

**Tender: 2019-31-T Bathroom and Kitchenette Renovations**

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**To All Bidders:****General:**

- This addendum shall be read in conjunction with the original Tender documents.
- Where inconsistent with the above, this addendum shall govern.
- No consideration shall be allowed for increases (extras) to the Tender Price, or otherwise to modify the Tender Submission, due to any failure of the Vendors being familiar with this addendum.
- The Bidder should insert in the Bid Form the numbers of addenda received by her/him during the Tender period. This addendum forms an integral part of the Tender Submissions and is included therein.
- It is the Bidder's responsibility to ensure all addenda have been received by the Bidder prior to Tender closing.

**Scope of this Addendum:**

**\*\*\* Please refer to the revised drawings at the end of this Addendum to replace the original drawings attached to the Tender.**

**Please note answers/clarifications to Questions from prospective Bidders:**

1. Will there be electrical drawings and specifications issued for this project?

**Response:** No electrical drawings will be provided. Notes referring to electrical drawings have been removed from the drawings.

2. Will there be any plumbing or ventilation drawings issued for this project?

**Response:** Mechanical notes including plumbing and ventilation are listed on sheet M100. This is the only mechanical sheet to be provided.



3. Will there be any clarification on drawing A430 regarding fire ratings?

**Response:** Fire ratings to be determined on-site.

4. Will a door schedule be provided?

**Response:** Drawings have been updated to include door elevations and door and frame schedule.

5. What is the height of the tiles around the urinals in room 361 – male washroom?

**Response:** The wall tiles in the male washroom are 3'8" above finished floor.

6. Is a bid bond required for this project?

**Response:** A bid bond is not required.

7. In regard to Architectural Plan Notes "H", please confirm that cement board is required in all areas, such as the alcove.

**Response:** Cement board will be required in all bathrooms where tile is being used.

8. Can you provide a floor plan indicating the location of the washrooms and kitchenettes?

**Response:** Level 3 As Built Plan attached below indicates the location of the washrooms and kitchenettes.

9. Is an asbestos report available for the areas of construction?

**Response:** Asbestos Materials Assessments report issued by EnviroTech in 1998 confirmed that there was no asbestos in the areas of construction for this project.

10. Can you provide a ceiling tile specification?

**Response:** Acceptable ceiling tile and suspension have now been noted in the drawings. Refer to spec # 09 5100 on sheet G006.

11. Who is responsible for moving the electrical panel that is recessed in the wall?

**Response:** Vestibule has been changed back to the existing. Janitor closet will not be extended.



12. Room finish schedule notes washroom ceilings are gypsum, however reflective ceiling plans show T-bar.

**Response:** Gypsum board with pot lights has been removed from the drawings. C2 on A604 drawing indicates acoustic tile ceiling to be used.

13. Power door operators are shown on all doors, including the janitor closet. Please clarify and provide a spec for operator and controls.

**Response:** Power door openers for washroom doors only. Door operator hardware and specs have been added to the drawings.

14. Provide specifications for plumbing fixtures and light fixtures?

**Response:** Refer to sheet A605.

15. Reflective ceiling plan note C refers to mechanical and electrical drawings for exit lights, emergency lights, smoke detectors, fire pull stations and other life safety device information.

**Response:** This note has been removed from the drawings.

16. No height, distance from floor and construction details are provided for vanities required in room 361, 314 and 313.

**Response:** Details revised accordingly. Refer to sheet A530.

17. Is the Quartz vanity tops supplied by others or is it the responsibility of the Granite company?

**Response:** Standard manufactured quartz countertop, custom manufacturing not required. Sink types listed on sheet A605.

18. A2/A530 shows island with garbage pullout. Please provide catalogue number.

**Response:** Detail has been revised to indicate base cabinet pull-out.  
<https://www.homedepot.ca/product/knape-vogt-20-quart-platinum-waste-and-recycle-bin/1000751445> should be sufficient for the trash bin.

19. Is there a series or collection name for the mosaic glass tile? What size mosaic on 13"x13" sheets?

**Response:** Centura, Miki Glass Mosaic Light Blue.



20. G004 section through vanity does not match B2/A430 and C2/A434.

**Response:** Vanities are 22" deep. Drawings have been revised accordingly.

21. A4/A530 shows base sink cabinet with broken line for ADA Clearances.

**Response:** This is a standard detail to show minimum clearances.

22. There is no cabinet pull specified.

**Response:** Refer to following link for the required cabinet pull:

<https://www.homedepot.ca/product/richelieu-contemporary-metal-pull-3-3-4-in-96-mm-ctoc-brushed-nickel-armadale-collection/1000816558>

23. The wall tile detail on drawing A430 shows 8" however the reflected ceiling plan shows 9"? What is the correct height of the wall tile?

