR SMOOTH APPLICATION OF FINISHES.
D. ALL WALLS TO BE PAINTED WITH (1) PRIMER COAT PLUS (2) FINISH COATS MINIMUM, UNO.
E. ALL FLOORING TRANSITIONS SHALL OCCUR AT THE CENTER OF DOORWAYS, UNLESS NOTED OTHERWISE. PROVIDE TRANSITION STRIP AT CENTERLINE FOR DOORWAYS OR CASED OPENINGS BETWEEN FLOORING TRANSITIONS.
F. GENERAL CONTRACTOR TO FLOAT WALL ALL THE WAY TO FLOOR AS PREP FOR NEW BASE INSTALLATION.
G. ALL GROUT LINES SHALL BE NO GREATER THAN 1/16" WIDE. GROUT ALL LOCATIONS. IF MANUFACTURER RECOMMENDS LARGER GROUT SIZE, NOTIFY ARCHITECT FOR APPROVAL PRIOR TO INSTALLING.
H. GENERAL CONTRACTOR TO PREPARE EXISTING SLAB FOR INSTALLATION OF NEW FINISHES PER MANUFACTURER'S RECOMMENDATIONS. GENERAL CONTRACTOR TO REMOVE ALL FOREIGN MATTER INCLUDING DIRT, GREASE, WAX, OIL AND/OR PAINT. CRACKS, HOLES, AND DEPRESSIONS SHALL BE FILLED WITH QUALITY GRADE FLASHING.
I. GC TO VERIFY WITH MANUFACTURER REQUIRED FINSH/SEALANT AND FLOOR LEVELING FOR ALL FLOORING PRIOR TO ORDERING.
J. ALL RUBBER BASE TO BE 1/8" THICKNESS.
K. ALL EXISTING DOORS TO BE PAINTED U.N.O.
L. FLOOR TILES F1 TO ALIGN WITH WALL TILES W3
M. SECURITY KEYS TO REMAIN, WALLS TO BE PROTECTED
N. WALL TILES TO RUN TO UNDERSIDE OF CEILING WHERE APPLICABLE
O. ALL RESTROOM MIRRORS TO BE WALL MOUNTED LED. REFER TO WASHROOM ACCESSORY SCHEDULE ON A604

REFLECTED CEILING PLAN GENERAL NOTES

A. GENERAL CONTRACTOR TO COORDINATE COMPATIBILITY OF ALL LIGHT FIXTURE TRIMS AND MECHANICAL DIFFUSERS AND GRILLS WITH SPECIFIED CEILING GRID. GENERAL CONTRACTOR TO NOTIFY THE ARCHITECT OF ANY CONFLICTS PRIOR TO ORDERING OR INSTALLING LIGHTING, MEP, OR CEILING ITEMS.
B. GC TO FURNISH IN QUANITITY AND TYPE ALL LIGHT FIXTURES, DIFFUSERS, GRILLES, ETC. AS SHOWN ON BOTH MECHANICAL AND REFLECTED CEILING PLANS. ANY OMISSION FROM ONE PLAN TO THE OTHER SHALL NOT BE CONSTRUED TO MEAN THEIR OMISSION FROM THE PROJECT.
C. GENERAL CONTRACTOR TO VERIFY AVAILABLE CEILING PLENUM HEIGHT, INCLUDING BUT NOT LIMITED TO, ELEVATIONS OF DUCTWORK, SPRINKLER LINES, AND CONDUIT LOCATIONS. CONFIRM LIGHT FIXTURE HEIGHT WITH AVAILABLE PLENUM SPACE PRIOR TO COMMENCING CEILING FRAMING. GENERAL CONTRACTOR TO NOTIFY ARCHITECT/INTERIOR DESIGNER OF ALL LIGHT FIXTURE CONFLICTS.
D. GENERAL CONTRACTOR TO OBTAIN APPROVAL FROM ARCHITECT ON LIGHTING SUBSTITUTIONS PRIOR TO BIDDING AND ORDERING.

powers brown architecture

Architectural Consultant:
Powers Brown Architecture
354 Water St., Suite 212
St. John's, NL A1C 1C4
709.726.3941

www.powersbrown.com

PROJECT TITLE

WORKPLACENL
WASHROOMS PHASE II
148 FOREST ROAD,
ST. JOHN'S, NL, A1A 1E6

A PROJECT FOR

WORKPLACE NL

GENERAL NOTES

SUSPENDED 2' X 2' CEILING
GYP BD CEILING
2' X 4' DIRECT/INDIRECT FIXTURE
4" ROUND DOWNLIGHT FIXTURE

NOTES:

A. CONTRACTOR TO OBTAIN AND PAY FOR ALL PERMITS AND FEES REQUIRED TO CARRY OUT AND COMPLETE THE WORK
B. CONTRACTOR MUST GUARANTEE ALL WORK FOR A PERIOD OF ONE (1) YEAR AFTER DATE OF COMPLETION
C. EQUIPMENT FOR POWER OPERATORS REQUIRED ON ALL WASHROOM DOORS. POWER OPERATORS LOCATED AND INSTALLED TO MEET CSA REQUIREMENTS.
D. ALL DOOR SIZES TO BE VERIFIED ON-SITE TO CONFIRM EXISTING OPENINGS

F.V. = FIELD VERIFY

EXISTING CONSTRUCTION
NEW CONSTRUCTION
EXISTING DOOR
DEDICATED DUPLEX RECEPTACLE

KEY PLAN

△	DATE	REVISION
	2020-08-31	Issue for Construction
1	2020-09-15	Issue for Revision 1

PROJECT NO: 193036
DRAWN BY: ZL/AK
CHECKED BY: SMS/JH

SHEET TITLE

LEVEL 02 ENLARGED PLANS AND ELEVATIONS

SEAL

NEWFOUNDLAND AND LABRADOR MEMBER
John P. Holland, NLAA
Expires Dec 31 2020
Date: 2020.09.10
LICENSED TO PRACTICE
ASSOCIATION OF ARCHITECTS

SHEET NUMBER

A423

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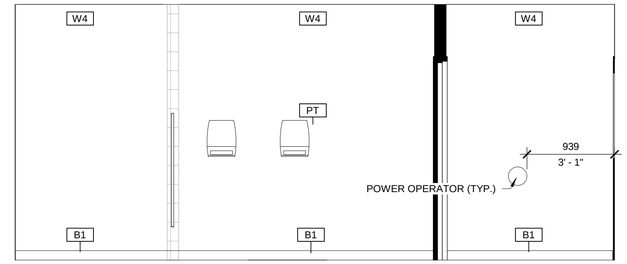
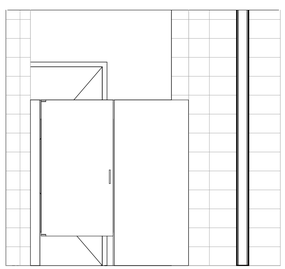
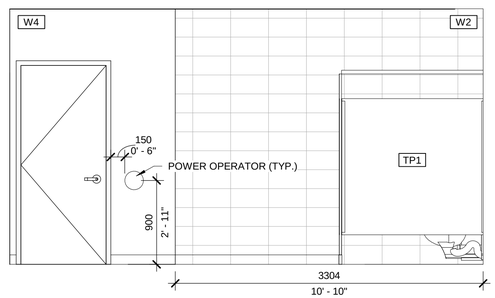
D3 LEVEL 02 FEMALE WR- NORTH
SCALE: 3/8" = 1'-0"



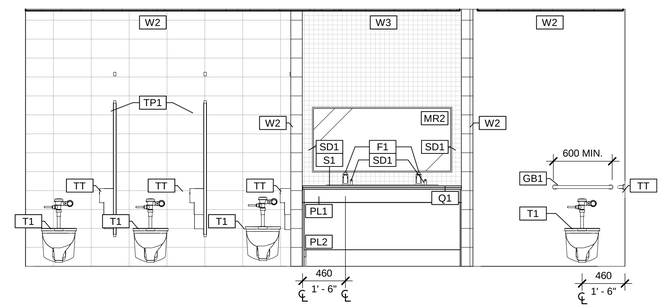
D2 LEVEL 02 FEMALE WR- EAST
SCALE: 3/8" = 1'-0"



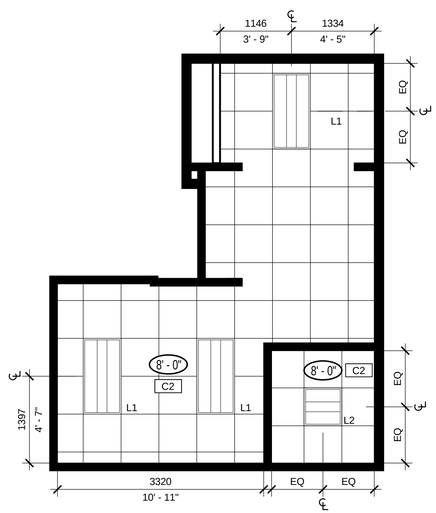
C4 LEVEL 02 FEMALE WR- INDIVIDUAL STALL SOUTH
SCALE: 3/8" = 1'-0"



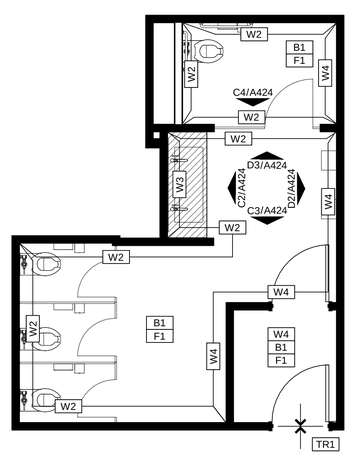
C3 LEVEL 02 FEMALE WR- SOUTH
SCALE: 3/8" = 1'-0"



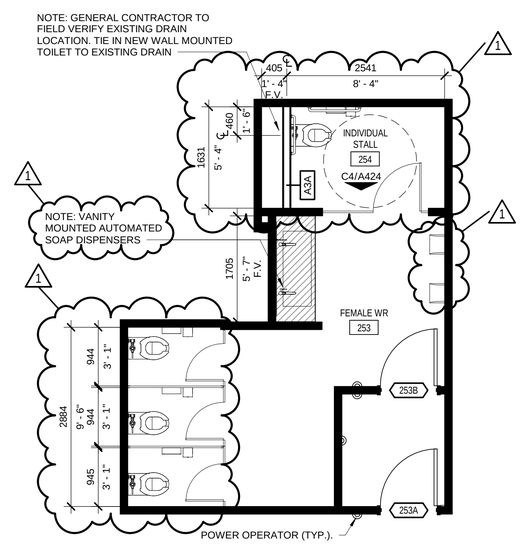
C2 LEVEL 02 FEMALE WR- WEST
SCALE: 3/8" = 1'-0"



A4 LEVEL 02 FEMALE WR- RCP
SCALE: 1/4" = 1'-0"



A3 LEVEL 02 FEMALE WR- FINISH
SCALE: 1/4" = 1'-0"



A2 LEVEL 02 FEMALE WR- PLAN
SCALE: 1/4" = 1'-0"

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M. SECURITY KEYS TO REMAIN, WALLS TO BE PROTECTED
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powers brown architecture

Architectural Consultant:
Powers Brown Architecture
354 Water St., Suite 212
St. John's, NL A1C 1C4
709.726.3941

www.powersbrown.com

PROJECT TITLE

WORKPLACENL WASHROOMS PHASE II

148 FOREST ROAD,
ST. JOHN'S, NL, A1A 1E6

A PROJECT FOR

WORKPLACE NL

GENERAL NOTES

SUSPENDED 2' X 2' CEILING

GYP BD CEILING

2' X 4' DIRECT/INDIRECT FIXTURE

4" ROUND DOWNLIGHT FIXTURE

NOTES:

A. CONTRACTOR TO OBTAIN AND PAY FOR ALL PERMITS AND FEES REQUIRED TO CARRY OUT AND COMPLETE THE WORK
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D. ALL DOOR SIZES TO BE VERIFIED ON-SITE TO CONFIRM EXISTING OPENINGS

F.V. = FIELD VERIFY

EXISTING CONSTRUCTION

NEW CONSTRUCTION

EXISTING DOOR

DEDICATED DUPLEX RECEPTACLE

KEY PLAN

△	DATE	REVISION
	2020-08-31	Issue for Construction
1	2020-09-15	Issue for Revision 1

PROJECT NO: 193036
DRAWN BY: ZL/AK
CHECKED BY: SMS/JH

SHEET TITLE

LEVEL 02 ENLARGED PLANS AND ELEVATIONS

SEAL

NEWFOUNDLAND AND LABRADOR
MEMBER
John P. Holland, NLAA
Expires Dec 31 2020
Date: 2020.09.10
LICENSED TO PRACTICE
ASSOCIATION OF ARCHITECTS

SHEET NUMBER

A424

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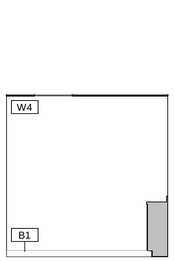
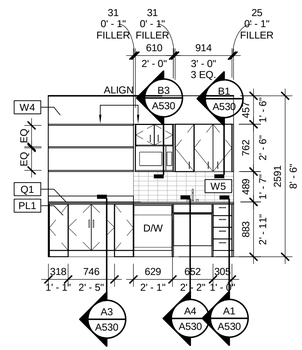


C3 LEVEL 02 EXECUTIVE KITCHENETTE- NORTH
SCALE: 1/4" = 1'-0"



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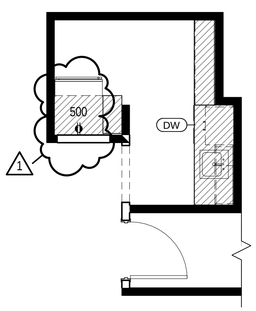

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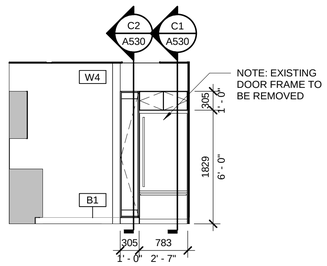
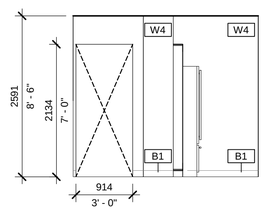
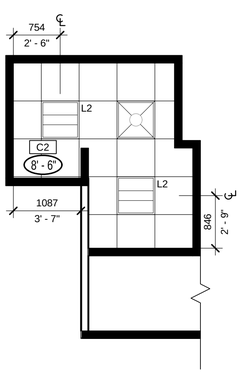


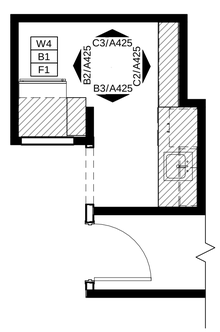
B3 LEVEL 02 EXECUTIVE KITCHENETTE- SOUTH
SCALE: 1/4" = 1'-0"



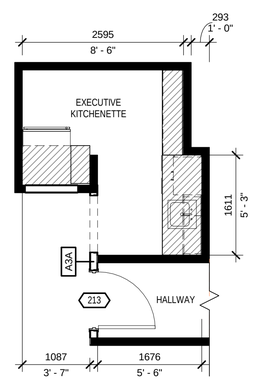
B2 LEVEL 02 EXECUTIVE KITCHENETTE- WEST
SCALE: 1/4" = 1'-0"



A4 LEVEL 02 EXECUTIVE KITCHENETTE- RCP
SCALE: 1/4" = 1'-0"



A3 LEVEL 02 EXECUTIVE KITCHENETTE- FINISH
SCALE: 1/4" = 1'-0"



A2 LEVEL 02 EXECUTIVE KITCHENETTE- PLAN
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C. ALL WALLS WITHIN THE AREA OF WORK INCLUDING EXISTING WALLS, TO BE TAPED, FLOATED, AND SKIMMED FOR SMOOTH APPLICATION OF FINISHES.
D. ALL WALLS TO BE PAINTED WITH (1) PRIMER COAT PLUS (2) FINISH COATS MINIMUM, UNO.
E. ALL FLOORING TRANSITIONS SHALL OCCUR AT THE CENTER OF DOORWAYS, UNLESS NOTED OTHERWISE. PROVIDE TRANSITION STRIP AT CENTERLINE FOR DOORWAYS OR CASED OPENINGS BETWEEN FLOORING TRANSITIONS.
F. GENERAL CONTRACTOR TO FLOAT WALL ALL THE WAY TO FLOOR AS PREP FOR NEW BASE INSTALLATION.
G. ALL GROUT LINES SHALL BE NO GREATER THAN 1/16" WIDE. GROUT ALL LOCATIONS. IF MANUFACTURER RECOMMENDS LARGER GROUT SIZE, NOTIFY ARCHITECT FOR APPROVAL PRIOR TO INSTALLING.
H. GENERAL CONTRACTOR TO PREPARE EXISTING SLAB FOR INSTALLATION OF NEW FINISHES PER MANUFACTURER'S RECOMMENDATIONS. GENERAL CONTRACTOR TO REMOVE ALL FOREIGN MATTER INCLUDING DIRT, GREASE, WAX, OIL AND/OR PAINT. CRACKS, HOLES, AND DEPRESSIONS SHALL BE FILLED WITH QUALITY GRADE FLASHING.
I. GC TO VERIFY WITH MANUFACTURER REQUIRED FINSH/SEALANT AND FLOOR LEVELING FOR ALL FLOORING PRIOR TO ORDERING.
J. ALL RUBBER BASE TO BE 1/8" THICKNESS.
K. ALL EXISTING DOORS TO BE PAINTED U.N.O.
L. FLOOR TILES F1 TO ALIGN WITH WALL TILES W3
M. SECURITY KEYS TO REMAIN, WALLS TO BE PROTECTED
N. WALL TILES TO RUN TO UNDERSIDE OF CEILING WHERE APPLICABLE
O. ALL RESTROOM MIRRORS TO BE WALL MOUNTED LED. REFER TO WASHROOM ACCESSORY SCHEDULE ON A604

REFLECTED CEILING PLAN GENERAL NOTES

A. GENERAL CONTRACTOR TO COORDINATE COMPATIBILITY OF ALL LIGHT FIXTURE TRIMS AND MECHANICAL DIFFUSERS AND GRILLS WITH SPECIFIED CEILING GRID. GENERAL CONTRACTOR TO NOTIFY THE ARCHITECT OF ANY CONFLICTS PRIOR TO ORDERING OR INSTALLING LIGHTING, MEP, OR CEILING ITEMS.
B. GC TO FURNISH IN QUANITITY AND TYPE ALL LIGHT FIXTURES, DIFFUSERS, GRILLES, ETC. AS SHOWN ON BOTH MECHANICAL AND REFLECTED CEILING PLANS. ANY OMISSION FROM ONE PLAN TO THE OTHER SHALL NOT BE CONSTRUED TO MEAN THEIR OMISSION FROM THE PROJECT.
C. GENERAL CONTRACTOR TO VERIFY AVAILABLE CEILING PLENUM HEIGHT, INCLUDING BUT NOT LIMITED TO, ELEVATIONS OF DUCTWORK, SPRINKLER LINES, AND CONDUIT LOCATIONS. CONFIRM LIGHT FIXTURE HEIGHT WITH AVAILABLE PLENUM SPACE PRIOR TO COMMENCING CEILING FRAMING. GENERAL CONTRACTOR TO NOTIFY ARCHITECT/INTERIOR DESIGNER OF ALL LIGHT FIXTURE CONFLICTS.
D. GENERAL CONTRACTOR TO OBTAIN APPROVAL FROM ARCHITECT ON LIGHTING SUBSTITUTIONS PRIOR TO BIDDING AND ORDERING.

powers brown architecture

Architectural Consultant:
Powers Brown Architecture
354 Water St., Suite 212
St. John's, NL A1C 1C4
709.726.3941

www.powersbrown.com

PROJECT TITLE

WORKPLACENL
WASHROOMS PHASE II
148 FOREST ROAD,
ST. JOHN'S, NL, A1A 1E6

A PROJECT FOR

WORKPLACE NL

GENERAL NOTES

SUSPENDED 2' X 2' CEILING

GYP BD CEILING

2' X 4' DIRECT/INDIRECT FIXTURE

4" ROUND DOWNLIGHT FIXTURE

NOTES:

A. CONTRACTOR TO OBTAIN AND PAY FOR ALL PERMITS AND FEES REQUIRED TO CARRY OUT AND COMPLETE THE WORK
B. CONTRACTOR MUST GUARANTEE ALL WORK FOR A PERIOD OF ONE (1) YEAR AFTER DATE OF COMPLETION
C. EQUIPMENT FOR POWER OPERATORS REQUIRED ON ALL WASHROOM DOORS. POWER OPERATORS LOCATED AND INSTALLED TO MEET CSA REQUIREMENTS.
D. ALL DOOR SIZES TO BE VERIFIED ON-SITE TO CONFIRM EXISTING OPENINGS

F.V. = FIELD VERIFY

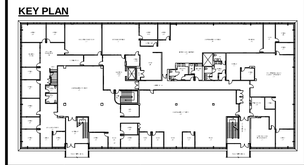
EXISTING CONSTRUCTION

NEW CONSTRUCTION

EXISTING DOOR

DEDICATED DUPLEX RECEPTACLE

KEY PLAN



△	DATE	REVISION
	2020-08-31	Issue for Construction
1	2020-09-15	Issue for Revision 1

PROJECT NO: 193036
DRAWN BY: ZL/AK
CHECKED BY: SMS/JH

SHEET TITLE

LEVEL 02 ENLARGED PLANS AND ELEVATIONS

SEAL

NEWFOUNDLAND AND LABRADOR MEMBER
John P. Holland, NLAA
Expires Dec 31 2020
Date: 2020.09.10
LICENSED TO PRACTICE ARCHITECTURE
ASSOCIATION OF ARCHITECTS

SHEET NUMBER

A425

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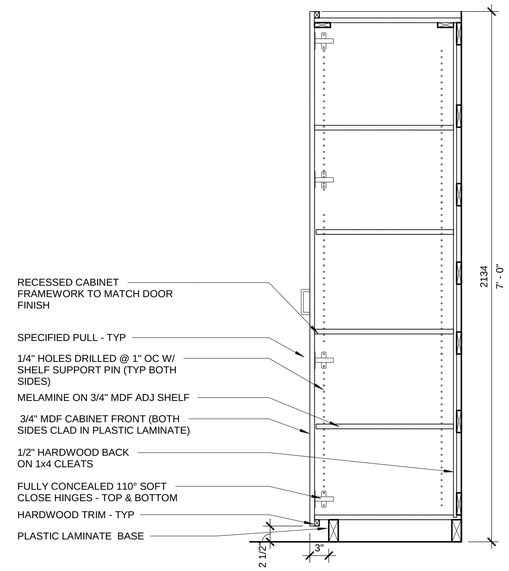
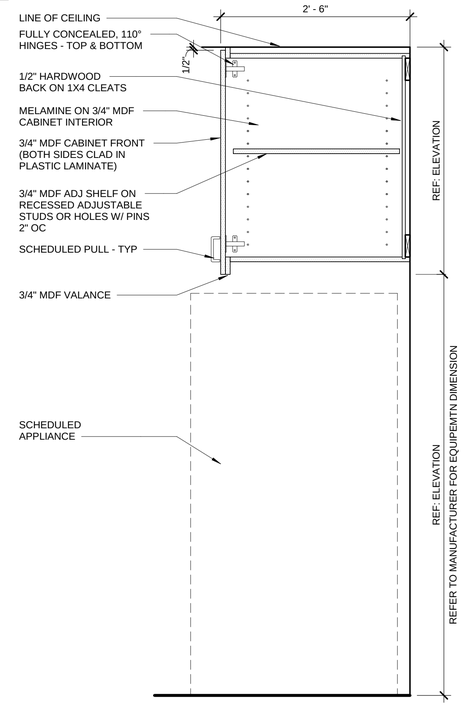


C2 SECTION @ TALL CABINET W/ DOOR
SCALE: 1" = 1'-0"



C1 SECTION @ UPPER CABINET WITH REFRIGERATOR
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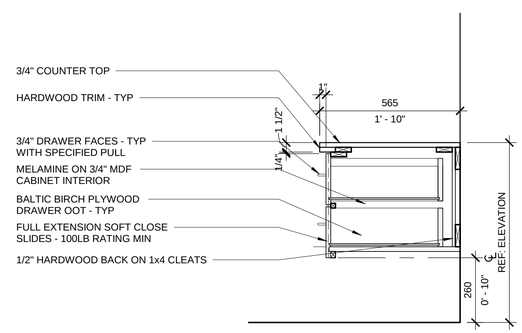
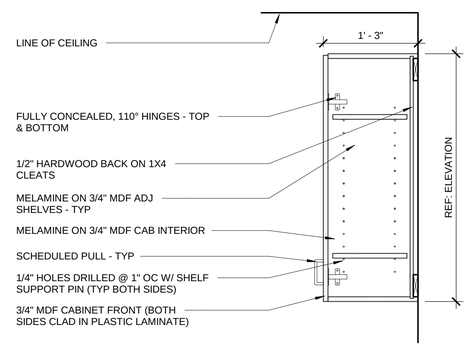
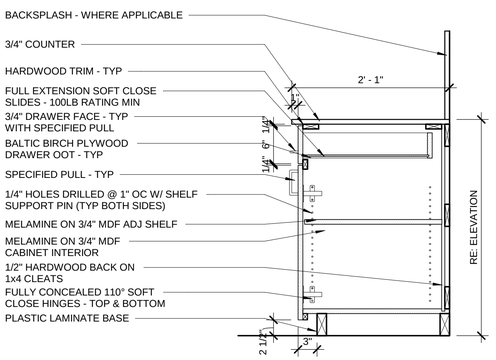


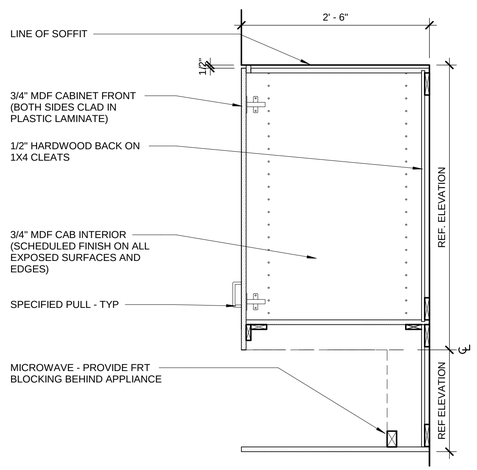
B2 SECTION @ OPEN VANITY - 2 DRAWERS W/PLAM TOP
SCALE: 1" = 1'-0"



B1 SECTION @ UPPER CABINET W/O SOFFIT
SCALE: 1" = 1'-0"



B4 SECTION @ BASE CABINET - 1 DRAWER OVER DOOR
SCALE: 1" = 1'-0"



B3 SECTION @ MICROWAVE CABINET
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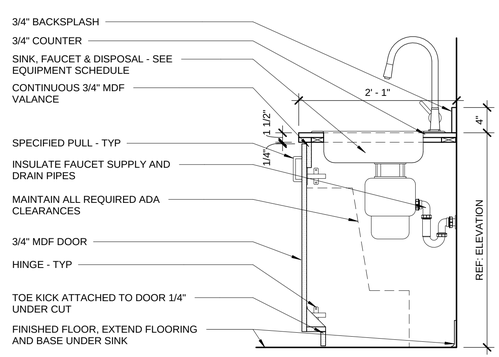

A4 SECTION @ BASE CABINET @ SINK CSA
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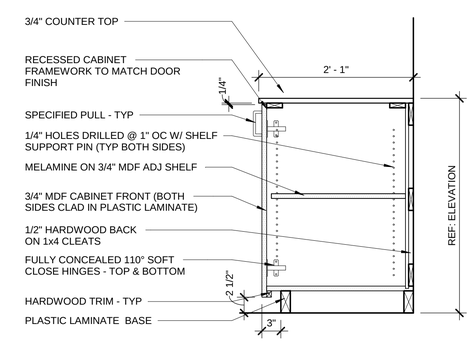
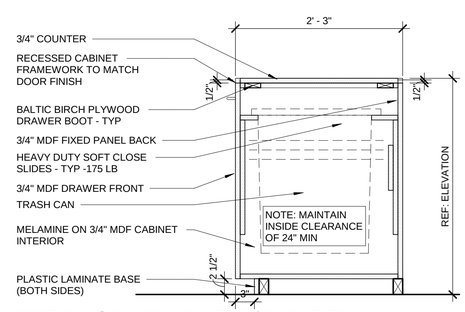


A3 SECTION @ BASE CABINET W/ DOOR
SCALE: 1" = 1'-0"



A2 SECTION @ BASE CABINET W/ SINGLE TRASH
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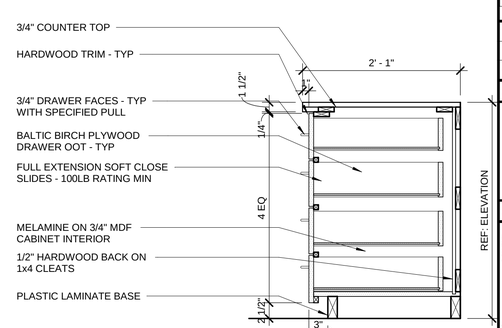