**Response:** Wall tiles must extend to the ceiling grid in each room.

24. Cabinet details indicate melamine ¾" MDF. Can this be ¾" MCP (standard Melamine) and is there a specific color required?

**Response:** Laminate information is included in the finish schedule.

**Attachments:**

**Senior Procurement Officer: Nicole Bishop**

**Date: December 3, 2019**







# WORKPLACENL WASHROOMS

148 FOREST ROAD,  
ST. JOHN'S, NL, A1A 1E6

ARCHITECTS PROJECT # 193036

A PROJECT FOR  
WORKPLACE NL

Mech.

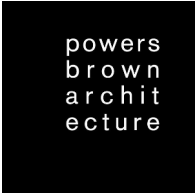
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Mr. Peter Jackson





|        |                                       |        |                         |
|--------|---------------------------------------|--------|-------------------------|
| Ø      | DIAMETER                              |        |                         |
| C      | CENTER LINE                           | R      | RADIUS, RISER OR RISERS |
| #      | POUND/ NUMBER                         | RD     | ROOF DRAIN              |
| &      | AND                                   | REQD   | REQUIRED                |
| @      | AT                                    | REV    | REVISION                |
| A/C    | AIR CONDITIONING                      | RM     | ROOM                    |
| ACT    | ACOUSTICAL CEILING TILE               | RO     | ROUGH OPENING           |
| ADA    | AMERICANS WITH DISABILITIES ACT       | RTU    | ROOF TOP UNIT           |
| ADDL   | ADDITIONAL                            | SCWD   | SOLID CORE WOOD DOOR    |
| AFF    | ABOVE FINISH FLOOR                    | SECT   | SECTION                 |
| AFG    | ABOVE FINISH GRADE                    | SIM    | SIMILAR                 |
| AHU    | AIR HANDLING UNIT                     | SPEC'D | SPECIFIED               |
| ALT    | ALTERNATE                             | SQ     | SQUARE                  |
| ALUM   | ALUMINUM                              | SST    | STAINLESS STEEL         |
| ARCH   | ARCHITECT                             | STO    | STORAGE                 |
|        |                                       | STRUCT | STRUCTURAL              |
| BD     | BOARD                                 |        |                         |
| BFF    | BELOW FINISH FLOOR                    | TOC    | TOP OF CURB             |
| BLDG   | BUILDING                              | TOM    | TOP OF MULLION          |
| BOM    | BOTTOM OF MULLION                     | TOP    | TOP OF PARAPET          |
| BOR    | BOTTOM OF REVEAL                      | TOR    | TOP OF REVEAL           |
|        |                                       | TOS    | TOP OF SLAB             |
| CAB    | CABINET                               | TYP    | TYPICAL                 |
| CJ     | CONTROL JOINT/ CONSTRUCTION JOINT     | UNO    | UNLESS NOTED OTHERWISE  |
| CLG    | CEILING                               |        |                         |
| CIP    | CAST-IN-PLACE                         | VCT    | VINYL COMPOSITION TILE  |
| CLR    | CLEAR                                 |        |                         |
| CMU    | CONCRETE MASONRY UNIT                 | VERT   | VERTICAL                |
|        |                                       | VEST   | VESTIBULE               |
| COL    | COLUMN                                |        |                         |
| CONC   | CONCRETE                              | W/     | WITH                    |
| CONSTR | CONSTRUCTION                          | W/O    | WITHOUT                 |
| CONT   | CONTINUE                              | WD     | WOOD                    |
| CORR   | CORRIDOR                              | WDW    | WINDOW                  |
| CT     | CERAMIC TILE                          |        |                         |
|        |                                       |        |                         |
| DF     | DRINKING FOUNTAIN                     |        |                         |
| DIM    | DIMENSION                             |        |                         |
| DIST   | DISTANCE                              |        |                         |
| DS     | DOWNSPOUT                             |        |                         |
| DWG    | DRAWING                               |        |                         |
|        |                                       |        |                         |
| EIFS   | EXTERIOR INSULATED FINISH SYSTEM      |        |                         |
| EJ     | EXPANSION JOINT                       |        |                         |
| ELEC   | ELECTRIC                              |        |                         |
| ELEV   | ELEVATOR                              |        |                         |
| EQ     | EQUAL                                 |        |                         |
| EXIST  | EXISTING                              |        |                         |
| EXP    | EXPANSION                             |        |                         |
| EXT    | EXTERIOR                              |        |                         |
|        |                                       |        |                         |
| FD     | FLOOR DRAIN                           |        |                         |
| FE     | FIRE EXTINGUISHER                     |        |                         |
| FEC    | FIRE EXTINGUISHER CABINET             |        |                         |
| FLR    | FLOOR                                 |        |                         |
| FLUOR  | FLUORESCENT                           |        |                         |
| FIN    | FINISH                                |        |                         |
| FIXT   | FIXTURE                               |        |                         |
| FV     | FIELD VERIFY                          |        |                         |
|        |                                       |        |                         |
| GA     | GAGE                                  |        |                         |
| GALV   | GALVANIZED                            |        |                         |
| GYP    | GYP SUM                               |        |                         |
|        |                                       |        |                         |
| HB     | HOSE BIB                              |        |                         |
| HDW    | HARDWARE                              |        |                         |
| HM     | HOLLOW METAL                          |        |                         |
| HNDRL  | HANDRAIL                              |        |                         |
| HORIZ  | HORIZONTAL                            |        |                         |
| HT     | HEIGHT                                |        |                         |
|        |                                       |        |                         |
| INSUL  | INSULATION                            |        |                         |
| INFO   | INFORMATION                           |        |                         |
| INT    | INTERIOR                              |        |                         |
|        |                                       |        |                         |
| JAN    | JANITOR                               |        |                         |
|        |                                       |        |                         |
| LAV    | LAVATORY                              |        |                         |
| LDG    | LANDING                               |        |                         |
| LT     | LIGHT                                 |        |                         |
| LWC    | LIGHTWEIGHT CONCRETE                  |        |                         |
|        |                                       |        |                         |
| MAX    | MAXIMUM                               |        |                         |
| MFR    | MANUFACTURER                          |        |                         |
| MIN    | MINIMUM                               |        |                         |
| MO     | MASONRY OPENING                       |        |                         |
| MTD    | MOUNTED                               |        |                         |
| MTL    | METAL                                 |        |                         |
| MULL   | MULLION                               |        |                         |
|        |                                       |        |                         |
| NIC    | NOT IN CONTRACT                       |        |                         |
| NTS    | NOT TO SCALE                          |        |                         |
|        |                                       |        |                         |
| OC     | ON CENTER                             |        |                         |
| OF/CI  | OWNER FURNISHED/ CONTRACTOR INSTALLED |        |                         |
| OF/OI  | OWNER FURNISHED/ OWNER INSTALLED      |        |                         |
| OPH    | OPPOSITE HAND                         |        |                         |
|        |                                       |        |                         |
| PLAM   | PLASTIC LAMINATE                      |        |                         |
| PLYWD  | PLYWOOD                               |        |                         |
| PR     | PAIR                                  |        |                         |
| PTD    | PAINTED                               |        |                         |