A1 SECTION @ BASE CABINET - 4 EQUAL DRAWERS
SCALE: 1" = 1'-0"

powers brown architecture

Architectural Consultant:
Powers Brown Architecture
354 Water St., Suite 212
St. John's, NL A1C 1C4
709.726.3941

www.powersbrown.com

PROJECT TITLE

WORKPLACENL
WASHROOMS PHASE II
148 FOREST ROAD,
ST. JOHN'S, NL, A1A 1E6

A PROJECT FOR

WORKPLACE NL

GENERAL NOTES

△	DATE	REVISION
	2020-08-31	Issue for Construction
1	2020-09-15	Issue for Revision 1

PROJECT NO: 193036
DRAWN BY: SMS/ZL
CHECKED BY: JH

SHEET TITLE

MILLWORK SECTIONS

SEAL

NEWFOUNDLAND AND LABRADOR MEMBER
John P. Holland, NLAA
Expires Dec 31, 2020
Date: 2020.09.10
LICENSED TO PRACTICE
ASSOCIATION OF ARCHITECTS

SHEET NUMBER

A530

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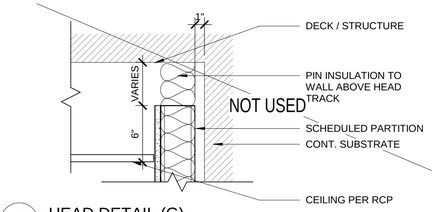

07 HEAD DETAIL (G)
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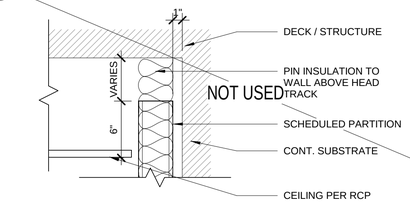

08 HEAD DETAIL (H)
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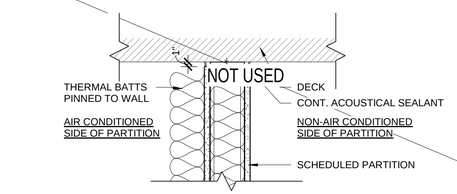

09 HEAD DETAIL (J)
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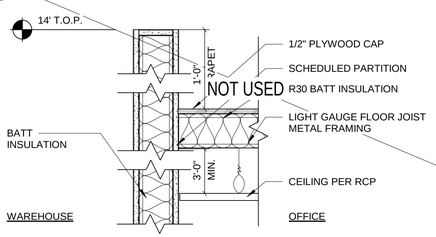

10 HEAD DETAIL (K)
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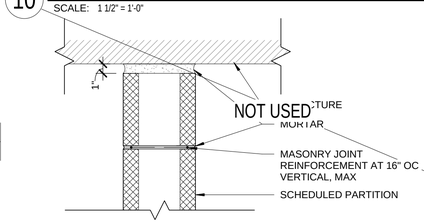
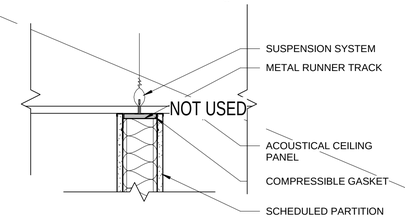
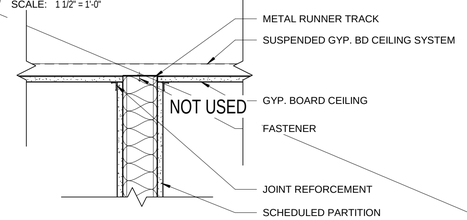


11 HEAD DETAIL (L)
SCALE: 1 1/2" = 1'-0"



01 HEAD DETAIL (A)
SCALE: 1 1/2" = 1'-0"



02 HEAD DETAIL (B)
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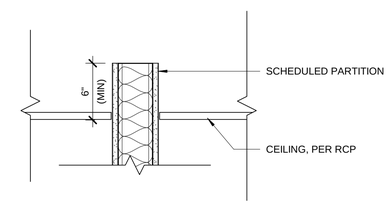
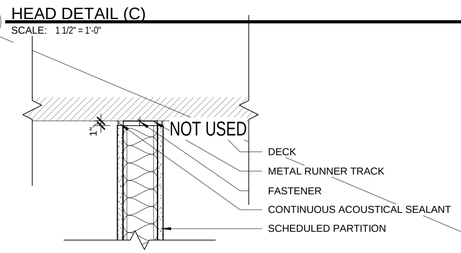


03 HEAD DETAIL (C)
SCALE: 1 1/2" = 1'-0"



04 HEAD DETAIL (D)
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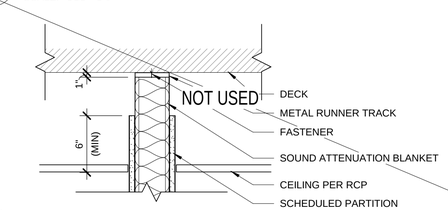

05 HEAD DETAIL (E)
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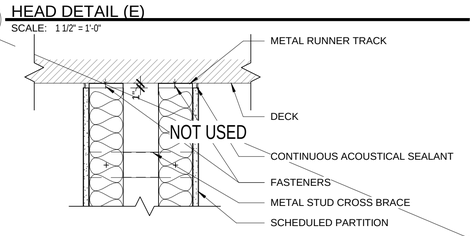

06 HEAD DETAIL (F)
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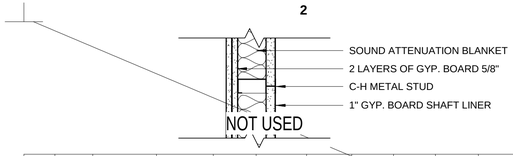
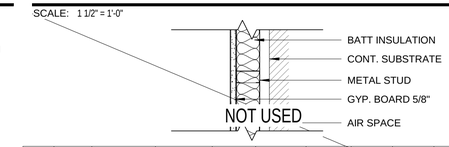


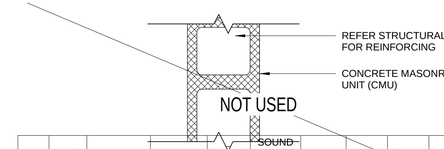
TYPE	STUD SIZE	WALL THICKNESS	STUD SPACING	GAUGE	SOUND ATTEN. BLANKET	STC	HEAD DETAIL	SILL DETAIL	FIRE RATING	TESTED ASSEMBLY

PARTITION TYPE 'G'
SCALE: 1 1/2" = 1'-0"



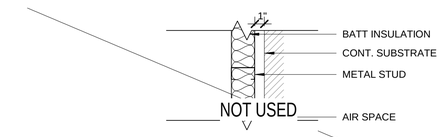
TYPE	STUD SIZE	WALL THICKNESS	STUD SPACING	GAUGE	SOUND ATTEN. BLANKET	STC	HEAD DETAIL	SILL DETAIL	FIRE RATING	TESTED ASSEMBLY

PARTITION TYPE 'H'
SCALE: 1 1/2" = 1'-0"



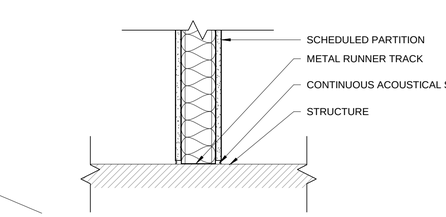
TYPE	STUD SIZE	WALL THICKNESS	STUD SPACING	GAUGE	SOUND ATTEN. BLANKET	STC	HEAD DETAIL	SILL DETAIL	FIRE RATING	TESTED ASSEMBLY

PARTITION TYPE 'J'
SCALE: 1 1/2" = 1'-0"

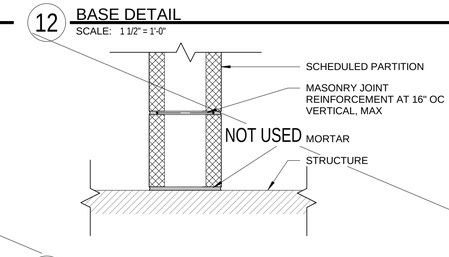


TYPE	STUD SIZE	WALL THICKNESS	STUD SPACING	GAUGE	SOUND ATTEN. BLANKET	STC	HEAD DETAIL	SILL DETAIL	FIRE RATING	TESTED ASSEMBLY

PARTITION TYPE 'K'
SCALE: 1 1/2" = 1'-0"



12 BASE DETAIL
SCALE: 1 1/2" = 1'-0"



13 BASE DETAIL
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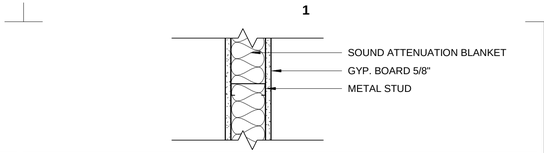

TYPE	STUD SIZE	WALL THICKNESS	STUD SPACING	GAUGE	SOUND ATTEN. BLANKET	STC	HEAD DETAIL	SILL DETAIL	FIRE RATING	TESTED ASSEMBLY

PARTITION TYPE 'A'
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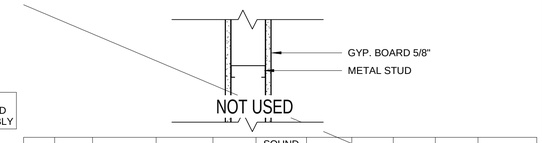

TYPE	STUD SIZE	WALL THICKNESS	STUD SPACING	GAUGE	SOUND ATTEN. BLANKET	STC	HEAD DETAIL	SILL DETAIL	FIRE RATING	TESTED ASSEMBLY

PARTITION TYPE 'B'
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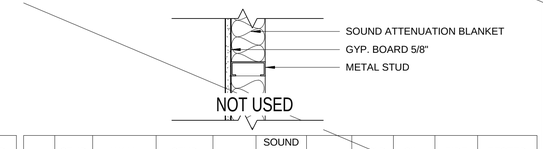
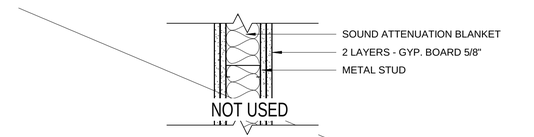


TYPE	STUD SIZE	WALL THICKNESS	STUD SPACING	GAUGE	SOUND ATTEN. BLANKET	STC	HEAD DETAIL	SILL DETAIL	FIRE RATING	TESTED ASSEMBLY
C2A	2 1/2"	3 1/8"	16" O.C.		2 1/2"		01	12	N/A	N/A

PARTITION TYPE 'C'
SCALE: 1 1/2" = 1'-0"



TYPE	STUD SIZE	WALL THICKNESS	STUD SPACING	GAUGE	SOUND ATTEN. BLANKET	STC	HEAD DETAIL	SILL DETAIL	FIRE RATING	TESTED ASSEMBLY

PARTITION TYPE 'D'
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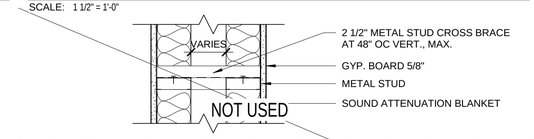
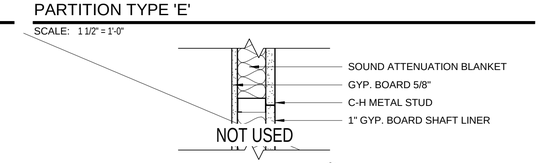


TYPE	STUD SIZE	WALL THICKNESS	STUD SPACING	GAUGE	SOUND ATTEN. BLANKET	STC	HEAD DETAIL	SILL DETAIL	FIRE RATING	TESTED ASSEMBLY
E3F	3 5/8"	SEE PLAN	16" O.C.		3 5/8"		06	12	N/A	N/A

PARTITION TYPE 'E'
SCALE: 1 1/2" = 1'-0"



TYPE	STUD SIZE	WALL THICKNESS	STUD SPACING	GAUGE	SOUND ATTEN. BLANKET	STC	HEAD DETAIL	SILL DETAIL	FIRE RATING	TESTED ASSEMBLY

PARTITION TYPE 'F'
SCALE: 1 1/2" = 1'-0"

powers brown architecture

Architectural Consultant:
Powers Brown Architecture
354 Water St., Suite 212
St. John's, NL A1C 1C4
709.726.3941

www.powersbrown.com

PROJECT TITLE

WORKPLACENL WASHROOMS PHASE II
148 FOREST ROAD,
ST. JOHN'S, NL, A1A 1E6

A PROJECT FOR

WORKPLACE NL

GENERAL NOTES

A NOT ALL PARTITION TYPES SHOWN MAY BE USED; REFER TO PLANS FOR LOCATIONS AND EXTENT
B PROVIDE CEMENTITOUS WALL BOARD IN LIEU OF 5/8" GYP BOARD AT ALL WALLS TO RECEIVE PORCELAIN TILE, STONE, CERAMIC TILE OR FRP
C WHERE U.L. ASSEMBLIES OR OTHER TESTED ASSEMBLIES ARE INDICATED, COMPLY WITH DETAILED REQUIREMENTS SHOWN ON U.L. ASSEMBLY SHEETS. U.L. ASSEMBLIES (OR OTHER TESTED ASSEMBLIES) REQUIREMENTS OVERRIDE THE PBA PARTITIONS
D REFER TO FINISH SCHEDULE AND/OR FINISH PLAN FOR LOCATIONS OF SPECIAL FIRE-RESISTIVE WALLBOARD, FOIL-BACKED GYPSUM WALLBOARD, ABUSIVE-RESISTANT GYPSUM WALLBOARD, WATER-RESISTANT GYPSUM WALLBOARD, GLASS-MAT WATER-RESISTANT BACKING BOARD, OR CEMENTITIOUS BACKER UNITS THAT MAY BE REQUIRED IN PLACE OF GYPSUM WALLBOARD INDICATED
E INSTALL CONTROL JOINTS AT LOCATIONS INDICATED. IF NOT INDICATED, DETERMINE LOCATIONS BY CONSULTING WITH ARCHITECT
F BATT INSULATION TO BE INSTALLED B/W STUD FRAMING INSIDE EXTERIOR WALL FURRING AND BETWEEN ALL ROOF FRAMING MEMEBERS. SECURE ROOF INSULATION BATTS IN PLACE WITH WIRE MESH ATTACHED TO FRAMING MEMEBERS
G INTERIOR ROOF BATT INSULATION TO MEET MINIMUM JURISDICTION PERFORMANCE REQUIREMENTS
H INSULATION ALONG EXTERIOR WALL FURRING AND ROOF SPACES TO BE INSTALLED WITHOUT GAPS OR VOIDS; DO NOT COMPRESS INSULATION. REFER TO R-VALUES ANNOTATED IN CODE SUMMARY FOR REQUIREMENTS.
J MAXIMUM CLEAR SPAN HEIGHTS FOR INTERIOR METAL STUDS SHALL BE SUCH THAT DEFLECTION SHALL NOT EXCEED L/360 UNDER A 5 PSF LOAD (CERAMIC TILE FINISHES AND/OR WALLS TO DECK) AND L/120 AT ALL OTHER AREAS.

△	DATE	REVISION
	2020-08-31	Issue for Construction
1	2020-09-15	Issue for Revision 1

PROJECT NO: 193036
DRAWN BY: PBA
CHECKED BY: SMS/JH

SHEET TITLE

PARTITION TYPES

SEAL

NEWFOUNDLAND AND LABRADOR MEMBER
John P. Holland, NLAA
Expires Dec 31, 2020
Date: 2020.09.10
LICENSED TO PRACTICE
ASSOCIATION OF ARCHITECTS

SHEET NUMBER

A601

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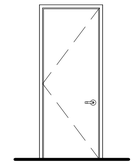
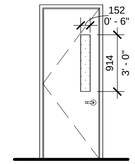
DOOR ELEVATIONS

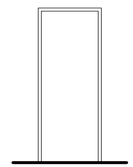


TYPE A
SINGLE SOLID



TYPE B
SINGLE SOLID W/ LITE

FRAME ELEVATIONS



TYPE 1
SINGLE SOLID, HM

DOOR & FRAME SCHEDULE

From Room: Name	DOOR ASSEMBLY Number	DOOR ASSEMBLY Type	DOOR Dimensions Width	DOOR Dimensions Height	DOOR Dimensions Thickness	DOOR Door Material	DOOR Door Finish	FRAME Frame Material	FRAME Frame Finish	Side Lite Width	Hardware Set	Fire Rating	Comments
	209	A	3' - 0"	7' - 0"	1 3/4"	SCWD (BIRCH)	PAINTED	HM	PAINTED		02		
MALE WR	210	A	3' - 0"	7' - 0"	1 3/4"	SCWD (BIRCH)	PAINTED	HM	PAINTED		02		REUSE FRAME 364D FROM PHASE 1
HALLWAY	213	B	3' - 0"	7' - 0"	1 3/4"	SCWD (BIRCH)	PAINTED	HM	PAINTED		03	45 MIN	
MALE WR	250	A	3' - 0"	7' - 0"	1 3/4"	SCWD (BIRCH)	PAINTED	HM	PAINTED		01		
JC	251	A	3' - 0"	8' - 0"	1 3/4"	SCWD (BIRCH)	PAINTED	HM	PAINTED		04		REUSE FRAME 364E FROM PHASE 1
KITCHEN	252	B	3' - 0"	7' - 0"	1 3/4"	SCWD (BIRCH)	PAINTED	HM	PAINTED		03	45 MIN	
FEMALE WR VESTIBULE	253A	B	3' - 0"	7' - 0"	1 3/4"	SCWD (BIRCH)	PAINTED	HM	PAINTED		01	45 MIN	
FEMALE WR VESTIBULE	253B	A	3' - 0"	7' - 0"	1 3/4"	SCWD (BIRCH)	PAINTED	HM	PAINTED		01		

DOOR HARDWARE

DOOR HARDWARE GROUP 01 (PUBLIC WASHROOMS)

3	EA	HINGE	5BB1HW 4.5 x 4	626	IVE
1	EA	PUSH PLATE	8200 4" x 16"	630	IVE
1	EA	PULL PLATE	8302 10" 4" x 16"	630	IVE
1	EA	SURFACE CLOSER	4040XP RW/PA	689	LCN
1	EA	AUTO OPERATOR	9542 MS	ANCLR	LCN
1	EA	PROTECTION PLATE	8400 10" x 1 1/2" LDW	630	IVE
1	EA	WALL STOP	WS406/407	626	IVE

MODE OF OPERATION: DOOR CAN BE OPENED BY PULLING ON PULL HANDLE OR BY PRESSING THE ACTUATOR BUTTON WHICH WILL AUTOMATICALLY OPEN THE DOORS FOR A PERIOD OF TIME.

DOOR HARDWARE GROUP 02 (PRIVATE/INDIVIDUAL WASHROOMS)

3	EA	HINGE	5BB1 4.5 X 4	652	IVE
1	EA	PRIVACY LOCK	ND40S SPA	626	SCH
1	EA	WALL STOP	WS406/407	626	IVE
1	EA	AUTO OPERATOR	9542 DD MS	ANCLR	LCN
1	EA	ACTUATOR	8310-853	630	LCN
1	EA	ACTUATOR	8310-855	630	LCN
1	EA	?	?	630	LCN

MODE OF OPERATION: DOOR CAN BE OPENED BY PULLING ON PULL HANDLE OR BY PRESSING THE ACTUATOR BUTTON WHICH WILL AUTOMATICALLY OPEN THE DOORS FOR A PERIOD OF TIME.
NOTE: DOOR LOCKS FROM INSIDE

DOOR HARDWARE GROUP 03 - (HALLWAY & KITCHEN)

3	EA	HINGE	5BB1 4.5 X 4	652	IVE
1	EA	PASSAGE SET	T101 QUA	626	FAL
1	EA	WALL STOP	WS406/407	626	IVE
1	EA	SURFACE CLOSER	4040XP RW/PA	689	LCN

1

NOTE: DOOR IS NOT LOCKABLE

DOOR HARDWARE GROUP 04 - (JANITOR)

3	EA	HINGE	5BB1 4.5 X 4	652	IVE
1	EA	STOREROOM	ND80GD SPA	626	SCH
1	EA	SURFACE CLOSER	1461 RW/PA	686	LCN
1	EA	WALL STOP	WS406/407	626	IVE
1	EA	WEATHERSTRIP	W-14 x by door width x (2) door height	628	KNC

NOTE: KEY ACCESS REQUIRED

powers brown architecture

Architectural Consultant:
Powers Brown Architecture
354 Water St., Suite 212
St. John's, NL A1C 1C4
709.726.3941

www.powersbrown.com

PROJECT TITLE

WORKPLACENL
WASHROOMS PHASE II
148 FOREST ROAD,
ST. JOHN'S, NL, A1A 1E6

A PROJECT FOR

WORKPLACE NL

GENERAL NOTES

A: EQUIPMENT FOR POWER OPERATORS REQUIRED ON ALL WASHROOM DOORS. POWER OPERATORS LOCATED AND INSTALLED TO MEET CSA REQUIREMENTS.
B: NEW DOORS TO MATCH EXISTING OPENINGS
C: ALL NEW DOORS TO BE BIRCH WITH CLEAR SATIN FINISH U.N.O.

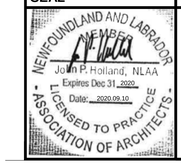
△	DATE	REVISION
	2020-08-31	Issue for Construction
1	2020-09-15	Issue for Revision 1

PROJECT NO: 193036
DRAWN BY: ZL
CHECKED BY: SMS/JH

SHEET TITLE

DOOR ELEVATIONS & DOOR & FRAME SCHEDULE

SEAL



SHEET NUMBER

A602

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DOOR HARDWARE SCHEDULE

DOOR & FRAME SCHEDULE

From Room: Name	DOOR ASSEMBLY Number	DOOR ASSEMBLY Type	DOOR Dimensions Width	DOOR Dimensions Height	DOOR Dimensions Thickness	DOOR Door Material	DOOR Door Finish	FRAME Frame Material	FRAME Frame Finish	Side Lite Width	Hardware Set	Fire Rating	Comments
	209	A	3' - 0"	7' - 0"	1 3/4"	SCWD (BIRCH)	PAINTED	HM	PAINTED		02		
MALE WR	210	A	3' - 0"	7' - 0"	1 3/4"	SCWD (BIRCH)	PAINTED	HM	PAINTED		02		REUSE FRAME 364D FROM PHASE 1
HALLWAY	213	B	3' - 0"	7' - 0"	1 3/4"	SCWD (BIRCH)	PAINTED	HM	PAINTED		03	45 MIN	
MALE WR	250	A	3' - 0"	7' - 0"	1 3/4"	SCWD (BIRCH)	PAINTED	HM	PAINTED		01		
JC	251	A	3' - 0"	8' - 0"	1 3/4"	SCWD (BIRCH)	PAINTED	HM	PAINTED		04		REUSE FRAME 364E FROM PHASE 1
KITCHEN	252	B	3' - 0"	7' - 0"	1 3/4"	SCWD (BIRCH)	PAINTED	HM	PAINTED		03	45 MIN	
FEMALE WR VESTIBULE	253A	B	3' - 0"	7' - 0"	1 3/4"	SCWD (BIRCH)	PAINTED	HM	PAINTED		01	45 MIN	
FEMALE WR VESTIBULE	253B	A	3' - 0"	7' - 0"	1 3/4"	SCWD (BIRCH)	PAINTED	HM	PAINTED		01		

powers brown architecture

2100 Travis St., Suite 501
Houston, Texas 77002
713.224.0456
713.224.0457 fax
www.powersbrown.com

PROJECT TITLE

WORKPLACENL WASHROOMS PHASE II
148 FOREST ROAD,
ST. JOHN'S, NL, A1A 1E6

A PROJECT FOR

WORKPLACE NL

GENERAL NOTES

△	DATE	REVISION

PROJECT NO: 193036
DRAWN BY: Author
CHECKED BY: Checker

SHEET TITLE

DOOR HARDWARE & DOOR & FRAME SCHEDULE CON'T.

SEAL

JEFFREY B. BROWN
REGISTRATION #19030
PRELIMINARY
NOT FOR CONSTRUCTION, PERMIT, OR REGULATORY APPROVAL
CURRENT AS OF:
31/08/2020
2:06:15 PM

SHEET NUMBER

A603

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SCHEDULES

FINISH SCHEDULE - BLANK

CODE	MATERIAL	MANUFACTURER	DESCRIPTION	COLOR	DEALER	REP NAME	CONTACT NO	REMARKS
FLOOR								
F1	12 x 24 GLAZED CERAMIC TILE	DALTILE	Collection: Balans - 12 x 24 - Matte	White BA30				70/30 Offset. Typ @ Washroom Floor
BASE								
B1	4 x 12 TILE	DALTILE	Collection: Balans - 4 x12 - Matte	White BA30				Typ @ all tile floors
WALL								
W2	12 x 24 GLAZED CERAMIC TILE	DALTILE	Collection: Balans - 12 x 24 - Matte	White BA30				Typ @ KICTHEN BACKSPLASH
W3	MOSAIC TILE	CENTURA	13 x 13 - GLASS	LIGHT BLUE				Typ @ Washroom Walls
W4	PAINT	SHERWIN WILLIAMS	EGGSHELL OVER LEVEL IV FINISH; 1 COAT PRIMER, 2 LATEX FINISH COATS	SW 7006 - EXTRA WHITE				Typ @ Lavatory Mirror Walls
W5	3" x 6 " GLAZED CERAMIC TILE	DALTILE	DALTILE; RETROSPACE; 3 x 6 STACK BOND INSTALLAION	RS30 MODERN WHITE				Typ @ KICTHEN BACKSPLASH
CEILING								
C1	2'x4' MINERAL FIBER	USG	ACOUSTIC CEILING	White				N/A For Level 03
C2	2'x2' MINERAL FIBER	USG	ACOUSTIC CEILING	White				Typ @ Washrooms and Janitors Closets
MILLWORK								
CP1	CABINET PULLS							TYPICAL @ MILLWORK
PL1	PLASTIC LAMINATE	FORMICA	8907- NG - Natural Grain - Matte	FOX TEAKWOOD				TYPICAL @ Cabinet Faces, Interior Doors
PL2	METAL LAMINATE	FORMICA	Deco Metal Collection #M2032	BRUSHED PEWTER ALUMINUM				TYPICAL @ Lavatory Accessible Skirt
Q1	ENGINEERED QUARTZ	CAESARSTONE	2CM Quartz Countertop with Laminated Eased Edge	Frosty Carrina (5141)				Typ @ Countertops
TRANSITION								
TR1	METAL TRANSITION	SCHLUTER SYSTEMS	SCHIENE; COORDINATE MATERIAL THICKNESS	STAINLESS STEEL		SIMON DAOUST		TYP. @ TILE FLOOR TO OTHER

WASHROOM ACCESSORY SCHEDULE

CODE	MATERIAL	MANUFACTURER	DESCRIPTION	COLOR	DEALER	REP NAME	CONTACT NO	REMARKS
WASHROOM ACCESSORIES								
GB1	HORIZONTAL GRAB BAR	BOBRICK	1/4" DIAMETER STAINLESS STEEL GRAB BAR WITH SNAP FLANGE	SATIN STAINLESS STEEL				TYPICAL @ RESTROOMS
GB2	L-SHAPED GRAB BAR	BOBRICK	1/4" DIAMETER STAINLESS STEEL GRAB BAR WITH SNAP FLANGE	SATIN STAINLESS STEEL				TYPICAL @ RESTROOMS
GB3	VERTICAL GRAB BAR	BOBRICK	1/4" DIAMETER STAINLESS STEEL GRAB BAR WITH SNAP FLANGE	SATIN STAINLESS STEEL				TYPICAL @ RESTROOMS
MR1	VANITY MIRROR	TRANSOLID	MODEL #TLMF3522 SINGLE FRAMELESS LED MIRROR 22 x 36	SILVER				TYPICAL @ RESTROOMS
MR2	VANITY MIRROR	AVANITY	MODEL # LED-M59-09 LED WALL MIRROR 59 x 27.5	STEEL				TYPICAL @DOUBLE VANITIES
ND1	SANITARY NAPKIN DISPOSAL			SATIN STAINLESS STEEL				CLIENT PROVIDED - TYPICAL @ WOMEN'S RESTROOMS
PS	TOILET PARTITIONS	HADRIAN	PRIVACY SCREEN	EMBOSSED STAINLESS STEEL				TYPICAL @ RESTROOMS
PT	PAPER TOWEL DISPENSER	BOBRICK	MODEL B-72974 PLASTIC AUTOMATIC ROLL TOWEL DISPENSER	TRANSLUCENT SMOKE/GRAY				TYPICAL @ RESTROOMS
TP1	TOILET PARTITIONS	HADRIAN	NO SIGHT-LINE SOLUTION WITH EMBOSSED STAINLESS STEEL FINISH- STANDARD HEIGHT-WALL MOUNTED	EMBOSSED STAINLESS STEEL				TYPICAL @ RESTROOMS
TT	TOILET TISSUE DISPENSER	BOBRICK	MODEL # B-2892 - SURFACE MOUNTED MULTI-ROLL TOILET TISSUE DISPENSER	SATIN STAINLESS STEEL				TYPICAL @ RESTROOMS

FINISH SAMPLES

F1/B1/W2 - GLAZED CERAMIC TILE

W3 - MOSAIC GLASS WALL TILE

W4 - PAINT

C1 - PAINT

Q1 - ENGINEERED QUARTZ COUNTERTOP

PL1 - PLASITC LAMINATE

PL2 - METAL LAMINATE

powers brown architecture

Architectural Consultant:
Powers Brown Architecture
354 Water St., Suite 212
St. John's, NL A1C 1C4
709.726.3941

www.powersbrown.com

PROJECT TITLE

WORKPLACENL
WASHROOMS PHASE II
148 FOREST ROAD,
ST. JOHN'S, NL, A1A 1E6

A PROJECT FOR

WORKPLACE NL

GENERAL NOTES

NOTES:

A: ALL EXISTING DOORS REMAINING IN PLACE TO BE PAINTED.
B: EXISTING DOORS BEING REMOVED ARE TO BE PAINTED AND REUSED WHERE DOOR LOCATIONS HAVE CHANGED.