|                |  |   |
|----------------|--|---|
| TRUE NORTH     |  | NORTH ARROW                             |
| PROJECT NORTH  |  |   |
|                |  | COLUMN ID                               |
|                |  | EXISTING CONSTRUCTION TO REMAIN         |
|                |  | EXISTING CONSTRUCTION TO BE DEMOLISHED  |
|                |  | NEW PARTITION                           |
| FIRE RATING    |  | HEAD CONDITION                          |
| PARTITION TYPE |  | STUD SIZE                               |
|                |  | EXISTING DOOR                           |
|                |  | NEW DOOR                                |
|                |  | TO CENTER LINE OF BUILDING ELEMENT      |
|                |  | FACE OF FINISH                          |
|                |  | DETAIL NUMBER                           |
|                |  | SHEET NUMBER                            |
|                |  | DESCRIPTION OF SIMILAR OR OPPOSITE      |
|                |  | AREA TO BE DETAILED                     |
|                |  | BLDG SECTION NUMBER                     |
|                |  | SHEET NUMBER                            |
|                |  | WALL SECTION OR DETAIL NUMBER           |
|                |  | SHEET NUMBER                            |
|                |  | LOCATION ON ROW WHERE SHOWN             |
|                |  | DIRECTION OF ELEVATION                  |
|                |  | ROW ON ELEVATION SHEET WHERE SHOWN      |
|                |  | SHEET WHERE SHOWN                       |
|                |  | ROOM NAME                               |
|                |  | ROOM NUMBER                             |
|                |  | ROOM AREA                               |
|                |  | DOOR NUMBER (WITH SCHEDULE)             |
|                |  | KEYNOTE TAG                             |
|                |  | WINDOW TAG                              |
|                |  | FINISH - WALL (WITH SCHEDULE)           |
|                |  | FINISH - BASE (WITH SCHEDULE)           |
|                |  | FINISH - FLOOR (WITH SCHEDULE)          |
|                |  | FINISH - CEILING (WITH SCHEDULE)        |
|                |  | DIMENSION OF CEILING ABOVE FINISH FLOOR |
|                |  | EQUIPMENT (WITH SCHEDULE)               |
|                |  | WALL MOUNTED ONE-WAY SWITCH             |
|                |  | DATA / TELEPHONE, WALL MTD              |
|                |  | TELEPHONE ONLY, WALL MTD                |
|                |  | DATA ONLY, WALL MTD                     |
|                |  | DATA / TELEPHONE, FLOOR MTD             |
|                |  | 110 DUPLEX RECEPTACLE, WALL MTD         |
|                |  | 110 DUPLEX RECEPTACLE, FLOOR MTD        |
|                |  | DUPLEX CONVENIENCE, WALL MTD            |
|                |  | DUPLEX DEDICATED, WALL MTD              |
|                |  | DUPLEX SEPARATE, WALL MTD               |
|                |  | DOUBLE DUPLEX CONVENIENCE, WALL MTD     |
|                |  | DOUBLE DUPLEX DEDICATED, WALL MTD       |
|                |  | DOUBLE DUPLEX SEPARATE, WALL MTD        |
|                |  | DOUBLE DUPLEX RECEPTACLE, FLOOR MTD     |
|                |  | SIMPLEX CONVENIENCE, WALL MTD           |
|                |  | SIMPLEX DEDICATED, WALL MTD             |
|                |  | SIMPLEX SEPARATE, WALL MTD              |
|                |  | CEILING MOUNTED EXIT SIGN               |
|                |  | FIRE EXTINGUISHER CABINET               |