△	DATE	REVISION
	2020-08-31	Issue for Construction
1	2020-09-15	Issue for Revision 1

PROJECT NO: 193036
DRAWN BY: AK/ZL
CHECKED BY: SMS/JH

SHEET TITLE

FINISH & WASHROOM ACCESSORY SCHEDULE

SEAL

NEWFOUNDLAND AND LABRADOR MEMBER
John P. Holland, NLAA
Expires Dec 31, 2020
Date: 2020.09.10
LICENSED TO PRACTICE
ASSOCIATION OF ARCHITECTS

SHEET NUMBER

A604

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PLUMBING FIXTURE SCHEDULE

CODE	MATERIAL	MANUFACTURER	DESCRIPTION	FINISH	REMARKS
FIXTURES					
T1	WALL MOUNTED TOILET	TOTO / SLOAN	BOWL: CT708UG VC ELONGATED SIPHON JET WALL MOUNTED, SEAT: OLSONITE NO.95 OPEN FRONT SEAT, FLUSHOMETER: SLOAN AUTOMATIC FLUSH VALVE	PORCELIN - WHITE	CSA COMPLIANT, TYP. @ RESTROOMS
U1	WALL MOUNTED URINAL	SLOAN	URINAL MODEL # SU-1009, 0.125 GPF, FLUSHOMETER: SLOAN AUTOMATIC FLUSH VALVE, MODEL # 186ESS HARDWIRED 1.0 GPF - DFB - HW	PORCELIN - WHITE	TYPICAL @ Cabinet Faces, Interior Doors
WASHROOM ACCESSORIES					
FA1	AUTOMATIC BATHROOM SINK FAUCET	SLOAN	OPTIMA HARDWIRED-POWERED DECK MOUNTED MID BODY, SENSOR FAUCET 0.35 GPM, MODEL # EAF-200	POLISHED CHROME	CSA COMPLIANT, TYP. @ RESTROOMS
FA2	MANUAL KITCHEN SINK FAUCET	GLACIER BAY	UPSON SINGLE HANDLE PULL-DOWN KITCHEN FAUCET, ONE HOLE	CHROME	TYP. @ KITCHENS
FA3	MANUAL JANITORS SINK FAUCET	WALTEC	METAL 2 KNOB HANDLE 2-HOLE WALL MOUNTED LAUNDRY FAUCET, MODEL # 29W721	CHROME	TYP @ JANITORS CLOSETS
S1	UNDERMOUNTED VANITY SINK	KOHLER	CAXTON RECTANGLE BATHROOM SINK - MODEL #: K-20000-0	WHITE	TYPICAL @ RESTROOMS
S2	STAINLESS STEEL	KOHLER	20x23 UNDERMOUNT SINGLE BOWL KITCHEN SINK, MODEL # K-80170-3-NA	STAINLESS STEEL	TYPICAL @KITCHENS
S3	JANITORS SINK				EXISTING TO REMAIN
SD1	SOAP DISPENSER	ASI	MODEL # 10-0391-1AC VANITY MOUNTED AUTOMATIC SOAP DISPENSER	POLISHED CHROME	TYPICAL @ RESTROOM LAV

1

LIGHT FIXTURE SCHEDULE

TYPE MARK	TYPE	MANUFACTURER	DESCRIPTION	REMARKS
L1	2' X 4' LED PANEL	STANDARD	MODEL #:67218 LAMP: 100-347V LED, 5877 LUMENS COLOR TEMP: 5000K FINISH: WHITE	
L2	2' X 2' LED PANEL	STANDARD	MODEL #:67216 LAMP: 100-347V LED, 5026 LUMENS COLOR TEMP: 5000K FINISH: WHITE	TYP. @ VESTIBULES

powers brown architecture

Architectural Consultant:
Powers Brown Architecture
354 Water St., Suite 212
St. John's, NL A1C 1C4
709.726.3941

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PROJECT TITLE

WORKPLACENL
WASHROOMS PHASE II
148 FOREST ROAD,
ST. JOHN'S, NL, A1A 1E6

A PROJECT FOR

WORKPLACE NL

GENERAL NOTES

△	DATE	REVISION
	2020-08-31	Issue for Construction
1	2020-09-15	Issue for Revision 1

PROJECT NO: 193036
DRAWN BY: ZL/AK
CHECKED BY: SMS/JH

SHEET TITLE

PLUMBING AND LIGHTING FIXTURE SCHEDULE

SEAL

NEWFOUNDLAND AND LABRADOR MEMBER
John P. Holland, NLAA
Expires Dec 31, 2020
Date: 2020.09.10
LICENSED TO PRACTICE
ASSOCIATION OF ARCHITECTS

SHEET NUMBER

A605

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WORKPLACE NL WASHROOMS
PHASE II
148 FOREST ROAD
ST. JOHN'S, NEWFOUNDLAND

ISSUED FOR TENDER
SEPTEMBER 22, 2020

MECHANICAL

ELECTRICAL/MECHANICAL CONSULTANT:

CROSBIE ENGINEERING LTD.
CONSULTING ENGINEERS

Physical Address:
1243 Kenmount Road, Unit 102
Paradise, NL A1L 0V8

Mailing Address:
P.O. Box 13295, Station "A"
St. John's, NL A1B 4A5

Tel: (709) 754-1911, 754-1914
e-mail: admin@crosbieeng.com

DRAWING LIST:

M-1 MECHANICAL SPECIFICATION
M-2 MECHANICAL LEGEND
M-3 MECHANICAL DEMOLITION
M-4 PARTIAL PLAN - MECHANICAL LAYOUT
M-5 MECHANICAL SCHEDULES & DETAILS
M-6 MECHANICAL DETAILS

CEL PROJECT NO: 20-2825

GENERAL MECHANICAL SPECIFICATION

SCOPE OF WORK
MECHANICAL DIVSION SHALL FURNISH ALL LABOUR, MATERIALS AND EQUIPMENT NECESSARY FOR THE PROPER AND TIMELY COMPLETION OF THE MECHANICAL SYSTEMS AS SHOWN ON THE DRAWINGS AND/OR AS SPECIFIED. THE SPECIFICATIONS SHALL BE CONSIDERED AS AN INTEGRAL PART OF THE PLANS WHICH ACCOMPANY THEM, NEITHER THE PLANS NOR THE SPECIFICATIONS SHALL BE USED ALONE. ANY ITEMS OR SUBJECT OMITTED FROM ONE BUT WHICH IS MENTIONED OR REASONABLY ADOPTED IN THE OTHER SHALL BE CONSIDERED AS PROPERLY AND SUFFICIENTLY SPECIFIED, AND MUST, THEREFORE, BE PROVIDED. MISINTERPRETATIONS OF EITHER THE PLANS OR THE SPECIFICATIONS SHALL NOT RELIEVE THIS DIVISION OF RESPONSIBILITY.

IT IS THE INTENT THAT THE DRAWINGS AND SPECIFICATIONS TO DESCRIBE COMPLETE MECHANICAL SYSTEMS. ALL MATERIALS AND EQUIPMENT AND THE FURNISHING OF ALL LABOUR REASONABLY IMPLIED BY THESE DRAWINGS AND/OR THE SPECIFICATIONS SHALL BE INCLUDED TO PROVIDE SYSTEMS READY FOR SATISFACTORY OPERATION. REFER TO ALL OTHER TRADE DRAWINGS AND SPECIFICATIONS TO FULLY COORDINATE THE INSTALLATION OF THE WORK.

STANDARD OF ACCEPTANCE
THE ITEM NAMED AND SPECIFIED BY MODEL OR CATALOGUE NUMBER FORMS PART OF SPECIFICATION AND SETS THE STANDARD REGARDING PERFORMANCE QUALITY OF MATERIAL AND WORKMANSHIP.

TENDER PRICES SHALL BE BASED ON THE SPECIFIED EQUIPMENT LISTED AS ACCEPTABLE PRODUCT OR AS BASE BID. ALL ALTERNATES OF LISTED EQUIPMENT MUST BE LISTED SEPARATELY ON THE TENDER FORM WITH COST SAVINGS. THE OWNERS AND THE CONSULTANT HAVE THE OPTION OF ACCEPTING OR REJECTING ALTERNATE EQUIPMENT.

CODES, REGULATIONS AND PERMITS
THE COMPLETE MECHANICAL INSTALLATION SHALL CONFORM TO THE LATEST EDITION OF THE NATIONAL BUILDING CODE, NFPA 13, CANADIAN PLUMBING CODE, ASHRAE AND SMACNA STANDARDS AND LOCAL BY– LAWS CURRENTLY IN FORCE IN THE PROVINCE AND MUNICIPALITY.

ALL MECHANICAL WORK SHALL BE INSTALLED, INSPECTED AND TESTED IN ACCORDANCE WITH GOVERNING CODES, RULES AND REGULATIONS OF THE MUNICIPALITY IN WHICH THE WORK IS PERFORMED AND ALSO OF PROVINCIAL AND FEDERAL AUTHORITIES HAVING JURISDICTION. THE MECHANICAL CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED FOR THE INSTALLATION OF MECHANICAL WORK, ARRANGE FOR INSPECTIONS AND TESTS AND PAY ALL FEES AND COSTS FOR THE PERMITS AND INSPECTIONS. ALL NECESSARY PERMITS SHALL BE OBTAINED IMMEDIATELY AFTER NOTIFICATION OF AWARD OF CONTRACT.

IN ADDITION TO THE FOREGOING, THE MECHANICAL CONTRACTOR SHALL PERFORM SUCH OTHER INSPECTIONS AND TESTS AS MAY BE DEEMED NECESSARY BY THE PRIME CONSULTANT.

THE NATIONAL BUILDING CODE AND THE APPLICABLE REQUIREMENTS OF CSA, ASTM, ANSI, ULC, AND NFPA STANDARDS INCLUDING THEIR LATER AMENDMENTS, AS WELL AS PROVINCIAL AND MUNICIPAL BYLAWS AND REGULATIONS SHALL BE CONSIDERED PART OF THIS SPECIFICATION. LACK OF POSSESSION OR KNOWLEDGE OF ANY CODE OR STANDARD REQUIRED FOR PROPER COMPLETION OF THE WORK SHALL NOT CONSTITUTE SUFFICIENT REASON FOR DEVIATION THEREFROM.

RECORD DRAWINGS
CLEARLY RECORD ALL CONTRACT CHANGES AND DEVIATIONS FROM THE CONTRACT DRAWINGS ON A SET OF DRAWINGS AVAILABLE FROM THE GENERAL CONTRACTOR FOR THIS PURPOSE AND FORWARDED TO THE GENERAL CONTRACTOR AT THE COMPLETION OF THE PROJECT.

SITE VISIT
THIS CONTRACTOR SHALL VISIT THE SITE AND EVALUATE ALL EXISTING SITE CONDITIONS AS THEY MAY AFFECT THIS WORK. NO EXTRAS WILL BE ALLOWED FOR ANY EFFECTS FROM FAILING TO COMPLETE A COMPREHENSIVE SITE TOUR TO UNDERSTAND AND ACCOUNT FOR THE IMPACT OF EXISTING SITE CONDITIONS ON THE CONTRACT SCOPE OF WORK.

CUTTING AND PATCHING
THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR AND PAY FOR ALL CUTTING AND PATCHING REQUIRED IN THE SCOPE OF WORK AS DEFINED IN THE GENERAL CONDITIONS. ALL NEW FINISHES SHALL BE EQUAL TO THOSE OF SURROUNDING SURFACES FOR MATERIALS, COLOUR, TEXTURE AND WORKMANSHIP. THIS DIVISION SHALL CLEARLY MARK OUT ALL OPENINGS REQUIRED AND REVIEW WITH THE GENERAL CONTRACTOR BEFORE CUTTING PROCEEDS. THIS DIVISION SHALL INSTALL ALL OPENING FRAMES, SLEEVES, DUCTWORK AND PIPING, LOUVRES, ETC., INTO THE BUILDING STRUCTURE AS CONSTRUCTION PROGRESSES. ANY ITEMS MISSED DURING CONSTRUCTION THAT MUST BE ADDED WILL BE THE RESPONSIBILITY OF THIS DIVISION AND WILL BE COORDINATED WITH THE GENERAL TRADES.

CO–ORDINATION
CONFER AND COOPERATE WITH OTHER TRADES IN ORDER TO ELIMINATE ANY UNNECESSARY DELAYS TO THE CONSTRUCTION SCHEDULE. WHERE DOUBT EXISTS REGARDING OTHER TRADES, CONFER WITH THE SUPERINTENDANT WITHOUT DELAY FOR EXPEDITED INSTRUCTIONS CONCERNING HOW TO PROCEED WITH THE WORK. EXPEDITE DELIVERY OF ALL EQUIPMENT AND MATERIALS TO MEET CONSTRUCTION SCHEDULE. ANY INTERFERENCE ISSUES THAT ARISE SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO DUCTWORK FABRICATION.

COMMISSIONING
ENSURE THAT ALL EQUIPMENT AND SYSTEMS ARE OPERABLE AND SAFE FOR NORMAL OPERATION. ALL TESTING, ADJUSTING, BALANCING WORK AND RECORD KEEPING SHALL BE PERFORMED PRIOR TO COMMISSIONING. OPERATIONAL TESTS ON EQUIPMENT, DUCTWORK, PIPING AND CONTROL SYSTEMS SHALL BE PERFORMED PRIOR TO COMMISSIONING TO VERIFY THAT PRESSURE AND FLOW RATES MEET DESIGN REQUIREMENTS.

SHOP DRAWINGS
SHOP DRAWINGS AND DATA SHEETS FOR EQUIPMENT INTENDED FOR INSTALLATION UNDER THIS CONTRACT SHALL BE SUBMITTED FOR REVIEW. AFTER CHECKING AND WHEN REVIEWED, COPIES WILL BE RETURNED TO THE CONTRACTOR.

ACCESS DOORS
SUPPLY ACCESS DOORS FOR FURRED CEILINGS OR SPACES FOR SERVICING EQUIPMENT AND DUCT ACCESSORIES OR FOR INSPECTION OF LIFE SAFETY OR OPERATING DEVICES. SUPPLY STAINLESS STEEL ACCESS DOORS FOR TILED, MARBLE, TERRAZZO OR SPECIAL SURFACES. STANDARD OF ACCEPTANCE ZURN, ACUDOR, ANCON. ACCESS DOORS SHALL BE FLUSH MOUNTED 600 X 600 MM FOR BODY ENTRY AND 450 X 450 MM FOR SERVICE ENTRY UNLESS OTHERWISE NOTED. DOORS SHALL OPEN 1800 HAVE ROUNDED SAFETY CORNERS, CONCEALED HINGES, SCREWDRIVER LATCHES AND ANCHOR STRAPS. STEEL SHALL BE PRIME COATED. ANY ACCESS DOORS IN FIRE RATED ASSEMBLIES OR SEPARATIONS SHALL BE ULC RATED FOR APPROPRIATE SEPARATION RATING.

MAINTENANCE INSTRUCTIONS
SUPPLY CERTIFIED PERSONNEL TO INSTRUCT OWNERS OPERATING STAFF ON OPERATION OF MECHANICAL EQUIPMENT. SUPPLY MAINTENANCE SPECIALIST PERSONNEL TO INSTRUCT OPERATING STAFF ON MAINTENANCE AND ADJUSTMENT OF MECHANICAL EQUIPMENT AND ANY CHANGES OR MODIFICATIONS IN EQUIPMENT MADE UNDER THE TERMS OF THE GUARANTEE. PROVIDE INSTRUCTION TO OWNERS STAFF DURING REGULAR WORK HOURS PRIOR TO ACCEPTANCE OF THE SYSTEMS FOR REGULAR OPERATION.

BUILDING STRUCTURE
INITIATE NO DRLLING, CUTTING OR WELDING OF THE BUILDING STEEL OR CONCRETE CONSTRUCTION FOR THE PURPOSE OF SUPPORTING MATERIALS OR EQUIPMENT WITHOUT PRIOR APPROVAL OF THE PRIME CONSULTANT.

HVAC AND EQUIPMENT IDENTIFICATION
IDENTIFY ALL HVAC SYSTEMS. INDICATE DUCT SIZE, SERVICE AND DIRECTION OF FLOW. THE LETTERING SHALL BE PROPORTIONAL TO THE OUTSIDE DIAMETER OF THE DUCTWORK. BRADEY TAGS SHALL BE THE STANDARD OF LABELS.

AIR DISTRIBUTION

DUCTWORK SYSTEMS
THE DUCTWORK AND ACCESSORIES SHALL BE GALVANIZED STEEL AND SHALL BE INSTALLED IN STRICT ACCORDANCE WITH A.S.H.R.A.E. AND S.M.A.C.N.A. STANDARDS FOR METHODS OF SUSPENSION, JOINTS, REINFORCEMENT, CROSS BREAKING, INSULATION AND MATERIAL GAUGES FOR THE REQUIRED FAN SYSTEM OPERATING PRESSURES. FITTINGS SHALL BE FABRICATED WITH SMOOTH TRANSITIONS, PROPER SMACNA RADII AND TRANSITION ANGLES AND QUALITY BALANCING DEVICES.

LONGEST SIDE	GAUGE(US)	TYPE OF JOINTS				
		HEIGHT	SLIP	BAR SLIP	LOCK	"T"
UP TO 11"(275mm)	26	25	24	–	24	–
12"(300mm) TO 24"(600mm)	24	25	22	–	22	–
25"(625mm) TO 60"(1500mm)	22	25	–	22	22	22
61"(1525mm) TO 108"(2700mm)	20	37	–	22	22	22

SEAL ALL DUCT SYSTEM JOINTS WITH GREY HIGH PRESSURE DUCT SEALER. CIRCULAR DUCTWORK SHALL BE FACTORY FABRICATED GALVANIZED SPIRAL SEAM WITH FABRICATE FITTINGS.

1. ALL BRANCH TAKE OFFS TO BE 45 DEG. CONICAL LATERALS.
2. SLEEVE TYPE COUPLING JOINTS ALL SEALED WITH FLEXIBLE MEDIUM PRESSURE DUCT SEALANT AND SCREWS.

FLEXIBLE DUCTWORK SHALL BE U.L.C. LISTED, SOUNDLINED WITH VAPOUR BARRIER. THERMAFLEX MAKE OR EQUIVALENT. MAXIMUM LENGTH TO DIFFUSERS 2000 MM UNLESS OTHERWISE INDICATED. FASTEN WITH SCREWS, WASHERS AND FOIL TAPE AT JOINTS. DUCT TAPE SHALL NOT BE USED.

FLEXIBLE CONNECTIONS: PROVIDE AT ALL FANS AND LIKE EQUIPMENT SUBJECT TO VIBRATION. SUITABLE MATERIALS NEOPRENE COATED GLASS FABRIC, DURO–DYNE OR EQUAL, NOT MORE THAN 4" (100mm) LONG BETWEEN METAL PARTS AND INSTALLED WITH SUFFICIENT SLACK TO PREVENT VIBRATION TRANSMISSION.

LEAKAGE TESTING: WITH FANS OPERATING CARRY OUT VISUAL JOINT INSPECTION USING A SMOKE PENCIL; RESEAL ANY JOINTS WITH OBVIOUS LEAKAGE

DUCTWORK INSULATION
RECTANGULAR DUCTWORK DESCRIBED IN THE SCOPE OF WORK BELOW SHALL BE INSULATED WITH 25 MM THICK FIBREGLASS FLEXIBLE, EMBOSSED FOIL FACED VAPOUR SEALED DUCT INSULATION APPLIED OVER SPOT WELDED PINS ON 85 MM CENTRES, WITH INSULATION CAPPED WITH SPRING CLIP WASHERS OF 25 MM DIAMETER. SEAL ALL JOINTS, PUNCTURES AND BREAKS WITH 100 MM WIDE STRIPS OF ALUMINUM FOIL VAPOUR BARRIER TAPE ADHERING WITH SUITABLE FIRE RETARDANT ADHESIVE. ROUND DUCTWORK SHALL BE INSULATED WITH FLEX 40 MM THICK FOIL FACED SEALED DUCT INSULATION WITH ALL JOINTS TAPED VAPOUR TIGHT.

INSULATE THE FOLLOWING:
1. SUPPLY AIR DUCTWORK.
2. EXHAUST DUCTS WITHIN 1500 MM OF EXTERIOR WALLS.
3. EXTERIOR CONNECTIONS TO HVAC UNITS.

GRILLES AND DIFFUSERS
SUPPLY AND INSTALL DIFFUSERS AND GRILLES AS INDICATED ON DRAWINGS. DIFFUSERS IN RATED ASSEMBLIES SHALL BE U.L.C. LISTED OR EQUIPPED WITH U.L.C. FIRE STOP FLAPS. SEE SCHEDULE FOR GRILLE AND DIFFUSER TYPES.

HANGERS
SUPPORT EACH SECTION OF THE DUCTWORK WITH STEEL RODS ANGLE IRON, "C" CLAMPS AND OR CONCRETE INSERTS ALL AS PER SCHEDULE BELOW:

DUCT SIZES	ANGLE DIM.	RODS DIA.	SPACING
UP TO 24" (750)	1"x 1"x $\frac{1}{8}$" (24x25x3mm)	$\frac{1}{4}$"(6mm)	108"(2700mm)
31" TO 48" (755 TO 1200mm)	2"x 2"x $\frac{1}{8}$" 37x37x3mm)	$\frac{1}{4}$"(6mm)	108"(2700mm)
49" TO 72" (1225 TO 1800mm)	2"x 2"x $\frac{1}{8}$" 37x37x3mm)	3/8"(9mm)	108"(2700mm)
73" TO 96" (1825 TO 2400mm)	2"x 2"x $\frac{1}{8}$" 37x37x3mm)	3/8"(9mm)	108"(2700mm)

DUCTS UP TO 18" (450mm) MAY BE SUPPORTED WITH GALVANIZED STEEL STRAP HANGERS MANUFACTURED TO SMACNA STANDARDS, SCREWED AT THE TOP AND ON THE BOTTOM OF DUCT. DO NOT BREAK CONTINUITY OF INSULATION VAPOR BARRIER BY HANGERS OR RODS.

FIRE SEPARATIONS
SUPPLY AND INSTALL. ALL FIRE DAMPERS AND FIRE STOP FLAPS C/W FUSIBLE LINKS AND ACCESS DOORS AS REQUIRED UNDER THE NATIONAL BUILDING CODE & NATIONAL FIRE CODE. DAMPERS SHALL BE TYPE 'B', 100% FREE AREA UNLESS NOTED AND SHALL BE ULC. LISTED FOR THE SPECIFIC APPLICATION AND INSTALLATION ORIENTATION. INSTALL AT OUTLETS OR DUCTS PASSING THROUGH FIRE SEPARATIONS. REFER TO THE ARCHITECTURAL DRAWINGS FOR DESIGNATED FIRE SEPARATIONS. INSTALL FIRE DAMPERS IN ACCORDANCE WITH NFPA 90A AND ULC STANDARDS WITH BACKUP ANGLES AND BREAKAWAY JOINTS. PROVIDE DUCT ACCESS DOORS AS WELL AS DRYWALL ACCESS DOORS FOR COMPLETE ACCESSIBILITY. THE CONTRACTOR SHALL DEMONSTRATE COMPLETE KNOWLEDGE AND ABILITY TO INSTALL THESE DEVICES TO THE U.L.C. INSTRUCTIONS BEFORE PROCEEDING WITH SITE WORK. FIRE DAMPERS THAT HAVE BEEN INSTALLED PRIOR TO THE APPROVAL OF THE SHOP DRAWINGS SHALL BE REMOVED FROM THE MOUNTING POSITION. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE LOCATIONS OF ALL FIRE RATED SEPARATIONS APPARENT FROM MECHANICAL OR ARCHITECTURAL DRAWINGS.

SPARE BELTS AND KEYS
PROVIDE A SPARE SET OF BELTS FOR ALL EQUIPMENT BEING SUPPLIED UNDER THIS CONTRACT._EACH SPARE BELT SHALL BE MARKED WITH SIZE, MODEL ETC... AND WHICH PIECE OF EQUIPMENT IT SERVES. PROVIDE A SET IN DUPLICATE OF KEYS FOR THERMOSTATS, KEY OPERATED SWITCHES ETC... EACH KEY SHALL BE MARKED CONCERNING ITS USE.

PLUMBING

PIPE SYSTEMS
PIPING & VALVES:
– HOT AND COLD WATER: ABOVE GROUND WATER SUPPLY PIPING TO BE TYPE "L" HARD DRAWN COPPER FOR THE WATER ENTRANCE.

ALL PIPING SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL PLUMBING CODE. PROVIDE INSERTS, SLEEVES AND ANCHORS WHERE NECESSARY AND COORDINATE WITH OTHER TRADES TO THE FULLEST EXTENT IN THE PROVISION OF OPENINGS, CHASES, ETC. TO ACCOMMODATE THE PIPING SYSTEMS.

PIPE MATERIAL SHALL BE AS SPECIFIED BELOW:
.1 BURIED DWV: PIPING TO BE CSA–B181.1, CSA–B181.2, CSA–B182.1
.2 ABOVE GROUND DWV: FOR COMBUSTIBLE CONSTRUCTION TO BE CSA–B181.2
.3 ABOVE GROUND DWV: FOR NON–COMBUSTIBLE CONSTRUCTION:
 .1 FLAME SPREAD RATING LESS THAN 25 AND SMOKE DEVELOPED CLASSIFICATION LESS THAN 50.
 .2 CSA–B181.2
.4 FIRE STOPS – PROVIDE ULC APPROVED FIRE STOPS AT ALL FIRE SEPARATIONS.

COLD, HOT DOMESTIC PIPING: COPPER ASTM B–88 TYPE 'L' HARD FOR EXPOSED PIPING, 95–5 LEAD FREE SOLDER

SEAL OPENING AROUND PIPES PASSING THROUGH FIRE PARTITIONS WITH A FIRE RESISTANT SEALANT.

– PIPE INSTALLATION GENERAL: WITH THE EXCEPTION OF VENTS, PIPING SHALL NOT BE INSTALLED IN EXTERIOR WALLS OR OTHER LOCATIONS WHERE THERE IS A RISK OF FREEZING; INSTALL ALL ABOVE GRADE PIPING TO ALLOW COMPLETE DRAINAGE; CAULK GAPS AROUND PIPING PASSING THROUGH FLOORS, DEMISING WALLS, AND PARTITIONS. AT FLOOR AND ROOF WITH NON SETTING COMPOUND; FIRE RATED WHERE WALLS OR FLOORS ARE FIRE RATED.
– SHUT OFF: GATE OR BALL, PROVIDE ISOLATING MEANS FOR ALL INDIVIDUAL FIXTURES, EQUIPMENT, BATHROOM GROUPS & ON BRANCHES.

PLUMBING SPECIALITIES:
– PRESSURE REGULATOR, VACUUM BREAKERS, CHECK VALVES, & BACKFLOW PREVENTORS: PROVIDE WHERE REQUIRED BY CODES EVEN WHEN NOT INDICATED ON THE DRAWINGS.
– PIPE DRAINS TO NEAREST FLOOR DRAIN OR SERVICE SINK.
– WATER HAMMER PREVENTION: PROVIDE PISTON OR BELLOW TYPE WATER HAMMER PREVENTION DEVICES IN ACCORDANCE WITH PDI–WH201

TESTING AND COMMISSIONING:
– CONFIRM OPERATION OF ALL HOT, COLD AND DRAINAGE FUNCTIONS;
– ADJUST ALL AUTOMATIC FAUCETS / SHOWER VALVES TO PROVIDE SAFE DELIVERY TEMPERATURE,
– ADJUST PRESSURE AS REQUIRED TO PROVIDE ADEQUATE FLOW WITHOUT SPLASHING.

ALL PIPING SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH THE NPC OF CANADA, UNLESS OTHERWISE SPECIFIED HERE. PROVIDE INSERTS, SLEEVES AND ANCHORS WHERE NECESSARY AND COORDINATE WITH OTHER TRADES TO THE FULLEST EXTENT IN THE PROVISION OF OPENINGS, CHASES, ETC. TO ACCOMMODATE THE PIPING SYSTEMS.

PIPE GRADES AND SLOPES
DRAINS AND WASTE PIPING SHALL SLOPE DOWN IN THE DIRECTION OF FLOW AT THE RATE OF 2% FOR 75 SIZE AND UNDER AND 1% FOR 100 SIZE AND LARGER. WHERE SLOPES FOR PIPING SERVICES INDICATED HEREIN ARE LESS THAN THOSE ESTABLISHED BY APPLICABLE CODES AND REGULATIONS, THE LATTER SHALL GOVERN. ALL HORIZONTAL LINES OF HOT, COLD, RECIRC. AND HEATING WATER SHALL BE PITCHED SO THAT THEY MAY BE COMPLETELY DRAINED THROUGH RISERS, FIXTURES, OR DRIPS.

PIPE HANGERS AND SUPPORTS
FABRICATE HANGERS, SUPPORTS AND SWAY BRACES IN ACCORDANCE WITH ANSI/ASME B31.1 SUPPORT FROM STRUCTURAL MEMBERS. WHERE STRUCTURAL BEARINGS DO NOT EXIST OR INSERTS ARE NOT IN SUITABLE LOCATIONS. SUSPEND HANGERS FROM STEEL CHANNEL OR ANGLES. MECHANICAL DIVISION SHALL PROVIDE SUPPLEMENTARY STRUCTURAL MEMBERS. DO NOT SUSPEND FROM METAL DECK. ANCHORING OF PIPING AND EQUIPMENT SHALL BE TO MANUFACTURER'S RECOMMENDATIONS. SUBMIT ANCHORAGE SYSTEM, ARRANGEMENT AND TYPE OF HANGERS SUPPORTS WITH CALCULATIONS FOR REVIEW. PROVIDE SADDLES FOR INSULATED PIPE AND PREFABRICATED INSULATION SHIELDS WITH HIGH DENSITY INSULATION WITH VAPOUR BARRIERS FOR COLD AND CHILLED WATER PIPING. STANDARD CF ACCEPTANCE: MYATT, GRINNELL

HANGER SPACING SHALL BE AS PER THE FOLLOWING SCHEDULE:

PIPE DIA	MAX. SPACING	STEEL ROD DIA.
$\frac{1}{2}$"(12mm)	5'–0"(1500mm)	3/8"(9mm)
3/4"(19mm)	5'–0"(1500mm)	3/8"(9mm)
1"(25mm)	6'–0"(1800mm)	3/8"(9mm)
1 1/4"(32mm)	7'–0"(2100mm)	3/8"(9mm)
1 1/2"(37mm)	8'–0"(2400mm)	1/2 "(12mm)
2"(50mm)	8'–0"(2400mm)	1/2 "(12mm)
2 $\frac{1}{2}$"(62mm)	10'–0"(3000mm)	1/2 "(12mm)
3"(75mm)	10'–0"(3000mm)	1/2 "(12mm)

SUPPORT PLUMBING PIPING IN ACCORDANCE WITH MORE STRINGENT REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION. CANADIAN PLUMBING CODE, PROVINCIAL CODE, OR MUNICIPAL CODES.

FIRESTOPPING
WHERE DUCTS PASS THROUGH FIRE RATED WALLS, FLOORS AND PARTITIONS, PACK SPACE WITH MATERIALS HAVING APPROVAL OF AUTHORITIES HAVING JURISDICTION. MECHANICAL DIVISION TO PROVIDE ALL. MATERIALS AND LABOUR TO COMPLETE U.L.C. FIRESTOPPING FOR MECHANICAL CONTRACTOR.

WHERE PIPES PASS THROUGH FIRE RATED WALLS, FLOORS AND PARTITIONS, PACK SPACE WITH MATERIALS HAVING APPROVAL OF AUTHORITIES HAVING JURISDICTION. FIRE STOPS BY ARCHITECTURAL.

IDENTIFICATION
PROVIDE AND INSTALL ON NEW PIPING SYSTEMS, IDENTIFICATION CONSISTING OF FLUID DESCRIPTION AND FLOW SECTION.
LANGUAGE: ENGLISH
COLORS: BLACK ON GREEN
SIZE: 1" (25mm) MIN.
MANUFACTURER: BRADY OR EQUIVALENT

SLEEVES AND ESCUTCHEONS
PIPE SLEEVES: AT POINTS WHERE PIPES PASS THROUGH MASONRY OR CONCRETE. SLEEVES OF: MINIMUM 0.8 MM THICK GALVANIZED SHEET STEEL WITH LOCK SEAM JOINTS. USE CAST IRON SLEEVE OR STEEL PIPE SLEEVES WITH ANNULAR FIN CONTINUOUSLY WELDED AT MIDPOINT:
1. THROUGH FOUNDATION WALLS.
2. WHERE SLEEVE EXTENDS ABOVE FINISHED FLOOR; EXTEND UP 50 MM, CAULK AND SEAL WHEN PIPE IS INSTALLED.

FOR PIPES PASSING THROUGH ROOFS. USE "THALER ROOFING PRODUCTS" INSULATED ALUMINUM CONE FLASHINGS AND FLASHING CLAMP DEVICE WITH TAMPER PROOF VENT TOP. ANCHOR SLEEVES IN ROOF CONSTRUCTION; FASTEN ROOF FLASHING TO CLAMP DEVICE MAKE WATER TIGHT DURABLE JOINT.

ESCUTCHEON PLATES:
1. PROVIDE ON PIPES PASSING THROUGH FINISHED WALLS, PARTITIONS, FLOORS AND CEILINGS. USE SS NO. 302 WITH SET SCREWS FOR CEILING OR WALL MOUNTING. INSIDE DIAMETER SHALL FIT AROUND FINISHED PIPE. OUTSIDE DIAMETER SHALL COMPLETELY COVER OPENING OR SLEEVE.

PIPING INSULATION
ALL WATER LINES INDICATED IN THE SCOPE OF WORK ITEM .3 BELOW SHALL BE INSULATED WITH 25 MM THICK DUAL TEMPERATURE GLASS FIBRE PIPE INSULATION. INSULATION SHALL BE MANUFACTURED BY FIBREGLASS OF CANADA.

THIS INSULATION SHALL BE SUPPLIED COMPLETE WITH FLAME RETARDANT VAPOUR BARRIER JACKET CONSISTING OF GLASS FIBRE. REINFORCED LAMINATE OF ALUMINUM FOIL AND KRAFT PAPER. LONGITUDINAL SEAMS OF THE VAPOUR BARRIER JACKET SHALL BE SEALED WITH VAPOUR PROOF ADHESIVE, TYPE 32. INSULATE AND TAPE ALL VALVES AND FITTINGS. EXPOSED PIPING INSULATION TO BE FINISHED WITH 8 OZ. FATTAL U.L.C. LISTED CANVAS AND CHILDERS LAGGING. NON U.L.C. LISTED CANVAS WILL NOT BE ACCEPTED.

INSULATE THE FOLLOWING:
1. DOMESTIC COLD WATER PIPING
2. DOMESTIC HOT WATER PIPING AND RECIRCULATION
3. STORM DRAINAGE AND DWV PIPING ABOVE GRADE

PLUMBING FIXTURES
ALL ROUGH IN SHALL BE ACCURATELY LAID OUT, AND NO OFFSETS WILL BE ACCEPTED. ALL FIXTURES SHALL BE THE BEST OF THEIR RESPECTIVE KIND, FREE FROM ALL DEFECTS AND ANY FIXTURE WHICH IN THE OPINION OF THE ENGINEER IS DAMAGED SHALL BE REMOVED AND REPLACED BY A FIXTURE WHICH IS ACCEPTABLE. THE FIXTURES SHALL INCLUDE ALL TRIM, TRAPS AND WASTE WATER CONNECTIONS, TANKS, ETC., USUALLY CLASSED AS FITTINGS AND REQUIRED TO COMPLETE THE FIXTURE IN EVERY RESPECT. FIXTURES PROVIDED AS PER PLUMBING FIXTURE SCHEDULE.

PLUMBING FITTINGS AND ACCESSORIES

CLEANOUTS
CLEANOUT PLUGS (CAST IRON) HEAVY CI MALE FERRULE WITH BRASS SCREWS AND THREADED BRASS OR BRONZE PLUG. SEALING CAULKED SEAT OR WITH NEOPRENE GASKET. C/W TILE RECESS COORDINATE WITH ARCH. ACCEPTABLE MATERIALS: ZURN Z1450 SERIES, ANCON.

ACCESS PANELS
PROVIDE POLISHED S.S. ACCESS PANELS C/W SCREWDRIVER LATCH FOR ALL CLEAN–OUTS AND CONCEALED VALVES AND DEVICES. PLASTIC ACCESS PANELS ACCEPTABLE UNLESS INSTALLED IN FIRE RATED WALL.

WATER HAMMER ARRESTORS
STAINLESS ST. CONSTRUCTION, BELLOWS TYPE: TO PLUMBING AND DRAINING INSTITUTE STANDARD PDIWH201–77.
ACCEPTABLE MATERIALS: ZURN Z1700, SIZE NO. 100, AMTROL DIATROL 536.

FIXTURES
FIXTURES TO BE WHITE EXCEPT AS NOTED OTHERWISE. PROVIDE WALL CARRIERS FOR WALL MOUNTED FIXTURES WHERE RECOMMENDED BY THE MANUFACTURER.

SUBMITTALS

TESTING AND BALANCING
BALANCE AND TEST AIR AND WATER SYSTEMS AT EACH OUTLET AND AT FAN AND PUMP SYSTEMS. SUPERVISE OPERATING TESTS IN PREPARATION OF THE FINAL EIGHT (8) HOUR OPERATING TEST TO ENSURE THAT ALL SYSTEMS CONFORM TO THE PLAN AND SPECIFICATIONS. PROVIDE THREE TYPED REPORTS OF SYSTEM BALANCE AND OPERATING CONDITIONS, WITH AIR FLOWS AT EACH POINT SHOWN ON THE DRAWINGS.

WATER PRESSURE TEST SHALL BE CONDUCTED ON POTABLE WATER SYSTEM AS PER NATIONAL PLUMBING CODE OF CANADA LATEST EDITION.

ALL DUCTWORK TO BE LEAKAGE TESTED.

INSTRUCT THE OWNER'S REPRESENTATIVE IN THE STARTUP AND OPERATION OF THE SYSTEMS INCLUDING ALL THE AIR SYSTEMS AND HEATING SYSTEMS FOR A MINIMUM OF ONE EIGHT (8) HOUR DAY.

THE TESTING COMPANY SHALL PREPARE FIVE (5) COMPLETELY BOUND BROCHURES CONTAINING AN OUTLINE OF THE SYSTEMS OPERATIONS AND A RECOMMENDED MAINTENANCE PROCEDURE SCHEDULE WITH THE WRITTEN INSTRUCTIONS AND CONTROL DIAGRAMS OF ALL MECHANICAL SYSTEMS IN THESE BROCHURES. INCLUDE IN THIS THE MANUFACTURER'S OPERATING AND MAINTENANCE INSTRUCTIONS. THE TESTING AND BALANCING FIRM SHALL BE CERTIFIED.

ADDITIONAL TESTING AND WITNESSING
– CONTRACTOR TO PROVIDE TRADE CERTIFICATE IN APPLICABLE DISCIPLINE BEFORE START OF WORK.
– CONTRACTOR REGISTRATION CORE, WHSCC, ETC. PROVIDE PROOF OF CLEAR STANDING.

powers brown architecture

Architectural Consultant:
Powers Brown Architecture
354 Water St., Suite 212
St. John's, NL A1C 1C4
709.726.3941

www.powersbrown.com

PROJECT TITLE

WORKPLACENL
WASHROOMS PHASE II
148 FOREST ROAD,
ST. JOHN'S, NL, A1A 1E6

A PROJECT FOR

WORKPLACE NL

GENERAL NOTES

1.) DO NOT SCALE FROM THIS DRAWING.

2.) CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE BEFORE PROCEEDING WITH THIS WORK.

3.) ALL WORK TO BE IN ACCORDANCE WITH THE LATEST REQUIREMENTS OF: THE NATIONAL BUILDING CODE OF CANADA, LATEST EDITION; CANADIAN CODES, CURRENT EDITION; ANY OTHER AUTHORITIES HAVING JURISDICTION.

4.) THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS ISSUED FOR CONSTRUCTION AND STAMPED AND SIGNED BY THE PROJECT ENGINEER.

ELECTRICAL/MECHANICAL CONSULTANT:

CROSBIE ENGINEERING LTD.
CONSULTING ENGINEERS
Physical Address: 1243 Kennmount Road, Unit 102 Paradise, NL A1L 0V8
Mailing Address: P.O. Box 13295, Station "A" St. John's, NL A1B 4A5
Tel: (709) 754–1911, 754–1914
e–mail: admin@crosbieeng.com

PERMIT:

PROVINCE OF NEWFOUNDLAND
PERMIT HOLDER
Class "A"
This Permit Allows
CROSBIE ENGINEERING LIMITED

To practice Professional Engineering in Newfoundland and Labrador
Permit No. as issued by PEG–NL D0123
which is valid for the year 2020.

△	DATE	REVISION
A	2020-08-28	Issue for Review
0	2020-09-22	Issue for Tender

PROJECT NO: 20-2825
DRAWN BY: NH
CHECKED BY: NC

SHEET TITLE

MECHANICAL SPECIFICATION

SEAL

REGISTERED PROFESSIONAL ENGINEER
K. NEIL CLEARY
SIGNATURE
09-22-2020
PROVINCE OF NEWFOUNDLAND

SHEET NUMBER

M–1

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PLUMBING

- PIPE UP
- PIPE DOWN
- PIPE ELBOW
- TEE FITTING OFF THE TOP OF MAIN
- TEE FITTING OFF THE BOTTOM OF MAIN
- PIPE TEE FITTING
- CAP AT END OF PIPE
- DIRECTION OF FLOW
- BALL VALVE
- GATE VALVE
- C.O. — CLEANOUT BROUGHT UP TO FINISHED FLOOR
- C.O. — CLEANOUT IN CEILING SPACE OR BEHIND ACCESS DOOR
- P TRAP
- WC 1 — PLUMBING FIXTURE TAG INDICATING TYPE (SEE SCHEDULE)
- LAVATORY (WALL HUNG)
- SINGLE COMPARTMENT SINK
- FLOOR MOUNTED SERVICE SINK
- WATER CLOSET (TANK TYPE)

VENTILATION

- DG — DOOR GRILLE
- TYPE: SA–1; COLLAR/NECK SIZE (mm): 150ø; AIRFLOW (L/s): 45 L/s — DIFFUSER/GRILLE TAG

PIPING

- SANITARY AND OR WASTE
- V — VENT
- DOMESTIC COLD WATER SUPPLY
- DOMESTIC HOT WATER SUPPLY
- CR — CONDENSATE RETURN
- DOMESTIC RECIRC SUPPLY

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Architectural Consultant:
Powers Brown Architecture
354 Water St., Suite 212
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709.726.3941

www.powersbrown.com

PROJECT TITLE

WORKPLACENL
WASHROOMS PHASE II
148 FOREST ROAD,
ST. JOHN'S, NL, A1A 1E6

A PROJECT FOR

WORKPLACE NL

GENERAL NOTES

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CROSBIE ENGINEERING LTD.
CONSULTING ENGINEERS

Physical Address:
1243 Kenmount Road, Unit 102
Paradise, NL A1L 0V8

Mailing Address:
P.O. Box 13295, Station "A"
St. John's, NL A1B 4A5

Tel: (709) 754-1911, 754-1914
e-mail: admin@crosbieeng.com

PERMIT:

PROVINCE OF NEWFOUNDLAND
PERMIT HOLDER
Class "A"
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To practice Professional Engineering in Newfoundland and Labrador
Permit No. as issued by PEG–NL D0123
which is valid for the year 2020.

△	DATE	REVISION
A	2020-08-28	Issue for Review
0	2020-09-22	Issue for Tender

PROJECT NO: 20-2825
DRAWN BY: NH
CHECKED BY: NC

SHEET TITLE

MECHANICAL LEGEND

SEAL

REGISTERED PROFESSIONAL ENGINEER
K. NEIL CLEARY
09-22-2020
PROVINCE OF NEWFOUNDLAND

SHEET NUMBER

M–2

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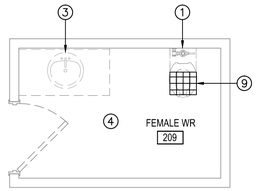
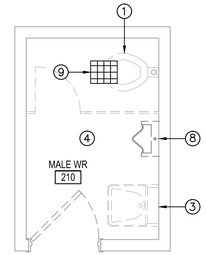


(1) DEMOLITION PLAN – FEMALE WASHROOM

SCALE: 1:40

0m 1m 2m 3m 4m 5m



(2) DEMOLITION PLAN – MALE WASHROOM

SCALE: 1:40

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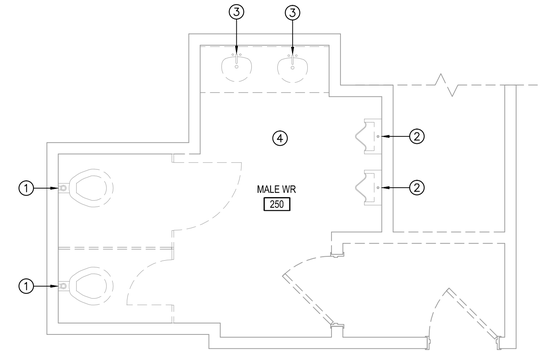

(3) DEMOLITION PLAN – MALE WASHROOM

SCALE: 1:40

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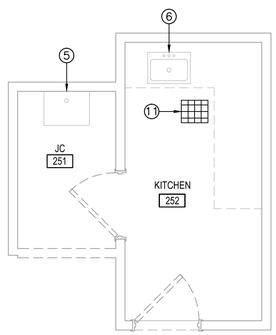

(4) DEMOLITION PLAN – KITCHENETTE & JANITORS CLOSET

SCALE: 1:40

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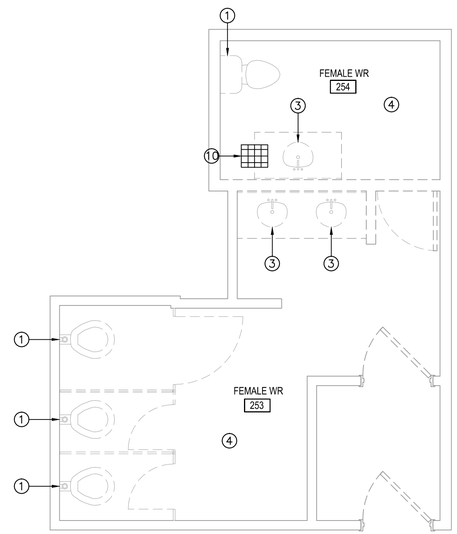

(5) DEMOLITION PLAN – WOMENS WASHROOM

SCALE: 1:40

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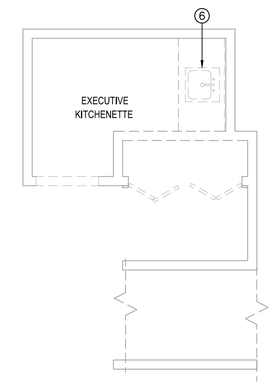


(6) DEMOLITION PLAN – EXECUTIVE KITCHENETTE

SCALE: 1:40

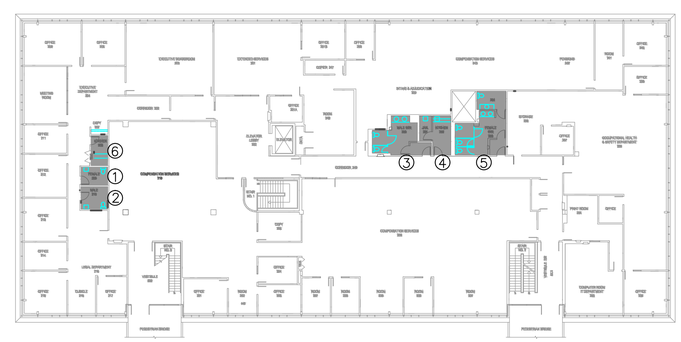
0m 1m 2m 3m 4m 5m

DEMOLITION NOTES:

1. EXISTING TOILET TO BE REMOVED AND REPLACE WITH NEW. SEE M–5 PLUMBING SCHEDULE FOR NEW TYPE.
2. EXISTING URINALS TO BE REMOVED AND REPLACE WITH NEW. SEE M–5 PLUMBING SCHEDULE FOR NEW TYPE.
3. EXISTING LAVATORIES TO BE REMOVED AND REPLACE WITH NEW. SEE M–5 PLUMBING SCHEDULE FOR NEW TYPE.
4. EXISTING FLOOR DRAIN TO BE REMAIN.
5. EXISTING JANITOR SINK TO REMAIN. REPLACE SINK WITH NEW FAUCET. SEE M–4 PLUMBING SCHEDULE FOR NEW TYPE.
6. EXISTING KITCHEN SINK TO BE REMOVED AND REPLACE WITH NEW. SEE M–5 PLUMBING SCHEDULE FOR NEW TYPE.
7. EXISTING WASHROOM EXHAUST FAN TO BE DEMOLISHED AND REPLACED WITH NEW. SEE M–4 FOR NEW LAYOUT.
8. EXISTING URINAL TO BE REMOVED. REMOVE ALL DRAINAGE WASTE, AND INCLUDING COLD WATER PIPING. CAP DRAINAGE PIPING BELOW FLOOR.
9. EXISTING GRILLE TO REMAIN. REPAINT BY OWNER.
10. EXISTING GRILLE TO BE REMOVED.
11. EXISTING GRILLE TO REMAIN.

GENERAL DEMOLITION NOTES:

1. THE GENERAL INTENT OF THE SCOPE OF DEMOLITION WORK IS SHOWN AND DESCRIBED ON THE PLANS. HOWEVER THE CONTRACTOR TO MAKE ALLOWANCE FOR THE REMOVAL OF UNFORESEEN CONCEALED ITEMS SUCH AS EQUIPMENT, PIPING, DUCTWORK, ETC. TO PROVIDE THE OWNER A COMPLETE DEMOLITION OF THE SPACE.



KEY PLAN

N.T.S

powers brown architecture

Architectural Consultant:
Powers Brown Architecture
354 Water St., Suite 212
St. John's, NL A1C 1C4
709.726.3941

www.powersbrown.com

PROJECT TITLE

WORKPLACENL
WASHROOMS PHASE II
148 FOREST ROAD,
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A PROJECT FOR

WORKPLACE NL

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PROJECT NO: 20-2825
DRAWN BY: NH
CHECKED BY: NC

SHEET TITLE

DEMOLITION WASHROOM PLANS

SEAL

REGISTERED PROFESSIONAL ENGINEER
K. NEIL CLEARY
SIGNATURE
09-22-2020
PROVINCE OF NEWFOUNDLAND

SHEET NUMBER

M–3

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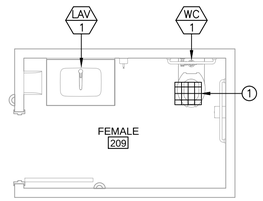
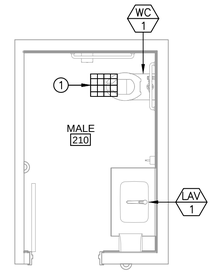


(1) NEW PLAN – FEMALE WASHROOM

SCALE: 1:40

0m 1m 2m 3m 4m 5m



(2) NEW PLAN – MALE WASHROOM

SCALE: 1:40

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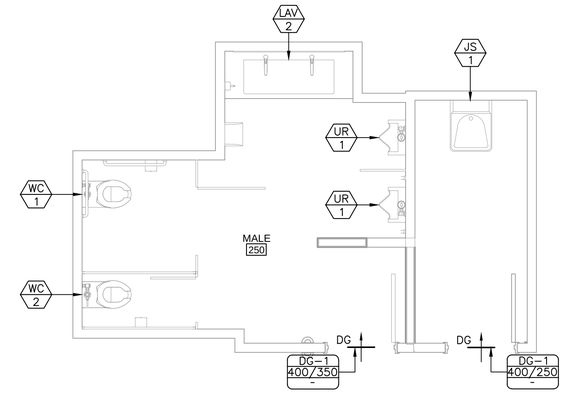
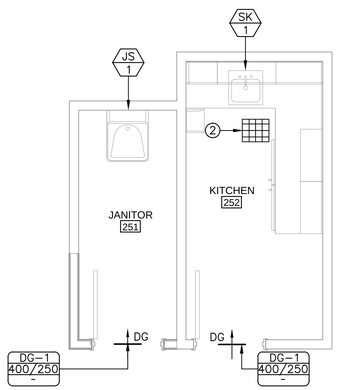


(3) NEW PLAN – MALE WASHROOM

SCALE: 1:40

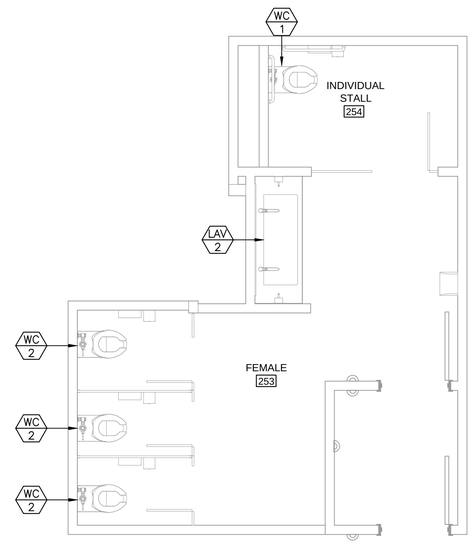
0m 1m 2m 3m 4m 5m



(4) NEW PLAN – KITCHENETTE & JANITORS CLOSET

SCALE: 1:40

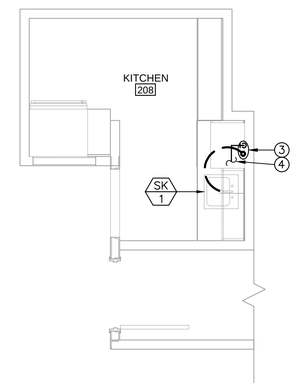
0m 1m 2m 3m 4m 5m



(5) NEW PLAN – WOMENS WASHROOM

SCALE: 1:40

0m 1m 2m 3m 4m 5m



(6) NEW PLAN – EXECUTIVE KITCHENETTE

SCALE: 1:40

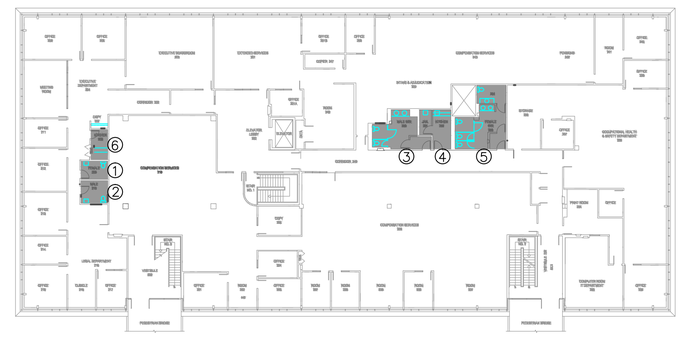
0m 1m 2m 3m 4m 5m

MECHANICAL NOTES:

1. EXISTING GRILLE, TO BE PAINTED WHITE BY OWNER.
2. EXISTING GRILLE TO REMAIN.
3. NEW DISHWASHER/SINK PIPING CONNECTION. SEE DETAIL 1/M–6.
4. INSTALL NEW 12mmø HOT WATER PIPING FOR DISHWASHER.

GENERAL NOTES:

1. PIPING SHOWN DIAGRAMMATICALLY ONLY. PROVIDE ALL ADDITIONAL OFFSETS AND FITTINGS AS REQUIRED.
2. ALL PENETRATIONS THROUGH FIRE RATED ASSEMBLIES TO BE SLEEVED AND SEALED.
3. COORDINATE WITH ALL OTHER TRADES.



KEY PLAN

N.T.S

powers brown architecture

Architectural Consultant:
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PROJECT TITLE

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WASHROOMS PHASE II
148 FOREST ROAD,
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PROJECT NO: 20-2825
DRAWN BY: NH
CHECKED BY: NC

SHEET TITLE

NEW WASHROOM PLAN
– MECHANICAL LAYOUT

SEAL

REGISTERED PROFESSIONAL ENGINEER
K. NEIL CLEARY
SIGNATURE
09-22-2020
PROVINCE OF NEWFOUNDLAND

SHEET NUMBER

M–4

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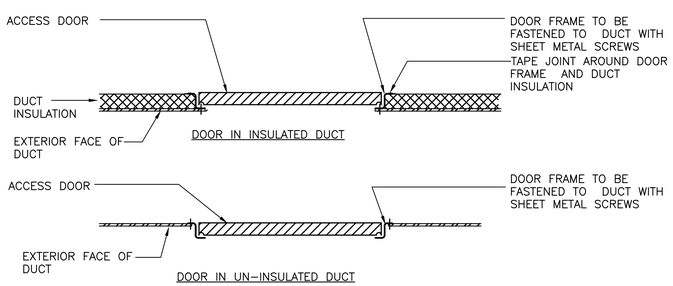
PLUMBING FIXTURE AND TRIM SCHEDULE

FIXTURE TAG	MANUF.	MODEL NO.	COLOUR	WATER CLOSET & URINAL TRIM				SINK & LAVATORY TRIM					SHOWER & BATH TRIM			MOUNTING	ROUGHING				ELECTRICAL	REMARKS
				SUPPLY/VALVE	TANK	CARRIER	SEAT	FAUCET	WASTE	TRAP	SUPPLIES	CARRIER	HEAD	FAUCET OR MIXING VALVE	WASTE & OVERFLOW		WASTE	VENT	HOT WATER	COLD WATER		
WC–1	KOHLER	KINSTON K–4325	WHITE	SLOAN 111 ESS–1.6–DFB–OR–HW	–	ZURN Z–1203	CENTOCO 500CC–001	–	–	–	–	–	–	–	–	WALL MTD.	75mm	40mm	–	25mm	120/24vac	BARRIER FREE ELONGATED MOUNT 419mm HIGH BOWL FOR ACCESSIBILITY. C/W HARDWIRE OPERATED ELECTRONIC CONCEALED FLUSH VALVE SYSTEM. PROVIDE HARDWIRE 0345154PK EL–154 TRANSFORMER.
WC–2	KOHLER	KINSTON K–4325	WHITE	SLOAN 111 ESS–1.6–DFB–OR–HW	–	ZURN Z–1203	CENTOCO 500CC–001	–	–	–	–	–	–	–	–	WALL MTD.	75mm	40mm	–	25mm	120/24vac	ELONGATED 381mm HIGH BOWL. C/W HARDWIRE OPERATED ELECTRONIC CONCEALED FLUSH VALVE SYSTEM. PROVIDE HARDWIRE 0345154PK EL–154 TRANSFORMER.
LAV–1	KOHLER	MEMOIRS K–2339	WHITE	–	–	–	–	SLOAN EAF–200–PLG–CP–0.5GPM–AER–IR–IQ–FCT	DELTA 33T290	DELTA 33T311	DELTA 47P2512SD	–	–	–	–	UNDER MTD.	32mm	40mm	12mm	12mm	120/24vac	BARRIER FREE, ALL PIPES TO BE CHROME PLATED WHERE EXPOSED.POWER SUPPLY: PLUG–IN ADAPTER, C/W ELECTRONIC CONTROL BOX THERMOSTATIC MIX VALVE EAF–1004. PROVIDE HARDWIRE EL–451 TRASFORMER.
LAV–2	KOHLER	IRON PLAINS TROUGH VESSEL K–20212–P5	WHITE	–	–	–	–	SLOAN (X 2) EAF–200–PLG–CP–0.5GPM–AER–IR–IQ–FCT	DELTA 33T290	DELTA 33T311	DELTA 47P2512SD	–	–	–	–	UNDER MTD.	32mm	40mm	12mm	12mm	120/24vac	BARRIER FREE, ALL PIPES TO BE CHROME PLATED WHERE EXPOSED.POWER SUPPLY: PLUG–IN ADAPTER, C/W ELECTRONIC CONTROL BOX THERMOSTATIC MIX VALVE EAF–1004. PROVIDE HARDWIRE EL–451 TRASFORMER.
SK–1	KOHLER	VAULT K–80170–3	S.S.	–	–	–	–	GLACIER BAY HD67553–0108D2	CRUMB CUP STRAINER	DELTA 33T360	DELTA 47P2512SD	–	–	–	–	COUNTER MTD.	40mm	40mm	12mm	12mm	–	C/W 89mm CRUMB CUP STRAINER. LEDGE BACK DRILLED FOR 203mm O.C. DECK FAUCET.
JS–1	–	–	–	–	–	–	–	DELTA 27C4234	–	–	–	–	–	–	–	–	–	–	–	–	–	FAUCET TO BE REPLACED ONLY.
UR–1	KOHLER	BARDON K–4991–ET	WHITE	SLOAN 186 ESS–0.5–DFB–HW	–	ZURN Z–1223	–	–	–	–	–	–	–	–	–	WALL MTD.	50mm	40mm	–	25mm	120/24vac	ALL PIPES TO BE CHROME PLATED C/W HARDWIRE OPERATED ELECTRONIC CONCEALED FLUSH VALVE SYSTEM. PROVIDE HARDWIRE 0345154PK EL–154 TRANSFORMER.

GRILLE/REGISTER AND DIFFUSER SCHEDULE

TAG NO.	MANUF.	MODEL NO.	NOMINAL DUCT CONNECTION OR NECK SIZE	NOMINAL PANEL OR FACE SIZE (mm)	DISCHARGE PATTERN	MOUNTING TYPE	FINISH	REMARKS
DG–1	E.H. PRICE	STG1	AS SHOWN	–	–	–	–	DOUBLE FLANGE



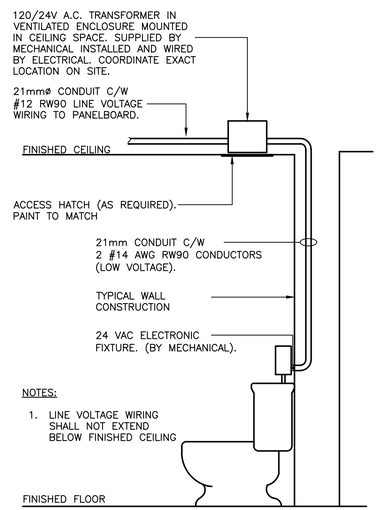
NOTES –

1.) REFER TO SPECIFICATIONS FOR TYPE OF AND SIZE OF ACCESS DOORS.

2.) AFTER ACCESS DOORS HAVE BEEN INSTALLED SEAL AROUND DOOR FRAME WITH DURO DYNE DUCT SEALER.

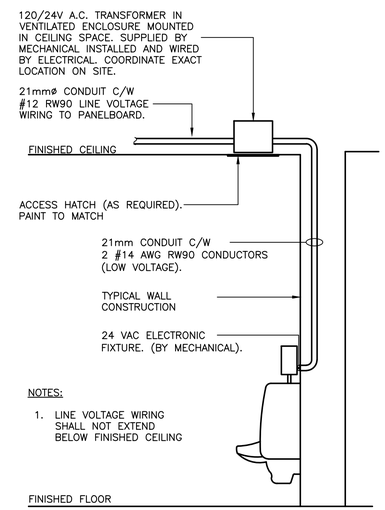
DETAIL - TYP. DUCT MTD. ACCESS DOORS (4 / M–5)

SCALE = N.T.S.



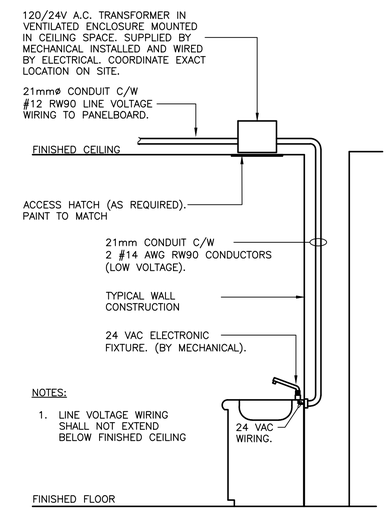
ELECTRONIC TOILET DETAIL (3 / M–5)

SCALE = N.T.S.



ELECTRONIC URINAL DETAIL (2 / M–5)

SCALE = N.T.S.



ELECTRONIC LAVATORY DETAIL (1 / M–5)

SCALE = N.T.S.

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DRAWN BY: NH
CHECKED BY: NC

SHEET TITLE

MECHANICAL SCHEDULES & DETAILS

SEAL

REGISTERED PROFESSIONAL ENGINEER
K. NEIL CLEARY
SIGNATURE
09-22-2020
PROVINCE OF NEWFOUNDLAND

SHEET NUMBER

M–5

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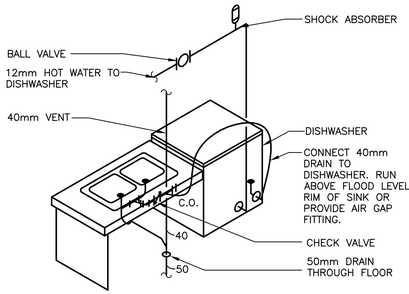
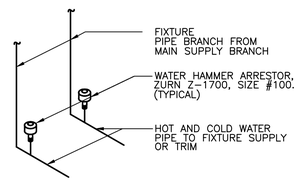


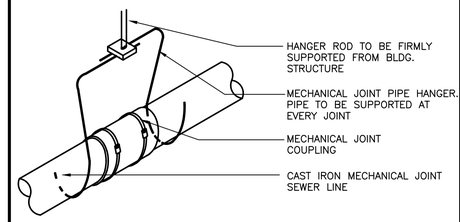
(TYP.) DISHWASHER PIPING CONNECTION (1 / M-6)

SCALE = N.T.S.



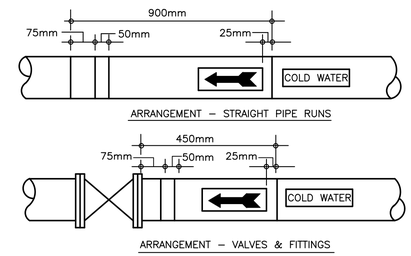
WATER HAMMER ARRESTOR DETAIL (2 / M-6)

SCALE = N.T.S.



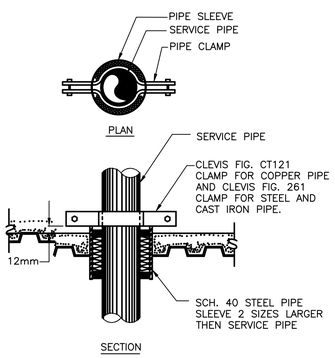
TYP. HANGER FOR CAST IRON MECHANICAL JOINT PIPE (3 / M-6)

SCALE = N.T.S.



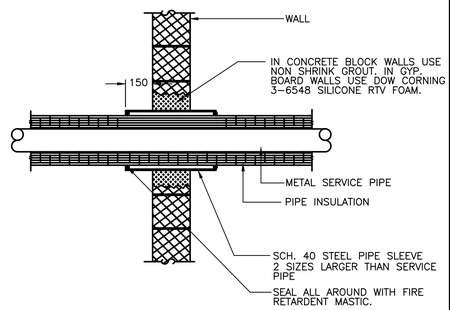
PIPING SYSTEM IDENTIFICATION DETAILS (4 / M-6)

SCALE = N.T.S.



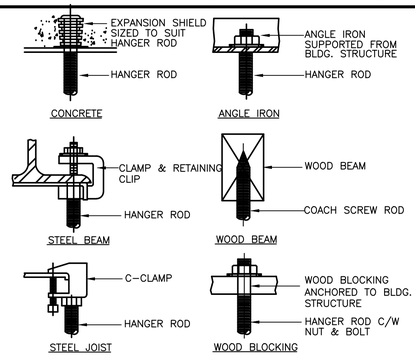
SERVICE PIPE PENETRATION FLOOR CONSTRUCTION DETAIL (5 / M-6)

SCALE = N.T.S.



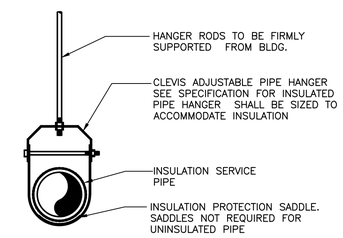
SERVICE PIPE PENETRATING NON-RATED WALL (6 / M-6)

SCALE = N.T.S.



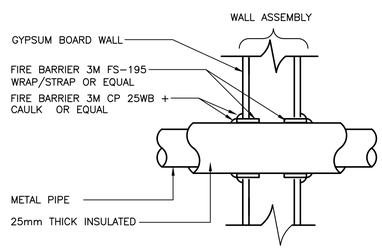
DETAIL – TYP. HANGER ROD SUPPORTS (7 / M-6)

SCALE = N.T.S.



TYPICAL CLEVIS PIPE HANGER (8 / M-6)

SCALE = N.T.S.



SERVICE PIPE PENETRATING WALL CONSTRUCTION (1 HOUR RATING) (9 / M-6)

SCALE = N.T.S.

powers brown architecture

Architectural Consultant:
Powers Brown Architecture
354 Water St., Suite 212
St. John's, NL A1C 1C4
709.726.3941

www.powersbrown.com

PROJECT TITLE

WORKPLACENL
WASHROOMS PHASE II
148 FOREST ROAD,
ST. JOHN'S, NL, A1A 1E6

A PROJECT FOR

WORKPLACE NL

GENERAL NOTES

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ELECTRICAL/MECHANICAL CONSULTANT:

CROSBIE ENGINEERING LTD.
CONSULTING ENGINEERS

Physical Address:
1243 Kenmount Road, Unit 102
Paradise, NL A1L 0V8

Mailing Address:
P.O. Box 13295, Station "A"
St. John's, NL A1B 4A5

Tel: (709) 754-1911, 754-1914
e-mail: admin@crosbieeng.com

PERMIT:

PROVINCE OF NEWFOUNDLAND
PERMIT HOLDER
Class "A"
This Permit Allows
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To practice Professional Engineering in Newfoundland and Labrador
Permit No. as issued by PEG-NL D0123
which is valid for the year 2020.

△	DATE	REVISION
A	2020-08-28	Issue for Review
0	2020-09-22	Issue for Tender

PROJECT NO: 20-2825
DRAWN BY: NH
CHECKED BY: NC

SHEET TITLE

PLUMBING DETAILS

SEAL

REGISTERED PROFESSIONAL ENGINEER
K. NEIL CLEARY
SIGNATURE
09-22-2020
PROVINCE OF NEWFOUNDLAND

SHEET NUMBER

M-6

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WORKPLACE NL WASHROOMS
PHASE II
148 FOREST ROAD
ST. JOHN'S, NEWFOUNDLAND

ISSUED FOR TENDER
SEPTEMBER 17, 2020

ELECTRICAL

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Tel: (709) 754-1911, 754-1914
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DRAWING LIST:

E1 – ELECTRICAL LEGEND
E2 – DEMOLITION WASHROOM PLAN
E3 – NEW WASHROOM PLANS – LIGHTING, FIRE ALARM & EXIT EMERGENCY LIGHTING LAYOUT
E4 – NEW WASHROOM PLANS – POWER LAYOUT
E5 – ELECTRICAL SCHEDULE & DETAILS
E6 – ELECTRICAL SPECIFICATION

CEL PROJECT NO: 20-2825

LEGEND

LIGHTING

(A) LED LIGHTING FIXTURE, CEILING MOUNTED. LETTER DENOTES TYPE. SEE LIGHTING FIXTURE SCHEDULE & SPECIFICATIONS FOR DESCRIPTION.

(A) LED LIGHTING FIXTURE, WALL MOUNTED. LETTER DENOTES TYPE. SEE LIGHTING FIXTURE SCHEDULE & SPECIFICATIONS FOR DESCRIPTION.

A LED LIGHTING FIXTURE. LETTER DENOTES TYPE. SEE LIGHTING FIXTURE SCHEDULE & SPECIFICATIONS FOR DESCRIPTION.

$a,b SINGLE POLE TOGGLE SWITCH. 15 AMP, SPECIFICATION GRADE, WHITE C/W STAINLESS STEEL COVERPLATE. SEE SPEC. FOR MORE INFORMATION. MOUNT 1200mm ABOVE FINISHED FLOOR.
p "a" OR "b" INDICATES CIRCUIT TO BE CONTROLLED.
k "p" INDICATES PILOT LIGHT
"k" INDICATES KEY OPERATED

$3 "3" INDICATES THREE WAY SWITCH, SIMILAR TO ABOVE.
4 "4" INDICATES FOUR WAY SWITCH, SIMILAR TO ABOVE.

EMERGENCY/EXIT LIGHTING

1 EMERGENCY LIGHTING BATTERY UNIT "LUMACELL" #RG12S200-2LD7 OR EQUAL. 347 VOLT AC, 12 VOLT DC. BATTERY TO MOUNT 300MM BELOW CEILING. BE RATED FOR 200 WATTS (66W FOR 90 MINUTES MINIMUM) C/W TWO 4W MR-16 LED HEADS & COME WITH A 10 YEAR RATED LIFE MINIMUM. #1 INDICATES BATTERY PACK DESIGNATION.

1 REMOTE HEAD "LUMACELL" #MQM2LD7 (DOUBLE) OR EQUAL, 12 VOLT, C/W 4 WATT, MR16 LED LAMPS. WALL MOUNT 300mm BELOW FINISHED CEILING. #1 INDICATES CONNECTION TO BATTERY PACK #1

X1 X2 EXIT SIGN. " LUMACELL" LA1WU SERIES (RUNNING MAN) NRCAN/CSA COMPLIANT. UNIVERSAL MOUNT 347 VOLT AC & 12 VOLT DC, C/W 25 YEAR LED TYPE LAMPS. SEE LIGHTING FIXTURE SCHEDULE AND SPECIFICATION. ARROWS INDICATE DIRECTION OF TRAVEL

X1 COMBO EXIT SIGN COMPLETE WITH TWO HEADS. " LUMACELL" LAC-1-W-1250-2-LD7 SERIES NRCAN/CSA COMPLIANT. UNIVERSAL MOUNT 347 VOLT AC & 12 VOLT DC, C/W EXIT SIGN (RUNNING MAN) AND TWO 4 WATT, MR16, 25 YEAR LED TYPE LAMPS. SELF-POWERED.

WIRING DEVICES

WP C HRV DUPLEX U-GROUND RECEPTACLE. 120 VOLT, 15 AMP, SPECIFICATION GRADE. WHITE & C/W STAINLESS STEEL COVERPLATE. WALL MOUNT 400mm ABOVE FINISHED FLOOR. "WP" INDICATES WEATHERPROOF COVERPLATE. "C" INDICATES CEILING MOUNTED, COORDINATE EXACT LOCATION ON SITE. "HRV" INDICATES FOR HRV UNIT, COORDINATE EXACT LOCATION ON SITE WITH MECHANICAL PRIOR TO ROUGH-IN.

GFCI DUPLEX RECEPTACLE. 120 VOLT, 15 AMP, WHITE, SPECIFICATION GRADE C/W STAINLESS STEEL COVERPLATE. WALL MOUNT 400mm ABOVE FINISHED FLOOR.

DUPLEX U-GROUND RECEPTACLE. 120 VOLT, 15 AMP, SPECIFICATION GRADE. WHITE & C/W STAINLESS STEEL COVERPLATE. WALL MOUNT 150mm TO CENTER ABOVE COUNTER. "WP" INDICATES WEATHERPROOF COVERPLATE.

GFCI DUPLEX RECEPTACLE. 120 VOLT, 15 AMP, WHITE, SPECIFICATION GRADE C/W STAINLESS STEEL COVERPLATE. WALL MOUNT 150mm TO CENTER ABOVE COUNTER.

WP DUPLEX U-GROUND RECEPTACLE. 120 VOLT, 20 AMP, SPECIFICATION GRADE. WHITE & C/W STAINLESS STEEL COVERPLATE. WALL MOUNT 400mm ABOVE FINISHED FLOOR. "WP" INDICATES WEATHERPROOF COVERPLATE.

RT GFCI DUPLEX RECEPTACLE. 120 VOLT, 20 AMP, WHITE, SPECIFICATION GRADE C/W STAINLESS STEEL COVERPLATE. WALL MOUNT 400mm ABOVE FINISHED FLOOR. "RT" INDICATES FOR ROOFTOP UNIT, LOCATED WITHIN 7.5 METERS OF THE ROOFTOP ELECTRICAL EQUIPMENT, NOT LESS THAN 750mm ABOVE FINISHED ROOF, C/W WEATHERPROOF FS BOX AND COVERPLATE, COORDINATE EXACT LOCATION ON SITE WITH MECHANICAL PRIOR TO ROUGH-IN.

DUPLEX U-GROUND RECEPTACLE. 120 VOLT, 20 AMP, SPECIFICATION GRADE. WHITE & C/W STAINLESS STEEL COVERPLATE. WALL MOUNT 150mm TO CENTER ABOVE COUNTER. "WP" INDICATES WEATHERPROOF COVERPLATE.

GFCI DUPLEX RECEPTACLE. 120 VOLT, 20 AMP, WHITE, SPECIFICATION GRADE C/W STAINLESS STEEL COVERPLATE. WALL MOUNT 150mm TO CENTER ABOVE COUNTER.

DUPLEX U-GROUND RECEPTACLE FOR MICROWAVE. 120 VOLT, 15 AMP, SPECIFICATION GRADE WHITE & C/W WHITE NYLON COVERPLATE. COORDINATE EXACT LOCATION AND MOUNTING HEIGHT PRIOR TO ROUGH-IN.

FIRE ALARM SYSTEM

HD FIRE ALARM HEAT DETECTOR TO MATCH EXISTING. SURFACE MOUNT ON CEILING.

SD FIRE ALARM SMOKE DETECTOR TO MATCH EXISTING. SURFACE MOUNT ON CEILING.

FIRE ALARM CONTROL PANEL. EXISTING.

F WP FIRE ALARM BELL TO MATCH EXISTING.

CONTROLS & MISCELLANEOUS

DISCONNECT SWITCH SUPPLIED AND INSTALLED BY ELECTRICAL DIVISION UNLESS NOTED OTHERWISE, EEMAC 2 (SPRINKLER PROOF) FOR INTERIOR AND EEMAC 4X FOR EXTERIOR.

ELECTRIC MOTOR. SUPPLIED BY MECHANICAL DIVISION, WIRED BY ELECTRICAL DIVISION.

AUTOMATIC DOOR OPERATOR SUPPLIED AND INSTALLED BY OTHERS, WIRED BY ELECTRICAL.

INDICATES LOW VOLTAGE WIRING

JUNCTION BOX

GENERAL DEMOLITION NOTES:

1. CONTRACTOR TO PROVIDE ALL CUTTING, PATCHING AND PAINTING TO MATCH EXISTING. SEE SPECIFICATION FOR DETAILS. COORDINATE ON SITE.

2. CONTRACTOR TO ASSESS WORK AREA IN ADVANCE WITH OWNER REPRESENTATIVE FOR COORDINATION OF RELATED DAILY WORK SCHEDULES, PARKING, BUILDING ACCESS, AND STORAGE OF EQUIPMENT.

3. WORK SHALL BE SCHEDULED DURING NORMAL WORKING HOURS CONTRACTOR MAY WORK AFTER NORMAL WORKING HOURS AS COORDINATED BY OWNER REPRESENTATIVE. BUILDING TO REMAIN OPERATIONAL DURING CONSTRUCTION.

4. CONTRACTOR SHALL BE RESPONSIBLE FOR CLEAN UP AND DISPOSALS OF WORK AREA ON A DAILY BASIS. AFTER EACH WORKING SHIFT BUILDING TO BE CLEANED AND FREE OF DEBRIS. BUILDING GARBAGE BINS ARE NOT TO BE USED.

5. ANY ELECTRICAL SYSTEM SHUTDOWN TO BE SCHEDULED AFTER NORMAL BUSINESS HOURS AND SHALL BE COORDINATED WITH OWNER REPRESENTATIVE. SUFFICIENT NOTICE SHALL BE GIVEN. 5 WORKING DAYS NOTICE IS REQUIRED FOR ANY DISRUPTION.

6. WORK TO BE CARRIED OUT IN CONSIDERATION OF CLIENT COMFORT AND OPERATIONS.

7. ALL WIRING TO BE INSTALLED IN CONDUIT AS INDICATED.

8. ACCESS TO FACILITY TO BE COORDINATED WITH OWNER REPRESENTATIVE.

9. PROVIDE TYPED REVISED PANELBOARD DIRECTORIES FOR ALL PANELBOARDS WHERE BRANCH CIRCUITS WERE REMOVED, ADDED OR MODIFIED.

10. LABEL ALL EQUIPMENT WITH LAMACOID TAGS AS PER SPECIFICATION.

11. ALL EXISTING ELECTRICAL EQUIPMENT REMOVED TO BE TURNED OVER TO OWNER. IF OWNER REFUSES THEN CONTRACTOR TO REMOVE FROM SITE AND DISPOSE OF.

12. PROVIDE NEW SINGLE LINE POWER DISTRIBUTION DRAWING FOR COMPLETE ELECTRICAL DISTRIBUTION. (APPROXIMATE SIZE 24" x 36") SUITABLE FOR WALL MOUNT IN ELECTRICAL ROOM. SEE SPECIFICATION. CONFIRM EXACT LAYOUT ON SITE PRIOR TO PROVIDING COPY OF SINGLE LINE DIAGRAM.

13. THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS ISSUED FOR CONSTRUCTION AND STAMPED AND SIGNED BY THE PROJECT ENGINEER.

14. ALL ELECTRICAL INSTALLATIONS MUST BE OF GOOD WORKMANSHIP. THIS REQUIRES ELECTRICAL EQUIPMENT TO: BE SECURELY AND PERMANENTLY FASTENED AND OR SUPPORTED, BE INSTALLED LEVEL, AND PLUMB, HAVE CABLE AND CONDUIT BE INSTALLED PARALLEL TO AND PERPENDICULAR TO BUILDING LINES, HAVE A NEXT AND FINISHED APPEARANCE.

15. WHERE CONTRACTOR IS UNSURE OF WORK TO BE PERFORMED, HE SHALL REQUEST DIRECTION FROM OWNER REPRESENTATIVE PRIOR TO PROCEEDING WITH WORK.

16. ALL EQUIPMENT AND EXPOSED NON-CURRENT CARRYING METAL, CONDUITS AND PARTS TO BE PERMANENTLY AND EFFECTIVELY GROUNDED TO MEET MINIMUM REQUIREMENTS OF THE CEC SECTION 10 AND AS INDICATED ON DRAWINGS AND FURTHER SPECIFIED. STANDARDS SET EITHER BY DRAWINGS AND FURTHER SPECIFIED. STANDARDS SET EITHER BY DRAWINGS OR SPECIFICATIONS WHICH ARE ABOVE THOSE COVERED BY THE CEC SECTION 10 ARE NOT TO BE REDUCED UNDER ANY CIRCUMSTANCES.

17. EQUIPMENT TO BE RATED FOR SERVICE TO WHICH IT IS APPLIED; INCLUDING VOLTAGE CLASS, CONTINUOUS CURRENT RATING. INTERRUPTING RATING AND ENVIRONMENTAL CONDITION.

18. THE ELECTRICAL CONTRACTOR SHALL VISIT SITE PRIOR TO TENDER TO ASSESS EXISTING CONDITIONS, OBSTRUCTIONS, MATERIALS, ETC. NO EXTRA

powers brown architecture

Architectural Consultant:
Powers Brown Architecture
354 Water St., Suite 212
St. John's, NL A1C 1C4
709.726.3941

www.powersbrown.com

PROJECT TITLE

WORKPLACENL
WASHROOMS PHASE II
148 FOREST ROAD,
ST. JOHN'S, NL, A1A 1E6

A PROJECT FOR

WORKPLACE NL

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Tel: (709) 754-1911, 754-1914
e-mail: admin@crosbieeng.com

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PROVINCE OF NEWFOUNDLAND
PERMIT HOLDER
Class "A"
This Permit Allows
CROSBIE ENGINEERING LIMITED

To practice Professional Engineering in Newfoundland and Labrador
Permit No. as issued by PEG-NL D0123
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△	DATE	REVISION
A	2020-08-28	ISSUED FOR REVIEW
0	2020-09-17	ISSUED FOR TENDER

PROJECT NO: 20-2825
DRAWN BY: SE
CHECKED BY: KN

SHEET TITLE

ELECTRICAL LEGEND

SEAL

REGISTERED PROFESSIONAL ENGINEER
PEGL Newfoundland and Labrador
KENNETH R.P. NEIL
SIGNATURE
SEPT 17 20
DATE
NEWFOUNDLAND & LABRADOR

SHEET NUMBER

E1

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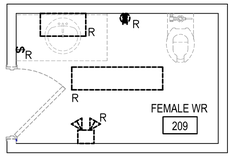

(1) DEMOLITION PLAN – FEMALE WASHROOM

SCALE: 1:40

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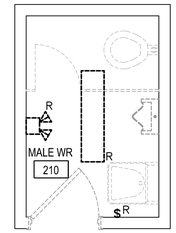

(2) DEMOLITION PLAN – MALE WASHROOM

SCALE: 1:40

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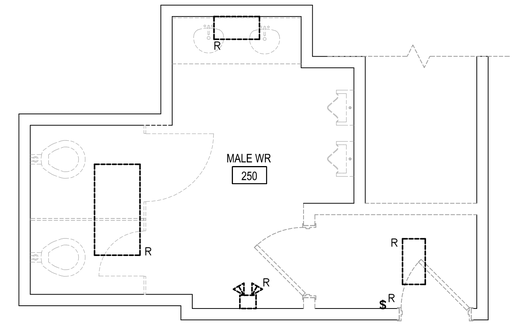

(3) DEMOLITION PLAN – MALE WASHROOM

SCALE: 1:40

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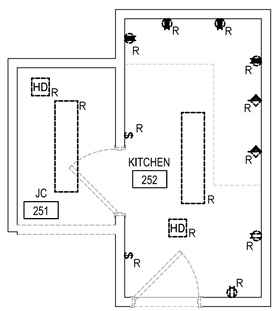
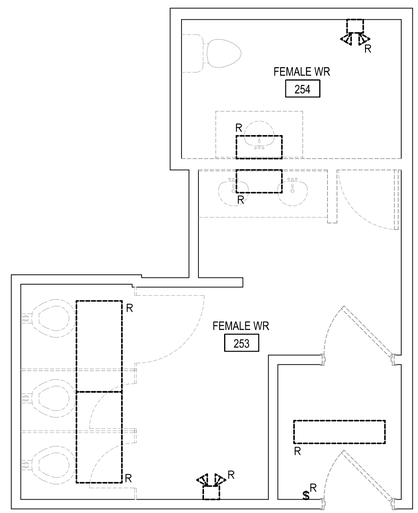


(4) DEMOLITION PLAN – KITCHENETTE & JANITORS CLOSET

SCALE: 1:40

0m 1m 2m 3m 4m 5m



(5) DEMOLITION PLAN – WOMENS WASHROOM

SCALE: 1:40

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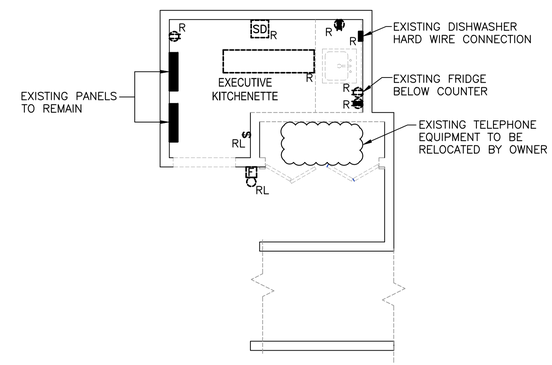


(6) DEMOLITION PLAN – EXECUTIVE KITCHENETTE

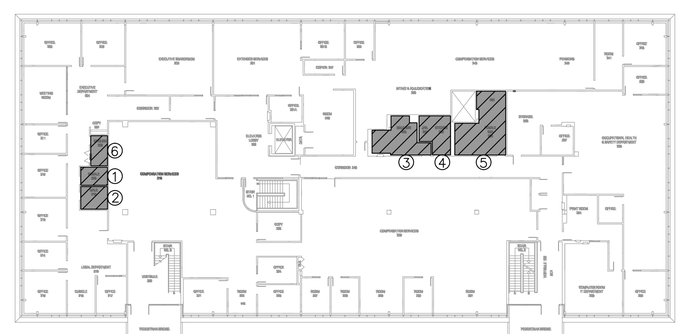
SCALE: 1:40

0m 1m 2m 3m 4m 5m

R – DENOTES EXISTING DEVICE TO BE REMOVED. WIRING AND CONDUIT TO REMAIN FOR REUSE IN NEW LAYOUT. COORDINATE ON SITE.

RL – DENOTES EXISTING DEVICE TO BE RELOCATED. EXTEND CONDUIT AND WIRING AS REQUIRED. COORDINATE ON SITE.

BROKEN LINE INDICATES EXISTING
SOLID LINE INDICATES NEW



KEY PLAN

N.T.S

powers brown architecture

Architectural Consultant:
Powers Brown Architecture
354 Water St., Suite 212
St. John's, NL A1C 1C4
709.726.3941

www.powersbrown.com

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PROJECT NO: 20-2825
DRAWN BY: SE
CHECKED BY: KN

SHEET TITLE

DEMOLITION WASHROOM PLANS

SEAL

REGISTERED PROFESSIONAL ENGINEER
PEGL Newfoundland and Labrador
KENNETH R.P. NEIL
SIGNATURE
SEPT 17 20
DATE
NEWFOUNDLAND & LABRADOR

SHEET NUMBER

E2

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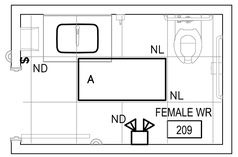

(1) NEW PLAN – FEMALE WASHROOM

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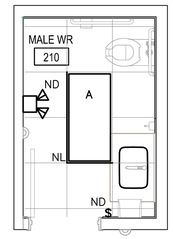
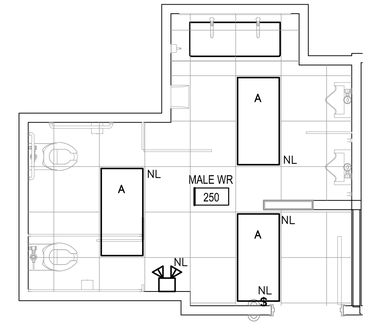
0m 1m 2m 3m 4m 5m



(2) NEW PLAN – MALE WASHROOM

SCALE: 1:40

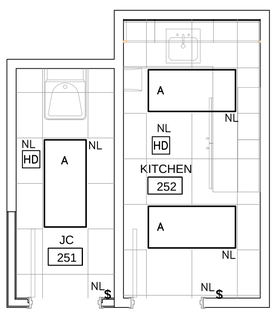
0m 1m 2m 3m 4m 5m



(3) NEW PLAN – MALE WASHROOM

SCALE: 1:40

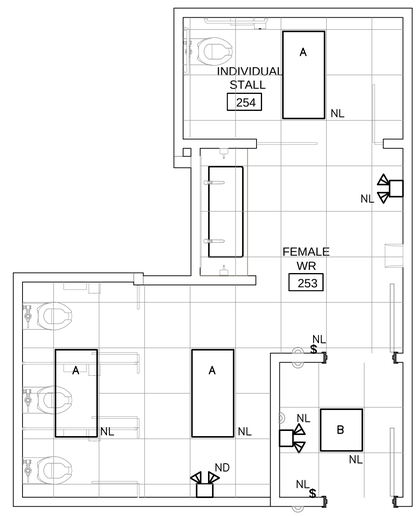
0m 1m 2m 3m 4m 5m



(4) NEW PLAN – KITCHENETTE & JANITORS CLOSET

SCALE: 1:40

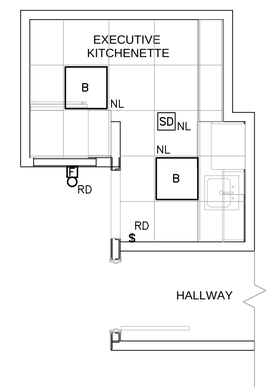
0m 1m 2m 3m 4m 5m



(5) NEW PLAN – WOMENS WASHROOM

SCALE: 1:40

0m 1m 2m 3m 4m 5m



(6) NEW PLAN – EXECUTIVE KITCHENETTE

SCALE: 1:40

0m 1m 2m 3m 4m 5m

ND – DENOTES NEW DEVICE IN EXISTING LOCATION. EXISTING WIRING AND CONDUIT TO BE REUSED. EXTEND CONDUIT AND WIRING AS REQUIRED. COORDINATE ON SITE.

NL – DENOTES NEW DEVICE IN NEW LOCATION. EXISTING WIRING AND CONDUIT TO BE REUSED. EXTEND CONDUIT AND WIRING AS REQUIRED. COORDINATE ON SITE.

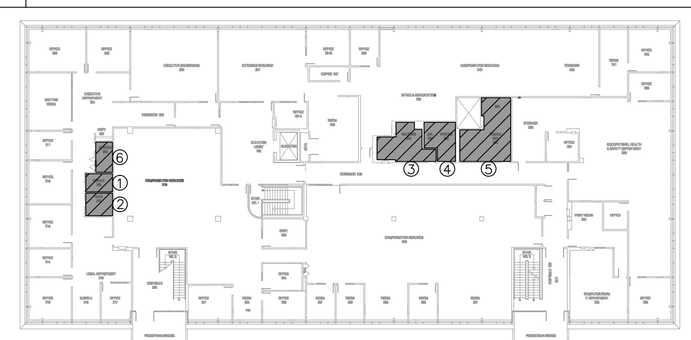
RD – DENOTES EXISTING DEVICE TO BE RELOCATED. EXTEND WIRING AND CONDUIT AS REQUIRED. COORDINATE ON SITE.

NOTE: IF THERE IS NO NOTATION NEAR A NEW DEVICE WITHIN THESE DRAWINGS THEN IT INDICATES NEW DEVICE IN NEW LOCATION C/W ALL NEW CONDUIT AND WIRING.

BROKEN LINE INDICATES EXISTING
SOLID LINE INDICATES NEW

TYPICAL NOTE:

CONTRACTOR TO ENSURE ALL LIGHTING, FIRE ALARM & EXIT EMERGENCY LIGHTING THAT ARE NOTED TO BE REPLACED ARE REPLACED WITH NEW FIXTURES OF THE SAME VOLTAGE AND WATTAGE VALUE SO THAT EXISTING CIRCUITS ARE NOT OVERLOADED. COORDINATE EXACT RATINGS ON SITE PRIOR TO ORDERING MATERIALS AND ROUGH–IN.



KEY PLAN

N.T.S

powers brown architecture

Architectural Consultant:
Powers Brown Architecture
354 Water St., Suite 212
St. John's, NL A1C 1C4
709.726.3941

www.powersbrown.com

PROJECT TITLE

WORKPLACENL
WASHROOMS PHASE II
148 FOREST ROAD,
ST. JOHN'S, NL, A1A 1E6

A PROJECT FOR

WORKPLACE NL

GENERAL NOTES

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ELECTRICAL/MECHANICAL CONSULTANT:

CROSBIE ENGINEERING LTD.
CONSULTING ENGINEERS

Physical Address:
1243 Kenmount Road, Unit 102
Paradise, NL A1L 0V8

Mailing Address:
P.O. Box 13295, Station "A"
St. John's, NL A1B 4A5

Tel: (709) 754–1911, 754–1914
e–mail: admin@crosbieeng.com

PERMIT:

PROVINCE OF NEWFOUNDLAND
PERMIT HOLDER
Class "A"
This Permit Allows
CROSBIE ENGINEERING LIMITED

To practice Professional Engineering in Newfoundland and Labrador
Permit No. as issued by PEG–NL 00123
which is valid for the year 2020.

△	DATE	REVISION
A	2020-08-28	ISSUED FOR REVIEW
0	2020-09-17	ISSUED FOR TENDER

PROJECT NO: 20-2825
DRAWN BY: SE
CHECKED BY: KN

SHEET TITLE

NEW WASHROOM PLANS
– LIGHTING, FIRE ALARM
& EXIT EMERGENCY
LIGHTING LAYOUT

SEAL

REGISTERED PROFESSIONAL ENGINEER
PEGL Newfoundland and Labrador
KENNETH R.P. NEIL
SIGNATURE
SEPT 17 20
DATE
NEWFOUNDLAND & LABRADOR

SHEET NUMBER

E3

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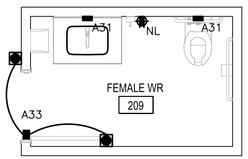
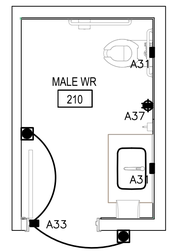


(1) NEW PLAN – FEMALE WASHROOM

SCALE: 1:40

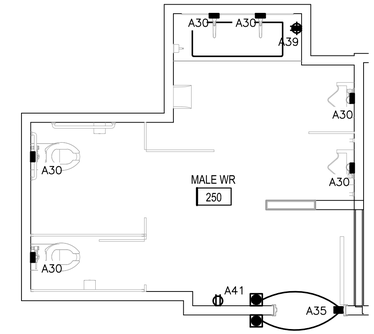
0m 1m 2m 3m 4m 5m



(2) NEW PLAN – MALE WASHROOM

SCALE: 1:40

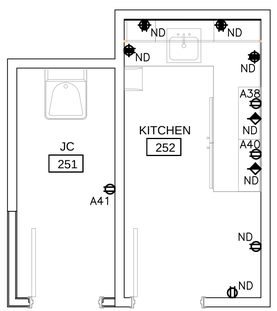
0m 1m 2m 3m 4m 5m



(3) NEW PLAN – MALE WASHROOM

SCALE: 1:40

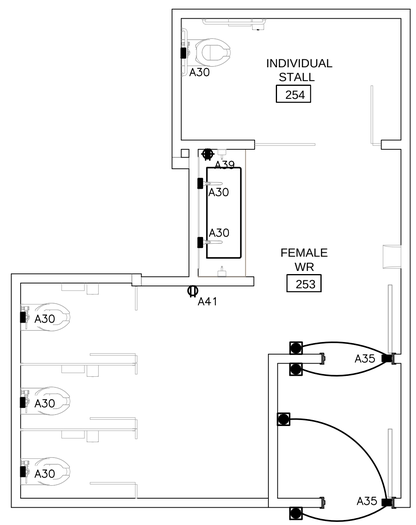
0m 1m 2m 3m 4m 5m



(4) NEW PLAN – KITCHENETTE & JANITORS CLOSET

SCALE: 1:40

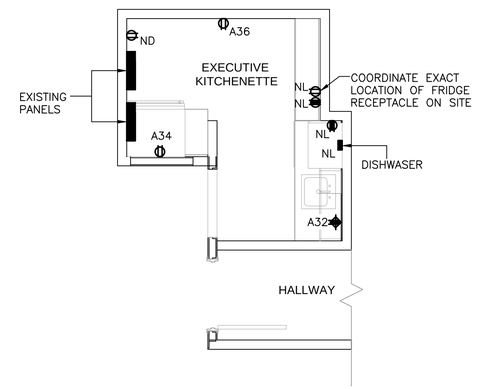
0m 1m 2m 3m 4m 5m



(5) NEW PLAN – WOMENS WASHROOM

SCALE: 1:40

0m 1m 2m 3m 4m 5m



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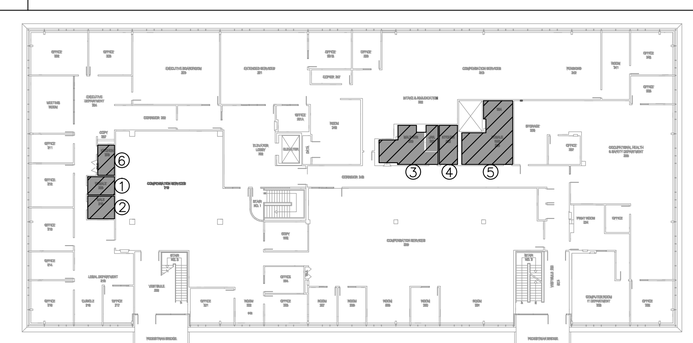

KEY PLAN

N.T.S

powers brown architecture

Architectural Consultant:
Powers Brown Architecture
354 Water St., Suite 212
St. John's, NL A1C 1C4
709.726.3941

www.powersbrown.com

PROJECT TITLE

WORKPLACENL
WASHROOMS PHASE II
148 FOREST ROAD,
ST. JOHN'S, NL, A1A 1E6

A PROJECT FOR

WORKPLACE NL

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CONSULTING ENGINEERS

Physical Address:
1243 Kenmount Road, Unit 102
Paradise, NL A1L 0V8

Mailing Address:
P.O. Box 13295, Station "A"
St. John's, NL A1B 4A5

Tel: (709) 754–1911, 754–1914
e–mail: admin@crosbieeng.com

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PERMIT HOLDER
Class "A"
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0	2020-09-17	ISSUED FOR TENDER

PROJECT NO: 20-2825
DRAWN BY: SE
CHECKED BY: KN

SHEET TITLE

NEW WASHROOM PLANS
– POWER LAYOUT

SEAL

REGISTERED PROFESSIONAL ENGINEER
PEGA Newfoundland and Labrador
KENNETH R.P. NEIL
SIGNATURE
SEPT 17 20
DATE
NEWFOUNDLAND & LABRADOR

SHEET NUMBER

E4

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VOLTS 120/208 | PANEL NAME PANEL A | MAINS RATED 250 AMPS
PHASE 3 | LOCATION KITCHENETTE | MOUNTING –
WIRE 4 | FED FROM – | ENTER AT | CIRCUITS 42

	DESIGNATION	WATTAGE ø A	WATTAGE ø B	WATTAGE ø C	WIRE	BKR	CCT	A B C	CCT	BKR	WIRE	WATTAGE ø A	WATTAGE ø B	WATTAGE ø C	DESIGNATION	
E	EXISTING				E	E	1		2	E	E				EXISTING	E
E	EXISTING				E	E	3		4	E	E				EXISTING	E
E	EXISTING				E	E	5		6	E	E				EXISTING	E
E	EXISTING				E	E	7		8	E	E				EXISTING	E
E	EXISTING				E	E	9		10	E	E				EXISTING	E
E	EXISTING				E	E	11		12	E	E				EXISTING	E
E	EXISTING				E	E	13		14	E	E				EXISTING	E
E	EXISTING				E	E	15		16	E	E				EXISTING	E
E	EXISTING				E	E	17		18	E	E				EXISTING	E
E	EXISTING				E	E	19		20	E	E				EXISTING	E
E	EXISTING				E	E	21		22	E	E				EXISTING	E
E	EXISTING				E	E	23		24	E	E				EXISTING	E
E	EXISTING				E	E	25		26	E	E				EXISTING	E
E	EXISTING				E	E	27		28	E	E				EXISTING	E
E	EXISTING				E	E	29		30	15	12			100	ELECTRONIC SINKS/TOILETS/URINALS	N
N	ELECTRONIC SINKS/TOILETS	100			12	15	31		32	20	12	180			REC – KITCHENETTE	N
N	ADO – 209, 210		400		12	15	33		34	15	12		500		REC – PRINTER	N
N	ADO – 250, 253			600	12	15	35		36	15	12			120	REC – KITCHENETTE	N
N	REC – 210	500			12	15	37		38	15	12	500			MINI FRIDGE REC – KITCHEN 252	N
N	REC – 250, 253		1000		12	15	39		40	15	12		500		MINI FRIDGE REC – KITCHEN 252	N
N	REC – 250, 251, 253			360	12	15	41		42	15					SPARE	

ø A TOTAL : 1280
ø B TOTAL : 2400
ø C TOTAL : 1180

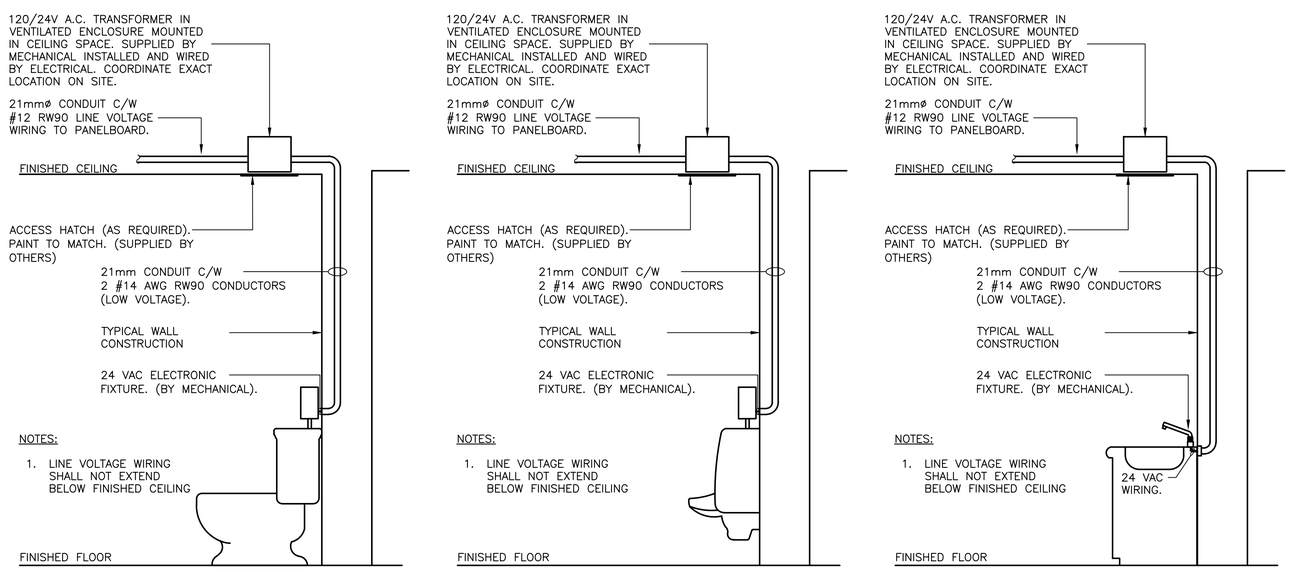
ADDITIONAL LOAD 4.86 KW 13.5 AMP

* – INDICATES LOCK–ON DEVICE
** – INDICATES GROUND FAULT CIRCUIT BREAKER
E – INDICATES EXISTING CIRCUIT RELOCATED FROM EXISTING PANEL "A". EXTEND WIRING & CONDUIT AS REQUIRED. COORDINATE ON SITE.
N – INDICATES NEW CIRCUIT IN EXISTING PANEL SUPPLY & INSTALL CIRCUIT BREAKER C/W MOUNTING HARDWARE, IC RATING MATCH. COORDINATE ON SITE.

LIGHTING FIXTURE SCHEDULE

SYMBOL	LIGHT SOURCE	MOUNTING	LAMPS	VOLTS	MANUFACTURER	CAT. NO.	REMARKS
A	LED	RECESSED	1 X 39W	347	LITHONIA	EPANL 2X4 4000LM 80CRI 35 MIN10 ZT 347	
B	LED	RECESSED	1 X 31W	347	LITHONIA	EPANL 2X2 4000LM 80CRI 35 MIN10 ZT 347	
X1	LED	UNIVERSAL	1 x 2 WATT	347	LUMACELL	LA1WU–SP–NBC2010	RUNNING MAN, SINGLE FACE
X2	LED	UNIVERSAL	2 x 2 WATT	347	LUMACELL	LA2WU–SP–NBC2010	RUNNING MAN, DOUBLE FACE

NOTES (LIGHTING FIXTURE SCHEDULE):
1. RECESSED FIXTURES INSTALLED IN FIRE RATED CEILINGS SHALL BE COMPLETE WITH A FIRE RATED METAL CAN OR GYPROC BOX TO MAINTAIN THE FIRE RATING INTEGRAL OF THE CEILING. COORDINATE WITH GENERAL CONTRACTOR.
2. ALL RECESSED LIGHTING FIXTURE LENSES SHALL BE ACRYLIC TYPE 19 PATTERN (0.156") UNLESS NOTED OTHERWISE.



TYPICAL ELECTRONIC PLUMBING FIXTURE WIRING DIAGRAMS
N.T.S

powers brown architecture

Architectural Consultant:
Powers Brown Architecture
354 Water St., Suite 212
St. John's, NL A1C 1C4
709.726.3941

www.powersbrown.com

PROJECT TITLE

WORKPLACENL
WASHROOMS PHASE II
148 FOREST ROAD,
ST. JOHN'S, NL, A1A 1E6

A PROJECT FOR

WORKPLACE NL

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Physical Address: 1243 Kenmount Road, Unit 102 Paradise, NL A1L 0V8
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PROJECT NO: 20-2825
DRAWN BY: SE
CHECKED BY: KN

SHEET TITLE

ELECTRICAL SCHEDULE & DETAILS

SEAL

REGISTERED PROFESSIONAL ENGINEER
PEGNL Newfoundland and Labrador
KENNETH R.P. NEIL
SIGNATURE
SEPT 17 20
DATE
NEWFOUNDLAND & LABRADOR

SHEET NUMBER

E5

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ELECTRICAL SPECIFICATION

GENERAL REQUIREMENTS
1. PROVIDE ALL MATERIALS, LABOUR, SCAFFOLDS, TOOLS & EQUIPMENT NECESSARY TO COMPLETE THE ELECTRICAL INSTALLATION & LEAVE ALL SYSTEMS READY FOR OPERATION.

2. DO THE COMPLETE INSTALLATION IN ACCORDANCE WITH THE REQUIREMENTS OF THE CANADIAN ELECTRICAL CODE C22.1–2018 & ALL LOCAL & PROVINCIAL CODES.

3. CLEAN ALL ELECTRICAL EQUIPMENT AFTER CONSTRUCTION INCLUDING LIGHTING, RECEPTACLES, SWITCHES AND FIRE ALARM DEVICES.

4. ALL MATERIALS SHALL BE NEW & CSA APPROVED. ANY PRODUCTS NOT CSA APPROVED TO BE PASSED BY INSPECTION AUTHORITY PRIOR TO ACCEPTANCE.

5. ALL ELECTRICAL INSTALLATIONS AND MATERIALS SHALL CONFORM TO CEC CODE JURISDICTION.

6. PROVIDE DEDICATED GROUNDING CONDUCTOR TO ALL ELECTRICAL INSTALLATIONS.

7. MAKE SPLICES IN LIGHTING & BRANCH CIRCUITS USING PRESSURE TYPE WIRE CONNECTORS.

8. THE CONTRACTOR SHALL GUARANTEE ALL NEW MATERIAL & WORKMANSHIP FOR A PERIOD OF 1 YEAR FROM DATE OF FINAL ACCEPTANCE BY OWNER.

9. SUBMIT TO ELECTRICAL INSPECTION AUTHORITY, A COPY OF PLANS FOR EXAMINATION AND APPROVAL. MAKE CHANGES AND ALTERATIONS AS REQUIRED BY THE INSPECTION AUTHORITY.

10. OBTAIN & PAY FOR ALL FEES & PERMITS REQUIRED BY ANY AUTHORITY HAVING JURISDICTION. SUBMIT DRAWINGS AND SPECIFICATION TO INSPECTION AUTHORITIES FOR EXAMINATION AND APPROVAL PRIOR TO COMMENCEMENT OF WORK.

11. CONDUCT AND PAY FOR TEST OF POWER DISTRIBUTION SYSTEMS, NEW CONTROL SYSTEMS, NEW LIGHTING AND NEW EMERGENCY AND EXIT LIGHTING SYSTEMS.

12. QUALIFIED TRADES PEOPLE SHALL BE USED FOR ALL DISCIPLINES OF THE ELECTRICAL WORK REQUIRED FOR THIS PROJECT.

13. PROTECT EXPOSED LIVE EQUIPMENT DURING CONSTRUCTION FOR PERSONNEL SAFETY. SHIELD AND MARK ALL LIVE PARTS "LIVE 120 VOLTS", OR WITH APPROPRIATE VOLTAGE. PROVIDE FOR INSTALLATION OF TEMPORARY DOORS FOR ROOMS CONTAINING EXPOSED ELECTRICAL EQUIPMENT IF REQUIRED BY ENGINEER OR INSPECTION AUTHORITY.

14. THE ENGINEER WILL PROVIDE THE CONTRACTOR WITH TWO EXTRA SETS OF WHITE PRINTS ON WHICH HE SHALL CLEARLY MARK IN RED INK, AS THE JOB PROGRESSES, ALL CHANGES AND DEVIATIONS FROM THAT SHOWN ON CONTRACT DRAWINGS. ON COMPLETION FORWARD TO THE ENGINEER THE TWO SETS OF DRAWINGS INDICATING ALL SUCH CHANGES AND DEVIATIONS.

15. CONTRACTOR TO SUBMIT TO ENGINEER TWO COMPLETE SETS OF MANUFACTURER'S OPERATING AND MAINTENANCE INSTRUCTIONS FOR ALL MAJOR ELECTRICAL EQUIPMENT. SUBMIT IN HARD COVER BINDERS. INCLUDE COMPLETE SET OF SHOP DRAWINGS,

16. CLEAN AND TOUCH UP SURFACES OF SHOP EQUIPMENT SCRATCHED OR MARRED DURING SHIPMENT OR INSTALLATION, TO MATCH ORIGINAL PAINT.

17. LUGS, TERMINALS, SCREWS USED FOR TERMINATION OF WIRING TO BE SUITABLE FOR COPPER CONDUCTORS.

18. PROVIDE WARNING SIGNS TO MEET REQUIREMENTS OF INSPECTION DEPARTMENT AND ENGINEER.

19. DISCONNECT SWITCHES SHALL BE HEAVY DUTY INDUSTRIAL GRADE.

20. MOUNTING HEIGHTS OF DEVICES ARE AS INDICATED IN LEGEND. IF MOUNTING HEIGHTS ARE NOT GIVEN, CONTACT ENGINEER PRIOR TO PROCEEDING WITH INSTALLATION.

21. SUBMIT SHOP DRAWINGS FOR:

a. LIGHTING FIXTURES
b. RECEPTACLES & SWITCHES
c. FIRE ALARM SYSTEM DEVICES
d. EXIT & EMERGENCY LIGHTING

23. SUBSTITUTION OF PRODUCTS AS EQUALS WILL BE CONSIDERED ONCE 3 COPIES OF MANUFACTURER'S DATA AND WORKING DRAWINGS HAVE BEEN SUBMITTED TO ENGINEER A MINIMUM OF 10 DAYS PRIOR TO TENDER CLOSING.

IDENTIFICATION AND LABELS
1. INSTALL LAMICOID NAMEPLATES ON ALL PANELBOARDS, JUNCTION BOXES, DISCONNECTS SPLITTERS AND TERMINAL CABINETS. INDICATE EQUIPMENT DESIGNATION, VOLTAGE, AND PHASE CHARACTERISTICS.

2. IDENTIFY ELECTRICAL EQUIPMENT WITH LAMACOID NAMEPLATES.
NAMEPLATE SIZES

SIZE 1	10 X 50 MM	1 LINE	3 MM HIGH LETTERS
SIZE 2	12 X 70 MM	1 LINE	5 MM HIGH LETTERS
SIZE 3	12 X 70 MM	2 LINES	3 MM HIGH LETTERS
SIZE 4	20 X 90 MM	1 LINE	8 MM HIGH LETTERS
SIZE 5	20 X 90 MM	2 LINES	5 MM HIGH LETTERS
SIZE 6	25 X 100 MM	1 LINE	12 MM HIGH LETTERS
SIZE 7	25 X 100 MM	2 LINES	6 MM HIGH LETTERS

3. LAMACOID TO BE 3MM THICK, BLACK WITH WHITE LETTERING AND A MATT FINISH, MECHANICALLY ATTACHED WITH MACHINE SCREWS OR RIVETS.

4. ALL DEVICE COVER PLATES SHALL BE LABELED WITH PANEL AND CIRCUIT NUMBERS OF THE DEVICE IDENTIFIED. LABELS ARE TO BE PERMANENT AND SELF LAMINATING. LABEL SHALL BE TRANSPARENT FIELD WITH BLACK LETTERING.

EXISTING CONDITIONS
1. BEFORE SUBMITTING A TENDER, EXAMINE THE SITE AND THE LOCAL CONDITIONS AFFECTING THE WORK UNDER THIS DIVISION AND VERIFY THAT THE WORK CAN BE SATISFACTORILY CARRIED OUT AS SHOWN ON THE PLANS WITHOUT CHANGES.
2. ADVISE THE ENGINEER AT LEAST SEVEN DAYS BEFORE TENDERS CLOSE OF ANY CONFLICT OR INTERFERENCE FAILURE TO DO SO IMPLIES ACCEPTANCE OF EXISTING CONDITIONS AND THAT ALL ALLOWANCES AS MAY BE NECESSARY TO COMPLETE THE WORK ARE INCLUDED IN THE TENDER.

CUTTING, PATCHING, SLEEVES AND HOLES
1. PERFORM ALL CUTTING REQUIRED. PATCHING AND PAINTING IN AREAS TO BE FINISHED TO BE PERFORMED BY OTHER TRADES, PROVIDED CUTTING IS PERFORMED IN ADVANCE OF FINISHING. COSTS FOR CUTTING PERFORMED AFTER COMPLETION OF FINISHING WORK TO BE THE RESPONSIBILITY OF THIS TRADE.
2. PENETRATIONS (NEW AND ABANDONED) OF FIRE WALLS OR SEPARATIONS ARE TO BE SEALED WITH AN APPROVED SYSTEM. ACCEPTABLE SYSTEMS ARE HILTI OR APPROVED ALTERNATIVE.
3. PRIOR TO CUTTING OR DRILLING INTO STRUCTURAL MEMBERS OBTAIN CONSULTANT APPROVAL.

CONDUIT, WIRE AND CABLE
1. ALL POWER WIRING TO BE COPPER RW90 XLPE CONDUCTORS, MINIMUM 600V RATING #12 AWG MINIMUM, #14 AWG FOR CONTROL ONLY. NO ALUMINUM CONDUCTORS ARE TO BE USED.
2. ALL CONCEALED WIRING IS TO BE INSTALLED IN EMT CONDUIT ABOVE GRADE AND PVC OUTSIDE OR BELOW GRADE OR AREAS LIMITED BY THE ELECTRICAL CODE.
3. PROVIDE MIN #12 ARMORED CABLE (BX) ONLY FOR FINAL CONNECTIONS TO LIGHT FIXTURES OR DEVICES. (LIMIT 2.0 METER LENGTH).
4. INSTALL NEW CONDUIT FOR ALL NEW OR RELOCATED INSTALLATIONS.
5. ALL CONDUITS ARE TO BE CONCEALED INSIDE WALLS OR IN THE CEILING SPACE EXCEPT FOR IN MECHANICAL AND ELECTRICAL ROOMS.
6. INSTALL CONDUIT PARALLEL TO BUILDING LINES. SECURELY FASTEN TO WALLS, UNDERSIDE OF FLOOR ABOVE OR OTHER STRUCTURAL MEMBERS. DO NOT SUPPORT FROM OTHER EQUIPMENT OR CEILING SUPPORT SYSTEMS.
7. MINIMUM CONDUIT SIZE 21MM (3/4" TRADE SIZE).
8. INSTALL A 5MM POLYPROPYLENE PULL ROPE IN ALL EMPTY CONDUITS.
9. PROVIDE PULL AND JUNCTION BOXES AT A MAXIMUM 30 METER SPACING.
10. WHERE CONDUITS ARE INSTALLED IN CONCRETE SLABS AND ACROSS STRUCTURAL EXPANSION JOINTS AN APPROVED EXPANSION FITTING COMPLETE WITH BONDING JUMPER AND CLAMPS SHALL BE INSTALLED.
11. SEAL ALL PIPING WHERE CONDENSATION MAY BUILD UP FROM TEMPERATURE CHANGE. SEAL SHALL BE COMPATIBLE WITH THE PIPING AND WIRING AND MAY BE REQUIRED TO MEET FIRE STANDARDS WHEN PASSING THROUGH FIRE SEPARATIONS OR WALLS.
12. CONDUITS, CABLES, RACEWAYS OR WIRES ARE NOT TO BE USED AS A SUPPORT FOR OTHER ELECTRICAL OR NON ELECTRICAL EQUIPMENT.
13. CONDUITS TO BE PROVIDED WITH INSULATED THROAT CONNECTORS
14. COLOUR CODING OF NON–PHASE WIRES SHALL BE AS FOLLOWS:
· BONDING AND GROUND WIRES: GREEN
· SWITCH RETURNS ON LIGHTING CIRCUITS: ORANGE
· TRAVELLERS ON 3–WAY AND 4–WAY LIGHTING CIRCUITS: YELLOW
· FIRE ALARM CIRCUITS: RED AND BLACK

LIGHTING
1. PROVIDE ALL LIGHTING FIXTURES AS SCHEDULED.

EXIT/EMERGENCY LIGHTING
1. EMERGENCY LIGHTING BATTERY UNIT TO BE C/W THE FOLLOWING:
– NO CHARGE REPLACEMENT WARRANTY DURING FIRST 5 YEARS AND A PRO–RATED CHARGE ON THE SECOND 5 YEARS.
– OPERATING TIME 90 MINUTES MINIMUM.
– SUPPLY VOLTAGE 347 VOLTS AC.
– OUTPUT VOLTAGE 12 VOLTS DC.
– TEST SWITCH.
– AC INPUT AND DC OUTPUT TERMINAL BLOCKS INSIDE CABINET.
– CORD AND SINGLE TWIST LOCK PLUG CONNECTION FOR AC.
– BATTERY DISCONNECT SWITCH.
– REMOTE HEADS TO BE LUMACELL 4 WATT, 12 VOLT LED,
– EQUAL TO LUMACELL RG12S144–2LD7 SERIES.
2. EXIT SIGNS SHALL BE CSAC860 CERTIFIED AND NRCAN REGISTERED. LUMACELL LA1WU–SP–NBC2010 SERIES (RUNNING MAN) OR APPROVED EQUAL. SEE LIGHTING FIXTURE SCHEDULE.

GROUNDING
1. ALL METAL PARTS OF NON ELECTRICAL EQUIPMENT OR SYSTEMS ARE TO BE BONDED TO GROUND WITH A COPPER CONDUCTOR.
2. PROVIDE COPPER INSULATED GREEN BONDING CONDUCTORS, IN ALL POWER CONDUITS, SIZED TO TABLE 16 OF THE LATEST EDITION OF THE CANADIAN ELECTRICAL CODE, UNLESS INDICATED OTHERWISE, #12 AWG MINIMUM.

BRANCH CIRCUITS
1. OBTAIN NEW CIRCUITS FROM EXISTING OR NEW LIGHTING AND POWER PANEL BOARDS OR AS NOTED ON THE DRAWINGS.
2. PROVIDE ALL NECESSARY CIRCUIT BREAKERS, MOUNTING ACCESSORIES, TRIM AND FILLER PLATES TO SUIT.
3. SHORT CIRCUIT CURRENT RATINGS TO MATCH EXISTING. COORDINATE ON SITE.

LOCATION OF OUTLETS
1. CHANGE LOCATION OF OUTLETS AT NO EXTRA COST OR CREDIT, PROVIDING DISTANCE DOES NOT EXCEED 3 METERS, AND INFORMATION IS GIVEN BEFORE INSTALLATION.
2. VERIFY MILLWORK OR FURNITURE DIMENSIONS AND LOCATIONS PRIOR TO INSTALLING OUTLETS. DO NOT INSTALL OUTLETS BEHIND FIXED OR NOT READILY MOVABLE FURNITURE.
3. LOCATE LIGHT SWITCHES ON LATCH SIDE OF DOORS.
4. MOUNTING HEIGHT OF EQUIPMENT IS FROM FINISHED FLOOR TO CENTERLINE OF EQUIPMENT UNLESS SPECIFIED OR INDICATED OTHERWISE. VERIFY BEFORE PROCEEDING WITH INSTALLATION.
5. USE ESTABLISHED DEVICE HEIGHTS AND ORIENTATION IN EXISTING BUILDINGS. MOUNT DEVICES VERTICALLY WHERE PRACTICAL. INSTALL ELECTRICAL EQUIPMENT AT FOLLOWING HEIGHTS UNLESS INDICATED OTHERWISE.
· LOCAL SWITCHES: 1200 MM.
· WALL RECEPTACLES, TELEPHONE AND DATA:
· GENERAL: 400 MM.
· ABOVE TOP OF CONTINUOUS BASEBOARD HEATERS 200MM.
· ABOVE TOP OF COUNTERS OR COUNTER SPLASH BACKS: 175MM OR 1000MM FROM FLOOR.
· IN MECHANICAL ROOMS: 1200MM.
· FIRE ALARM PULL STATIONS: 1200MM.
· FIRE ALARM END OF LINE RESISTORS: 1500MM OR WITHIN 100MM OF DEVICE.
· FIRE ALARM AUDIBLE AND SIGNAL DEVICES: WHERE CEILINGS ALLOW 2400MM, MIN 150MM BELOW FINISHED CEILINGS TO TOP EDGE OF DEVICE.
· WALL MOUNTED EXIT SIGNS: 2400MM OR 50MM MIN CLEAR SPACE BETWEEN SIGN AND TOP OF DOOR FRAME OR PROTRUSION.
· FIRE DETECTORS MINIMUM 450MM SPACING FROM OBSTRUCTIONS AND AIR SUPPLY OR EXHAUST OUTLETS AND NOT INSTALLED IN A DIRECT AIR FLOW.
· EMERGENCY LIGHTING UNITS
· BATTERY PACKS: 2400MM. SOLID BACKING REQUIRED. RECEPTACLES FOR BATTERY PACKS SHALL NOT BE LESS THAN 2400 WHERE PRACTICAL.
· LIGHTING HEADS: 150MM BELOW FINISHED CEILING TO A MAXIMUM OF 3000MM.
· ALL DEVICES AFTER INSTALLED SHALL HAVE A MIN 50MM OF CLEAR SPACE FROM TRIMS, FRAMES, COUNTERS AND SPLASHES.
· CONFIRM PRIOR TO INSTALLATION ANY ELEVATIONS WHICH MAY CONFLICT WITH OTHER BUILDING SYSTEMS, I.E. CONCRETE BLOCK DIMENSION.
6. OUTLET AND CONDUIT BOXES GENERAL
– SIZE BOXES IN ACCORDANCE WITH CSA C22.1–2018.
– 102 MM SQUARE OR LARGER OUTLET BOXES AS REQUIRED FOR SPECIAL DEVICES.

TESTING, ACCEPTANCE AND GUARANTEE
THE WORK OF THIS CONTRACTOR SHALL BE TESTED AND INSTALLED AND ANY DEVICES NOT OPERATIONAL SHALL BE REMEDIED IMMEDIATELY. TESTS REQUIRED BY LOCAL AUTHORITIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. WHEN THE WORK IS COMPLETED, IT SHALL BE TESTED IN ITS ENTIRETY, AND SHALL BE IN GOOD WORKING ORDER BEFORE THE OWNER'S CERTIFICATE OF ACCEPTANCE SHALL BE ISSUED.

A WRITTEN GUARANTEE SHALL BE SUPPLIED TO THE OWNER BY THE CONTRACTOR COVERING THE PROMPT MAKING GOOD OF ANY AND ALL DEFECTS IN MATERIAL AND WORKMANSHIP FOR THE PERIOD OF ONE (1) YEAR FROM THE DATE OF ACCEPTANCE AND THE MAKING GOOD OF ANY SUCH DEFECTS SHALL BE COMPLETELY THE RESPONSIBILITY OF THE CONTRACTOR.

THE CONTRACTOR WILL BE RESPONSIBLE FOR THE SUPPLY OF SUFFICIENT POWER ON A TEMPORARY BASIS TO ALLOW TESTING OF ALL EQUIPMENT AND SYSTEMS. THESE WILL BE TESTED IN THE PRESENCE OF THE ENGINEER.

FURNISH MANUFACTURER'S CERTIFICATE OR LETTER CONFIRMING THAT ENTIRE INSTALLATION AS IT PERTAINS TO EACH SYSTEM HAS BEEN INSTALLED TO MANUFACTURER'S INSTRUCTIONS.

2. INSULATION RESISTANCE TESTING.
– MEGGER CIRCUITS, FEEDERS AND EQUIPMENT UP TO 350 V WITH A 500 V INSTRUMENT.
– MEGGER 350–600 V CIRCUITS, FEEDERS AND EQUIPMENT WITH A 1000 V INSTRUMENT.
– CHECK RESISTANCE TO GROUND BEFORE ENERGIZING.
– CARRY OUT TESTS IN PRESENCE OF ENGINEER.
– PROVIDE INSTRUMENTS, METERS, EQUIPMENT AND PERSONNEL REQUIRED TO CONDUCT TESTS DURING AND AT CONCLUSION OF PROJECT.
– SUBMIT TEST RESULTS FOR ENGINEER'S REVIEW.

ANCHORS SUPPORTS AND BACKING
1. OUTLET BOXES AND CONDUIT STRAPS
· #10 SHEET METAL SCREW WHEN ATTACHING TO METAL STUDS.
· #10 WOOD SCREW FOR ATTACHMENT TO WOOD SURFACES, SCREW TO EXTEND AT LEAST 1 ¼" INTO SOLID WOOD.
· EZ ANCHORS MAY BE USED ON FINISHED DRYWALL WALL SURFACES
· 1.5" LEAD WALL ANCHORS WITH MIN #10 X 1.5 SCREW MAY BE USED IN CONCRETE OR MASONRY SURFACES.
2. EPOXY INJECTED ANCHORING SYSTEM, HILTI HIT OR APPROVED EQUAL FOR SECURING EQUIPMENT. TAPCON SCREWS ARE NOT ACCEPTABLE.
3. SURFACE LIGHT FIXTURES ARE TO BE INSTALLED WITH MIN 4–#10 SCREWS 1.25" INTO SOLID WOOD OR METAL. ANCHOR IN ALL 4 CORNERS OF THE FIXTURE.
4. FIXTURES AND BACKING INSTALLED IN T–BAR CEILING SYSTEM SHALL ALLOW FOR TILE REPLACEMENT WITHOUT REMOVAL OF THE FIXTURE.
5. FIXTURES INSTALLED IN T–BAR CEILING SYSTEMS SHALL BE INDEPENDENTLY SUPPORTED, ON EACH END OF THE FIXTURE, FROM THE CEILING SYSTEM. SUPPORT SHALL BE FIXTURE CHAIN OF ADEQUATE SIZE TO CARRY THE WEIGHT OF THE LOAD. TIE WIRE IS NOT ACCEPTABLE.
6. SOLID BACKING TO BE INSTALLED TO SUPPORT ELECTRICAL EQUIPMENT BEING MOUNTED.
7. ALTERNATE ANCHOR SYSTEMS MUST BE PREAPPROVED BY CONSULTANT PRIOR TO USE.

DEVICES AND PLATES
1. ALL DEVICES TO BE OF ONE MANUFACTURER THROUGHOUT. HEAVY DUTY SPECIFICATION GRADE, DECORA SERIES. COLOR WHITE.
2. COVER PLATES TO BE STAINLESS STEEL. COORDINATE ON SITE.
3. COORDINATE THE ROUGH–IN LOCATION OF ALL OUTLETS WITH ARCHITECTURAL, STRUCTURAL AND MECHANICAL DRAWINGS. ENSURE COMPATIBILITY WITH FINISHED ACCESSORIES AND DEVICES BY OTHERS.
4. EXTENDING RINGS ARE TO HAVE SQUARE CORNERS WHERE INSTALLED IN WALL BOARD OR DRYWALL. PLASTER EXTENSION RINGS ARE TO BE USED WHEN INSTALLED WHEN MASONRY OR PLASTER FINISHES ARE USED.
5. PLASTIC OR PVC COVER PLATES MAY ONLY BE USED WHERE EXPOSED TO WEATHER OR IN AREAS WHERE THE ELEMENTS WARRANT NON METALLIC.
6. OUTLETS MOUNTED ON 4" OR 4 11/16" SURFACE BOXES SHALL HAVE RAISED COVER PLATES.
7. NO DEVICES TO BE INSTALLED IN OCTAGON BOXES COVER PLATES.
8. WIRE ATTACHMENT TO DEVICES SHALL BE TERMINATED ON A SCREW TERMINAL. PUSH IN CONNECTION TO DEVICES IS NOT ACCEPTABLE.

MATERIAL SPECIFIED
1. MANUFACTURER'S NAME WITH CLAUSE "OR APPROVED EQUAL". THE TENDER PRICE SHALL BE BASED ON THE NAMED MATERIAL. WHERE SUBSTITUTIONS ARE TO BE PROPOSED FOR MATERIALS BEARING THE CLAUSE "OR APPROVED EQUAL", APPROVAL OF THE SUBSTITUTE ITEM MUST BE OBTAINED FROM THE ENGINEER AT LEAST SEVEN DAYS PRIOR TO THE CLOSING DATE OF THE TENDER. THE PROPOSED SUBSTITUTION SHALL SHOW PRODUCT NAME AND COMPLETE SPECIFICATION AND BE EQUAL TO, OR BETTER THAN THE NAMED ITEM. NO INCREASE IN THE TENDER PRICE SHALL BE MADE FOR SUCH A SUBSTITUTION SHOULD IT BE ACCEPTED. ACCEPTED EQUALS WILL BE LISTED IN AN ADDENDUM FIVE DAYS PRIOR TO THE TRADE CLOSING DATE.

WHERE ADDITIONAL MANUFACTURERS ARE NAMED UNDER ARTICLES ENTITLED""APPROVED MANUFACTURERS", THE CHOICE OF WHICH OF THE MANUFACTURERS NAMED IN REFERENCE TO A PARTICULAR ARTICLE IS TO BE USED, SHALL BE THE CONTRACTORS.

WHERE APPROVALS ARE GRANTED FOR THE USE OF OTHER EQUIPMENT ANY AND ALL CHANGES OR ADDITIONS REQUIRED FOR THE INSTALLATION OR OPERATION OF THE APPROVED EQUIPMENT WILL BE MADE BY THE CONTRACTOR AT HIS OWN EXPENSE AND NO CLAIMS WILL BE APPROVED FOR ANY SUCH CHANGES, NOTWITHSTANDING APPROVAL OF SHOP DRAWINGS. EQUIPMENT THAT IS ACCEPTED AND INSTALLED AND THEN DOES NOT PERFORM AS REPRESENTED BY ORIGINAL SUBMITTED DATA SHALL BE REPLACED BY THE CONTRACTOR WITH EQUIPMENT AS SPECIFIED, AT NO CHARGE TO THE OWNER.

powers brown architecture

Architectural Consultant:
Powers Brown Architecture
354 Water St., Suite 212
St. John's, NL A1C 1C4
709.726.3941

www.powersbrown.com

PROJECT TITLE

WORKPLACENL
WASHROOMS PHASE II
148 FOREST ROAD,
ST. JOHN'S, NL, A1A 1E6

A PROJECT FOR

WORKPLACE NL

GENERAL NOTES

1.) DO NOT SCALE FROM THIS DRAWING.

2.) CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE BEFORE PROCEEDING WITH THIS WORK.

3.) ALL WORK TO BE IN ACCORDANCE WITH THE LATEST REQUIREMENTS OF: THE NATIONAL BUILDING CODE OF CANADA, LATEST EDITION; CANADIAN ELECTRICAL CODE, CURRENT EDITION; ANY OTHER AUTHORITIES HAVING JURISDICTION.

4.) THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS ISSUED FOR CONSTRUCTION AND STAMPED AND SIGNED BY THE PROJECT ENGINEER.

ELECTRICAL/MECHANICAL CONSULTANT:

CROSBIE ENGINEERING LTD.
CONSULTING ENGINEERS
Physical Address: 1243 Kenmount Road, Unit 102 Paradise, NL A1L 0V8
Mailing Address: P.O. Box 13295, Station "A" St. John's, NL A1B 4A5
Tel: (709) 754–1911, 754–1914
e–mail: admin@crosbieeng.com

PERMIT:

PROVINCE OF NEWFOUNDLAND
PERMIT HOLDER
Class "A"
This Permit Allows
CROSBIE ENGINEERING LIMITED
To practice Professional Engineering in Newfoundland and Labrador
Permit No. as issued by PEG–NL D0123
which is valid for the year 2020.

△	DATE	REVISION
A	2020-08-28	ISSUED FOR REVIEW
0	2020-09-17	ISSUED FOR TENDER

PROJECT NO: 20-2825
DRAWN BY: SE
CHECKED BY: KN

SHEET TITLE

ELECTRICAL SPECIFICATION

SEAL

REGISTERED PROFESSIONAL ENGINEER
PEGL Newfoundland & Labrador
KENNETH R.P. NEIL
SIGNATURE
SEPT.17.20
DATE
NEWFOUNDLAND & LABRADOR

SHEET NUMBER

E6

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WorkplaceNL
2020-18-T
2nd Floor Bathroom and Kitchenette Renovations

APPENDIX "B"

Check List

Check Box to be completed and included with submission

Tender documents are completely read and understood	**YES ☐**	**NO ☐**
All addenda (if applicable) are completely read and understood	**YES ☐**	**NO ☐**
COR "letter of good standing" to be included in the submission (1.4.3)	**YES ☐**	**NO ☐**
Mandatory Site visit completed (2.1)	**YES ☐**	**NO ☐**
Written Statement of Company History included in the submission (2.10.4)	**YES ☐**	**NO ☐**
List of references included in the submission (2.10.6)	**YES ☐**	**NO ☐**
Warranty Information on all Goods and Services (2.10.8)	**YES ☐**	**NO ☐**
Checklist completed (Appendix "B")	**YES ☐**	**NO ☐**
Bid form signed and completed as required in the submission (Appendix "C")	**YES ☐**	**NO ☐**

The Successful Bidder must provide the following within fourteen (14) days of award:

- A list of employees, officers, associates and approved sub-contractor assigned to perform the services, including their job titles and qualifications as per Article 3 of WorkplaceNL Standard Terms and Conditions;
- Certificates of insurance as per Article 14 of WorkplaceNL Standard Terms and Conditions;
- Criminal Records Screening Certificate which is acceptable to WorkplaceNL as per Section 1.3.7.3 of this Tender;
- Safety Policy Manual as per Section 1.4.2 of this Tender;
- Performance Bond as per Section 1.5 of this Tender;
- Proof of bonded employees and Dishonesty coverage as per Section 2.10.7 of this Tender;
- Payment schedule as per Section 3.2 of this Tender;
- Declarations of Confidentiality/Conflict of Interest signed by everyone who will perform services under the agreement as per Article 9 of WorkplaceNL Standard Terms and Conditions; and
- Initialed WorkplaceNL Standard Terms and Conditions.

WorkplaceNL
2020-18-T
2nd Floor Bathroom and Kitchenette Renovations

APPENDIX "C"

Bid Form

Name of Bidder: _____

Address: _____

Telephone No.: _____ **Fax No.:** _____

E-mail address: _____

Dated at: _____ **this** _____ **day of** _____ **2020**

_____ _____
Authorized Signature **Witness Signature**

_____ _____
Authorized Name (Printed) **Witness Name (Printed)**

HST No.: _____

Total Dollars Per Year ($) in Canadian Funds, **EXCLUDING** HST.

Direct Deposit **Agree**_____

Electronic Invoicing **Agree**_____

Price Protection Period for 90 days **Agree**_____

I hereby acknowledge that I have read and understand any and all addenda **Agree**_____

APPENDIX "D"

Form of Performance Bond

No. _____ **Fifty (50) % of Contract Price**

KNOW ALL MEN BY THESE PRESENTS THAT

_____, hereinafter called "**PRINCIPAL**" and _____ a corporations created and existing under the laws of _____ and duly authorized to transact the business of Surety ship in _____, hereinafter called "**SURETY**", are held and firmly bound unto Workplace Health, Safety and Compensation Commission, Hereinafter canned "**OB LIGEE**", in the amount of **50% of Contract Price** lawful money of Canada, for the payment of which sum, well and truly to be made, PRINCIPAL and **SURETY**, jointly and severally, bind themselves and each of them and their and each of their heirs, executors, administrators, successors and assigns firmly by these presents.

WHEREAS, PRINCIPAL has submitted a written Agreement to **OBLIGEE**, dated the _____ day of _____, which is by reference made part hereof and hereinafter referred to as the Agreement.

NOW, THEREFORE, THE CONDITION OF THE OBLIGATION is such that if **PRINCIPAL** shall promptly and faithfully perform the Agreement then this obligation shall be null and void; otherwise it shall remain in full force and effect.

Whenever **PRINCIPAL** shall be, and declared by **OBLIGEE** to be, in default under the Contract, **OBLIGEE** having performed **OBLIGEE's** obligations up to the time of default thereunder, **SURETY** may promptly remedy the default of shall promptly:

a. Complete the Agreement in accordance with its terms and conditions; or

b. Obtain a bid or bids for submission to **OBLIGEE** for completing the Agreement in accordance with its terms and conditions, and upon determination by **OBLIGEE** and **SURETY** of the lowest responsible bidder, arrange for an Agreement between such bidder and **OBLIGEE** and make available as work progresses (even though there should be a default, or a succession of defaults, under the Agreement or Agreement of completion, arranged under this paragraph) sufficient funds to pay for the cost of completion less the balance of the Agreement price; but not exceeding, including other costs and damages for which **SURETY** may be liable hereunder, the amount herein before set forth. The term "balance of Agreement price", as used in this paragraph, shall mean the total amount payable by **OBLIGEE** to **PRINCIPAL** under the Agreement, less the amount properly paid by **OBLIGEE** to **PRINCIPAL**.

Any suit under this Bond must be instituted before the expiration of two (2) years from the date on which final payment under the Agreement is due.

SURETY shall not be liable for a greater sum than the specified amount of this Bond.

No right of action shall accrue on this Bond to, or for the use of, any person or corporation other than **OBLIGEE** named herein, or the heirs, executors, administrators, or successors of **OBLIGEE**.

PROVIDED, HOWEVER, that no variation or alteration which may be made in the Agreement, or in the extent, nature, or method of performance of the Services to be performed thereunder, and no extension of time given by **OBLIGEE** for the performance of the Agreement, nor any waiver, forbearance or forgiveness on the part of either **PRINCIPAL** or **OBLIGEE** to the other shall in any way release **PRINCIPAL** and **SURETY,** or either or them, or their heirs, executors, administrators, successors and assigns from their liability hereunder, notice to **SURETY** of such variation, alteration, extension, waiver, forbearance or forgiveness being hereby expressly waived.

AND IT IS HEREBY DECLARED AND AGREED that **SURETY** shall be liable under this obligation as fully as if it were **PRINCIPAL** and that nothing of any kind or nature whatsoever that will not discharge **PRINCIPAL** shall operate as a discharge or a release of liability to **SURETY**, any law, rule or usage relating to the liability of sureties to the contrary notwithstanding.

IN TESTIMONY, WHEREOF, PRINCIPAL has hereto set its hand and affixed its seal and **SURETY** has caused its corporate seal to be affixed hereto, in accordance with its regulations and in the presence of its duly authorized officers this _____ day of _____, 20___.

THE COMMON SEAL of PRINCIPAL
was hereon affixed in the presence of:

_____ _____(seal)
Witness **Principal**

THE COMMON SEAL of SURETY
was hereon affixed in the presence of:

_____ _____(seal)
Witness **Surety**

APPENDIX "E"

Electronic Bid Submission Instructions

1. In order to be accepted electronically, Bids shall be submitted through WorkplaceNL's posting on www.merx.com.

2. Bidders shall create a Supplier Account and be registered for this bid opportunity on www.merx.com. This will enable the Bidder to download the bid opportunity, to receive addenda/addendum email notifications, download addenda/addendum, and to submit their bid electronically through the MERX website.

3. Bidders are reminded that the timing of the Bid is based on when the Bid is **received** by the bidding system, **not** when the Bid is submitted by a Bidder, as bid transmission can be delayed by "Internet Traffic" for any number of reasons. WorkplaceNL recommends Bidders allow for ample time to provide for uploaded Bids to be received prior to the Bid Closing Time. Received Bids after the closing time as specified in this document will not be accepted.

4. It is the responsibility of the Bidder to ensure that the Bid is delivered on time. Once registered, MERX will send a confirmation email to the Bidder if their Bid was submitted successfully. If a confirmation has not been received by the Bidder it is assumed the submission was not uploaded correctly and it is the responsibility of the Bidder either to reload the Bid documents or to contact MERX to resolve any issues as it pertains to their Bid.

5. To ensure receipt of the latest information and updates via email regarding this opportunity the onus is on the Bidder to register with MERX creating a supplier account and sign up for notices for this opportunity.

6. Clarifications and questions received for this opportunity electronically can be submitted via the opportunity listing on www.merx.com. Questions can be submitted, and confirmation will be received to the inquiry and responses will be answered on an individual basis or collectively at the discretion of WorkplaceNL.

APPENDIX "F"

Standard Terms and Conditions

WorkplaceNL
Health | Safety | Compensation

STANDARD TERMS AND CONDITIONS

1. Agreement - This Agreement includes the following documents and any conflict between the documents shall be resolved by giving priority to the documents in the order as they appear:

(a) executed agreement between WorkplaceNL and the Contractor to which this document is appended (if applicable);
(b) WorkplaceNL Confidentiality Schedule (if applicable);
(c) WorkplaceNL Standard Terms and Conditions;
(d) Declaration(s) of Confidentiality/Conflict of Interest;
(e) procurement documents (including purchase orders) issued by WorkplaceNL; and
(f) Contractor's bid, proposal or quote.

This Agreement constitutes the whole agreement of the parties relative to the purchase of Services from the Contractor by WorkplaceNL and supersedes all prior negotiations, representations, or agreements, either written or oral.

2. Services – Services means all goods, materials and/or services required under this Agreement.

The Contractor shall provide the Services. WorkplaceNL is responsible for the evaluation of the scope and suitability of the Services provided by the Contractor.

3. Independent Contractor Status - The Contractor is an independent contractor as to all Services. Neither the Contractor, its employees, officers, associates nor approved subcontractors, if any, are to be construed as constituting employees, agents, or representatives of WorkplaceNL. As an independent contractor, the Contractor assumes all legal and contractual obligations arising out of the performance of the Services.

The Contractor shall not enter into any contract or commitment in the name of or on behalf of WorkplaceNL, or bind WorkplaceNL in any respect or make statements or representations of any kind or take any other actions that would be binding on WorkplaceNL except as specifically provided in this Agreement.

The Contractor shall be fully responsible for any and all employee benefits to be provided to the Contractor's employees. Neither the Contractor nor its employees, officers, associates or approved subcontractors shall be entitled to participate in or receive any benefits whatsoever from WorkplaceNL as a result of performing Services. The Contractor is solely responsible for deducting the appropriate withholdings from the Contractor and its employees' pay cheques and for the remittance of such withholdings to the appropriate regulatory body as required by law.

Prior to commencing provision of Services the Contractor shall provide to WorkplaceNL a list of employees, officers, associates and approved sub-contractors assigned to perform the Services including their job titles and qualifications for the provision of Services. The employees, officers, associates and sub-contractors assigned to perform Services shall not change except with prior written consent of WorkplaceNL.

WorkplaceNL may, in its sole discretion, request that any employee, officer, associate or approved sub-contractor of the Contractor be prohibited from the performance of Service and/or from access to any files and/or to WorkplaceNL's premises, and the Contractor shall immediately comply with this request. The Contractor hereby releases and forever discharges and holds harmless WorkplaceNL from any costs, claims, losses, and damages of any kind whatsoever based on negligence, defamation, wrongful discharge/dismissal or otherwise which Contractor may suffer, sustain, pay or incur as a result of any actions under this paragraph and will indemnify, defend and hold harmless WorkplaceNL against any third party claims based on actions hereunder.

4. Sub-Contractor - Without the prior written consent of WorkplaceNL, the Contractor shall not subcontract any part of the Services, assign or transfer any interest, or delegate any responsibility arising out of this Agreement, to anyone other than the approved employees, officers, associates, or subcontractors of the Contractor in accordance with the provisions of this Agreement. Prior to approval of a sub-contractor, the Contractor must establish to the satisfaction of WorkplaceNL, that the sub-contractor also meets the requirements of this Agreement.

5. Payment - Provided the Contractor has complied with all terms, conditions and provisions of this Agreement, WorkplaceNL shall make payments to the Contractor of those fees as set forth in this Agreement, following appropriate invoicing by the Contractor. WorkplaceNL shall not be liable to the Contractor for any other costs or expenses, unless such costs or expenses are approved in advance and in writing by WorkplaceNL, or are specifically set out in this Agreement. The Contractor shall submit expense claims in a format acceptable to WorkplaceNL.

WorkplaceNL shall effect payment of invoices within thirty (30) days of receipt of an acceptable invoice by WorkplaceNL provided that the amounts so billed are correct and properly payable under this Agreement. All invoices shall include the Contractor's registration number for Harmonized Sales Tax (HST) and shall separately identify the amounts of such tax. Payment of invoices may be delayed through failure of the Contractor to identify the registration number and the amount of HST. The Contractor shall maintain records sufficient to verify invoices submitted to WorkplaceNL and WorkplaceNL shall not be responsible for reconciliation and/or review of incorrect bookkeeping by the Contractor.

WorkplaceNL will not pay interest on late or overdue accounts.

Payment for Services shall be made by direct deposit. The Contractor shall supply the necessary banking information to WorkplaceNL within 7 (seven) working days of awarding the contract.

Purchase orders and notices of payments will be forwarded to the Contractor from WorkplaceNL. The Contractor shall supply facsimile information to WorkplaceNL within seven (7) working days of awarding the contract.

Services which have been performed prior to the issuance of a purchase order shall not be invoiced to WorkplaceNL. Only Services rendered within the date range delineated on the purchase order will be paid by WorkplaceNL.

The Contractor shall only submit an invoice for payment once. If the Contractor has not received payment for an invoice, the Contractor may contact the Accounts Payable Department of WorkplaceNL but it shall not resubmit the invoice unless expressly requested by WorkplaceNL. If the Contractor sends a Statement of Account, it shall be clearly marked "Statement of Account" at the top of the page.

6. Set-Off - At its sole option and without notice to the Contractor, WorkplaceNL shall have the right to set-off any amount due to WorkplaceNL by the Contractor under this Agreement or otherwise against any amount due and owing by WorkplaceNL to the Contractor under this Agreement.

7. Non-exclusive - This Agreement does not create an exclusive relationship between the Contractor and WorkplaceNL. WorkplaceNL may also, at any time retain other contractors to perform work in relation to the Services or any changes or additions to such Services. The Contractor is free to, and it is anticipated that the Contractor will, engage with other clientele in addition to its engagement herein with WorkplaceNL.

8. Conflict of Interest – The Contractor shall not provide Services if the Contractor is in a conflict of interest. The Contractor shall not permit any actual, possible or perceived conflict of interest between the interest of WorkplaceNL and/or its clients and the interest of the Contractor. The Contractor shall immediately disclose any such conflict of interest to WorkplaceNL in writing. WorkplaceNL shall, in its sole discretion, determine if an actual, possible or perceived conflict of interest exists and determine the appropriate course of action to be taken by WorkplaceNL and/or the

Contractor Initials:_____

Contractor. WorkplaceNL's decision in this regard shall be final and conclusive.

The Contractor:
(a) shall conduct all duties related to this Agreement with impartiality;
(b) shall not influence, seek to influence, or otherwise take part in a decision of WorkplaceNL and/or WorkplaceNL's client, knowing that the decision might further its private interests;
(c) shall not accept any communication, discount, allowance, payment, gift, or other benefit that is connected, directly or indirectly, with the performance of any Services, that causes, or would appear to cause, a conflict of interest; and
(d) shall have no financial interest in the business of a third party that causes, or would appear to cause, a conflict of interest in connection with the performance of any Services.

9. Confidentiality - All data and information of or concerning WorkplaceNL, WorkplaceNL clients, or of third parties to whom WorkplaceNL owes a duty of confidence, obtained by the Contractor, its employees, officers, associates, and/or approved sub-contractors, is:
(a) to be treated as confidential;
(b) to be used only to supply or perform Services to WorkplaceNL pursuant to this Agreement;
(c) not to be reproduced or disclosed to anyone other than WorkplaceNL personnel as required in the performance of this Agreement;
(d) not to be removed from the offices of WorkplaceNL without prior written consent of WorkplaceNL;
(e) to be delivered to WorkplaceNL without cost forthwith upon demand, including all copies and records of same; and
(f) to be protected by making reasonable security arrangements against such risks as unauthorized access, collection, use, disclosure, disposal, and disaster.

Nothing in the Agreement will prohibit or limit either Party's use or disclosure of information (including, but not limited to, ideas, concepts, knowledge, techniques, and methodologies) which is:
(a) previously known to it without an obligation of confidence;
(b) independently developed by or for it;
(c) acquired by it from a third party which is not under an obligation of confidence with respect to such information; or
(d) required by law. In the case of a disclosure required by law, the Contractor shall notify WorkplaceNL in writing prior to the disclosure to provide an opportunity to restrain the disclosure.

The Contractor will notify WorkplaceNL both verbally and in writing in the event of any unauthorized access to or disclosure of data or information.

The Contractor acknowledges that WorkplaceNL is bound by the terms of the *Workplace Health, Safety and Compensation Act*, RSNL 1990, c. W-11, as amended (the "Act"), the *Access to Information and Protection of Privacy Act*, 2015, SNL 2015, c. A-1.2, as amended ("ATIPPA"), the *Management of Information Act,* SNL 2005, c. M-1.01, as amended, the *Privacy Act,* RSNL 1990, c. P-22, as amended, and the *Personal Health Information Act*, SNL 2008, c. P-7.01, as amended, and agrees to abide strictly by the terms of these and any other applicable laws and professional standards respecting the collection, use and disclosure of data or information that the Contractor, its employees, officers, associates, and/or approved sub-contractors, could become exposed to directly or indirectly during the performance of Services. WorkplaceNL may be compelled to disclose data or information pursuant to ATIPPA.

The Contractor shall observe all requirements, standards and protocols of WorkplaceNL, relating to confidentiality, conflict of interest, and collection, storage, transfer, copying, modification, use, disclosure and disposition of information. The Contractor shall comply with the provisions of the attached "Declaration of Confidentiality/Conflict of Interest" and shall provide to WorkplaceNL executed copies of the said Declaration of Confidentiality/Conflict of Interest by the Contractor and all of the Contractor's employees, officers, associates, and/or approved sub-contractors who will perform Services under the Agreement prior to the provision of Services.

Without limiting the generality of the foregoing, the Contractor acknowledges that WorkplaceNL shall have the right to obtain injunctive relief for violation of the terms of the clause. All those carrying out this Agreement on the Contractor's behalf are subject to this Agreement and may be liable to suit by WorkplaceNL for breaching this clause.

When deemed appropriate by WorkplaceNL, in its sole discretion, WorkplaceNL may also require the Contractor and its employees, officers, associates, and/or approved sub-contractors to comply with the WorkplaceNL Confidentiality Schedule. The Contractor must initial the WorkplaceNL Confidentiality Schedule which will form part and parcel of this Agreement.

10. Ownership of Information - All materials, data, designs, plans, drawings, specifications, research, reports, notes, estimates, summaries, calculations, surveys, papers, completed work, and work in progress and such other information and materials or parts thereof as are compiled, drawn and produced by the Contractor in performing the Services, including without limitation computer printouts and computer models and all copyrights thereto and all patents, trademarks and industrial designs arising therefrom are the sole and exclusive property of WorkplaceNL and the contents thereof are privileged and confidential. Nothing in the Agreement shall give the Contractor a right, however arising, to assert any lien, claim, demand, property right, remedy or security right of any kind over the information provided to the Contractor pursuant to the terms of the Agreement. The Contractor acknowledges that WorkplaceNL's right to this information shall at all times be paramount to any rights of the Contractor, at law or in equity, and that the Contractor's remedies against WorkplaceNL for WorkplaceNL's breaches under the Agreement do not include the right to deprive WorkplaceNL of access to WorkplaceNL's information in the Contractor's possession.

11. Access to Information – WorkplaceNL is subject to the ATIPPA and consequently the public has a right of access to WorkplaceNL's records. WorkplaceNL shall not be liable for any claims, costs, losses or damages experienced by the Contractor as a result of WorkplaceNL's release of information to another party pursuant to the provisions of ATIPPA or due to any other legal requirements.

12. Warranty & Liability - The Contractor represents, warrants and covenants that:
(a) the information contained in its bid, proposal or quote is true and accurate;
(b) all equipment supplied meets and is operated in accordance with the manufacturer's specifications and applicable regulatory requirements;
(c) all Services provided are free from any defects in design, materials and workmanship, and that the Services fully comply with specifications and are suitable and fit for its intended purpose;
(d) the supply of Services will not infringe any patent, trademark or copyright;
(e) the Contractor provides good and clear title to the Services to WorkplaceNL;
(f) the Contractor, its employees, officers, associates and approved subcontractors have the necessary skills, expertise, materials and experience; are qualified in the safe work procedures and operations of equipment; and shall provide and perform the Services in accordance with the provisions of this Agreement;
(g) the Contractor shall provide and perform the Services in accordance with all applicable law and professional standards, and in a skilful, safe, efficient and professional manner satisfactory to WorkplaceNL;
(h) the Contractor, its employees, officers, associates and approved subcontractors shall comply with all safety and security rules and workplace policies and procedures in effect from time to time while using or accessing WorkplaceNL's premises, assets, and/or resources;

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STANDARD TERMS AND CONDITIONS

(i) the Contractor, its employees, officers, associates, and/or approved sub-contractors will not commence work while under the influence of alcohol, marijuana or illegal drugs;
(j) the Contractor, its employees, officers, associates, and/or approved sub-contractors shall comply with the *Occupational Health and Safety Act*, R.S.N.L. 1990, c. O-3, and the Regulations thereto, as amended; and
(k) if the Contractor is carrying on an undertaking in the Province of Newfoundland and Labrador, the Contractor will during the term of this Agreement continue to be registered and authorized to carry on business in compliance with the laws of the Province of Newfoundland and Labrador.

The Contractor shall supply all labour, materials, and supervision to complete the Services in accordance with the Agreement. The Contractor shall obtain all permits and licences, pay such fees, and give all notices necessary for the lawful performance of the Services. Except as otherwise specifically stated in this Agreement, all facilities and equipment required for the provision of the Services shall be provided by the Contractor and shall remain the property and responsibility of the Contractor.

The Contractor is fully and solely responsible for the actions of the Contractor and its employees, officers, associates, and/or approved sub-contractors in performance of the Services and to ensure compliance with this Agreement. WorkplaceNL's approval of employees, officers, associates, or subcontractors does not relieve the Contractor of the Contractor's responsibilities under this Agreement.

13. Indemnity - The Contractor shall indemnify and hold harmless WorkplaceNL from and against all claims, actions, losses, expenses, costs and direct damages of every nature and kind whatsoever which WorkplaceNL or its employees, officers, associates, or agents may suffer where the same are based upon or arise out of anything done or omitted to be done by the Contractor or its employees, officers, associates, and/or approved sub-contractors.

14. Insurance - The Contractor shall, at its own expense and without limiting its liability herein, insure its operations under a contract of General Liability Insurance, with an insurer licensed in Newfoundland and Labrador, in an amount not less than Two Million Dollars ($2,000,000) per occurrence, with an annual general aggregate, if any, of not less than Four Million Dollars ($4,000,000) for each of its locations, insuring against any and all bodily injury, personal injury and property damage including loss of use thereof. Such insurance shall include blanket contractual liability and shall be in effect for the duration of the Agreement and any extensions or renewals. The deductibles applicable to the insurance required shall not exceed Five Thousand Dollars ($5,000) per occurrence.

Certificates of insurance shall be provided to WorkplaceNL prior to the provision of Services under this Agreement and within thirty (30) days of any insurance renewal. All insurance called for under this Agreement shall be endorsed to provide WorkplaceNL with thirty (30) days advance written notice of cancellation, failure to renew or material change (material defined as any change restricting or reducing required coverage). WorkplaceNL may, at any time, request certified true copies of the policies and they shall be provided within fourteen (14) working days of the request. All insurance called for under this Agreement shall be primary insurance and shall not require the pro rata sharing of any loss by WorkplaceNL or any insurer of WorkplaceNL.

15. Good Standing & Safety – If the Contractor is engaged in, about or in connection with an industry in the province of Newfoundland and Labrador under the *Act*, prior to commencing provision of Services and during the term of this Agreement, the Contractor and any approved sub-contractors must be registered as an employer or have independent operator coverage under the *Act*, must be in good standing with WorkplaceNL, and shall comply with the *Act* and the Regulations thereto, as amended. The Contractor authorizes WorkplaceNL to obtain confirmation of the same.

16. Performance Standards
Time is of the essence in the performance of the Agreement.

WorkplaceNL may notify the Contractor of any deficiencies, and in the event that the Contractor has failed to rectify the deficiencies within the time allocated by WorkplaceNL, WorkplaceNL may, at its discretion, obtain the Services, complete the work or rectify the deficiencies to its satisfaction and shall be entitled to deduct and set-off the costs of such work or rectification from any moneys due to the Contractor.

WorkplaceNL shall not be obligated to make any payments for Services rendered by the Contractor to remedy errors or omissions for which, in the reasonable opinion of WorkplaceNL, the Contractor is responsible.

17. Inspection – All Services are subject to final inspection and acceptance by WorkplaceNL. Services failing to conform to the specifications of this Agreement will be held at the Contractor's risk and may be returned to the Contactor. If so returned, all related costs are the responsibility of the Contractor. Services failing to conform to specifications of the Agreement may result in WorkplaceNL making adjustments to invoices.

18. Non-waiver – Mere acceptance of shipment of the Services specified and any inspection thereto by WorkplaceNL, shall not alter, limit or affect the obligations of the Contractor or the rights of WorkplaceNL herein or at law.

19. Title & Risk - Title to Services shall not pass to WorkplaceNL until delivered to a WorkplaceNL location and until such time shall be at the sole risk of the Contractor.

20. Canadian Standards Association (CSA) Approval – The Contractor shall ensure that all electrical, materials, hardware and assemblies supplied under the Agreement are fully CSA approved.

21. Workplace Hazardous Materials Information System (WHIMIS) – When dealing with materials designated as hazardous, the Contractor shall ensure all goods and materials are provided with appropriate labels and material safety data sheets where required by WHIMIS legislation.

22. Changes – WorkplaceNL, without invalidating the Agreement, may alter, add to or delete from the work, the Agreement sum being adjusted accordingly provided the Contractor has agreed to the same in writing. All such changes shall be governed by the conditions of the original Agreement. Any changes and unforeseen extras must be documented by change orders and approved by WorkplaceNL prior to proceeding. Supplementary invoices not supported by change orders will not be honored. The Contractor must notify WorkplaceNL of changes in the Contractor's policy or organization that affects its ability to meet its obligations outlined in the Agreement.

23. Termination - This Agreement may be terminated at any time by the mutual consent of the Parties.

WorkplaceNL may terminate this Agreement at any time, without cause, by giving thirty (30) calendar days written notice to the Contractor. WorkplaceNL shall not be subject to a claim for damages by the Contractor for any such termination.

WorkplaceNL may, in addition to and not in lieu of any other right or remedy available, at law or in equity, on the terms outlined in this paragraph terminate this Agreement at any time without notice, for cause and without compensation to the Contractor should:
(a) the Contractor, its employees, officers, associates, and/or approved sub-contractors be in breach of any provision of this Agreement;
(b) WorkplaceNL determine, in its sole discretion, that the Services are being provided in a manner inconsistent with this Agreement;
(c) the Contractor fail to make adequate progress in the performance of the Agreement, or alternatively, an indication by the Contractor that

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they cannot or will not meet any or all of the requirements of the Agreement;

(d) WorkplaceNL determine, in its sole discretion, that the invoicing practices of the Contractor are unsatisfactory or improper; or

(e) the Contractor becomes insolvent or bankrupt or makes an assignment for the benefit of creditors or receivers appointed of its business, or a voluntarily or involuntary petition in bankruptcy is filed, or proceedings for the reorganization or winding up of the Contractor is instituted.

WorkplaceNL may terminate the Agreement immediately or may provide the Contractor with written notice of the above noted default and provide the Contractor an opportunity to rectify the said default within 72 hours. If the default is not rectified to the satisfaction of WorkplaceNL within 72 hours, then WorkplaceNL can proceed to terminate this Agreement, for cause, without further notice.

Where this Agreement is terminated, either by mutual consent or otherwise, the Contractor shall, without any further fee or cost whatsoever to WorkplaceNL:

(a) upon the effective date of termination of this Agreement cause all Services being provided under this Agreement to be discontinued, unless WorkplaceNL has provided its express, written consent to the continuation of Services; and

(b) within thirty (30) working days of the effective date of termination, provide all work product and all final invoices for Services completed to the date of termination pursuant to this Agreement. The obligations of WorkplaceNL to make payment to the Contractor shall continue for Services performed up to and including the date of termination but do not continue beyond that time period. If the Agreement stipulates a lump sum payment, any such payment for Services performed shall be valued proportionately to the value of the contract.

24. Force Majeure – Neither the Contractor nor WorkplaceNL shall be deemed to be in default of its obligations under this Agreement, if, and for as long as, any delay or non-performance is directly or indirectly caused by or results from events of Force Majeure beyond the control of that party. These events shall include, but not be limited to, strikes, civil disturbances, wars, fires, acts of God, and acts of any government or branch or agency thereof.

Force Majeure shall not include the following:

(a) late delivery of equipment or materials caused by congestion at a manufacturer's plant or elsewhere, an oversold condition of the market, inefficiencies, or similar occurrences; and

(b) late performance by a sub-contractor(s) unless the delay arises out of a Force Majeure occurrence in accordance with this clause.

25. Records & Audit - The Contractor shall maintain appropriate records and files in relation to the Services provided under this Agreement for seven (7) years, at which time the Contractor will destroy any and all copies and versions of the said records and files. The Contractor will retain copies of the records and files only to the extent required by law and applicable professional standards. The Contractor shall provide a copy of the said records and files within seven (7) working days of receipt of a written request from WorkplaceNL.

In addition to any other rights of inspection or audit that WorkplaceNL may have under this Agreement or under statute, WorkplaceNL or a person authorized by WorkplaceNL, may, at any reasonable time and upon reasonable notice to the Contractor, inspect, audit and evaluate the Contractor's compliance with the terms of this Agreement, including but not limited to compliance with Service and invoice obligations, privacy, security and information management, under this Agreement through any means including but not limited to the following means:

(a) on-site visit and examination of records and files, and inspection of electronic devices upon WorkplaceNL's request,

(b) observation of the performance of the Services in progress,

(c) full access to records and files and the ability to make copies of the record, and

(d) oral or written communication pertaining to Services with any clients, employees, associates, directors, officers, agents and approved sub-contractors of the Contractor.

Notwithstanding any other provision of this Agreement, WorkplaceNL shall not be responsible for the Contractor's costs or fees associated with compliance with this section.

26. General - The paragraph headings shall not be considered in interpreting the text.

27. Invalid or Unenforceable Provision - If any term or provision of this Agreement is found to be illegal, invalid, or unenforceable, notwithstanding this Agreement may, at WorkplaceNL's option, remain in full force and effect and such term or provision shall be deemed removed from this Agreement and the remaining provisions form a valid agreement.

28. Waiver - Any waiver of, or consent to depart from, the requirements of any provision of this Agreement shall be effective only if it is in writing and signed by the party giving it, and only in the specific instance and for the specific purpose for which it has been given. Failure on the part of any party to exercise, and/or delay in exercising, any right under this Agreement shall not operate as a waiver of such right. No single or partial exercise of any such right shall preclude any other or further exercise of such right or the exercise of any other right.

29. Governing Law - This Agreement shall be governed by and interpreted in accordance with the laws of the Province of Newfoundland and Labrador, and the forum for all disputes shall be the Courts of the Province of Newfoundland and Labrador.

30. Survival of Obligations – All the obligations of the Contractor under this Agreement, including but not limited to independent contractor status, confidentiality, warranty & liability, records & audit, termination, indemnification and insurance provisions, shall survive the termination or completion of this Agreement.

31. Promotion - The Contractor shall not associate WorkplaceNL in any advertising or other promotional materials or messages associated with it without WorkplaceNL's prior written consent. The Contractor, its employees, officers, associates and/or approved sub-contractors shall not approach WorkplaceNL personnel, to in any way promote the business of the Contractor.

32. Enurement – Subject to the express limitations set out in the Agreement, this Agreement shall enure to the benefit of and be binding upon the respective heirs, executors, administrators, successors and permitted assigns of the Parties.

33. Agreement Amendment - The Agreement may only be modified by a written agreement signed by persons duly authorized by the Contractor and WorkplaceNL.

Contractor Initials:_____

WorkplaceNL
Health | Safety | Compensation

STANDARD TERMS AND CONDITIONS

DECLARATION OF CONFIDENTIALITY/CONFLICT OF INTEREST

I, _____, of _____ do declare that:
(Print name of individual) (Print name of contractor)

1. I am either a) an owner of the Contractor; b) an employee of the Contractor, c) an independent contractor or d) I have been determined to be an employee of the Contractor by WorkplaceNL pursuant to the *Workplace Health, Safety and Compensation Act*. I am not an employee of WorkplaceNL.

2. I will perform Services pursuant to the Agreement between the Contractor and WorkplaceNL in relation to WorkplaceNL and/or in relation to clients of WorkplaceNL. All data and information received or obtained in the course of performing the Services, either directly or indirectly, is confidential information. I shall conduct myself in accordance with applicable privacy legislation and professional standards and I shall keep in confidence any such confidential information. I shall not collect, use, or retain any such confidential information whatsoever except to the extent necessary to perform Services. I will protect this information from disclosure to any other person or other entity whatsoever.

3. I acknowledge that I have read and understand the WorkplaceNL Standard Terms and Conditions and any applicable WorkplaceNL Confidentiality Schedule and I, hereby, agree to comply with all terms and conditions outlined therein.

4 . Upon termination of my employment with the Contractor or when required, I shall return to the Contractor any and all confidential information obtained in the course of performing Services which is in my possession and/or control. When required, I shall return to WorkplaceNL any and all confidential information obtained in the course of performing Services which is in my possession and/or control. I will retain copies of confidental information only to the extent required by law and applicable professional standards.

5. I will not permit any actual, possible or perceived conflict of interest between the interests of WorkplaceNL and/or its clients and the interests of either myself or the Contractor, and will immediately disclose any such conflict to WorkplaceNL in writing.

6. I agree:
   (a) to conduct all duties related to Services with impartiality;
   (b) that I shall not influence, seek to influence, or otherwise take part in a decision related to WorkplaceNL and/or its client, knowing that the decision might further my private interests or the interests of the Contractor;
   (c) that I shall not accept any communication, discount, allowance, payment, gift, or other benefit that is connected, directly or indirectly, with the performance of Services, that causes, or would appear to cause, a conflict of interest; and
   (d) that I shall have no financial interest in the business of a third party that causes, or would appear to cause, a conflict of interest in connection with the performance of Services.

7. I acknowledge having read, understood and obtained receipt of a copy of this declaration.

SWORN/AFFIRMED at _____,
in the Province of Newfoundland and Labrador, this
_____day of_____, 2020, before me:

_____ _____
Commissioner of Oaths Signature of Individual

Contractor Initials:_____