An aerial photograph of the project location in St. John's, NL. The map shows the harbor area with labels for 'PORT WILIAM', 'THE BATTERY', 'Signal Hill', 'Old Vidi Lake', '148 Forest Road', 'JOHN'S (ST. JOHN'S)', 'HOYLESTOWN', 'QUID VIDI', 'PUEASANTVILLE', and 'BALLYVALEY'. A black circle highlights the 'PROJECT LOCATION' at 148 Forest Road. A line connects this location to a larger, more detailed aerial view of the building complex in the lower section of the page. The building complex is surrounded by a parking lot and is situated on a hillside. A line also connects the building complex to the 'PROJECT INFORMATION' section.

## PROJECT LOCATION

148 FOREST ROAD  
ST. JOHN'S, NL A1A 1E6

## PROJECT INFORMATION

### APPLICABLE BUILDING CODES & REGULATIONS:

NATIONAL BUILDING CODE OF CANADA 2015  
NATIONAL FIRE CODE OF CANADA 2015  
NATIONAL PLUMBING CODE OF CANADA 2015  
NATIONAL ENERGY CODE OF CANADA FOR BUILDING 2015  
FIRE PROTECTION ASSOCIATION - CHAPTER 7 NFPA 101 SAFETY  
CODE 2015  
NEWFOUNDLAND LABRADOR BUILDING ACCESSIBILITY ACT  
NEWFOUNDLAND LABRADOR BUILDING ACCESSIBILITY  
REGULATIONS

### PROJECT DESCRIPTION:

INTERIOR RENOVATION

### BUILDING NAME:

WORKPLACE NL

### BUILDING ADDRESS:

148 FOREST ROAD.  
ST. JOHN'S, NL A1A 1E6

### LEASE SPACE ADDRESS AND/OR SUITE NO:

N/A

### SPRINKLERED:

NO

### OCCUPANCY TYPE:

GROUP D

### CONSTRUCTION TYPE:

EXISTING

### AREA CALCULATIONS:

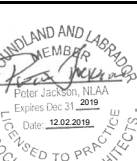
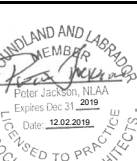
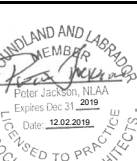
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|-------------------|-------------------|-------------------|-------------------|-------------------|-------------------|-------------------|-------------------|-------------------|----------------------|------------------|-------------------------|--------------|------------|
| Future Issue (12) | Future Issue (11) | Future Issue (10) | Future Issue (09) | Future Issue (08) | Future Issue (07) | Future Issue (06) | Future Issue (05) | Future Issue (04) | Issue for Addendum 1 | Issue for Tender | Issue for Client Review | Sheet Number | Sheet Name |
|-------------------|-------------------|-------------------|-------------------|-------------------|-------------------|-------------------|-------------------|-------------------|----------------------|------------------|-------------------------|--------------|------------|

|                         |  |  |  |  |  |  |  |  |  |   |   |   |            |                                    |
|-------------------------|--|--|--|--|--|--|--|--|--|---|---|---|------------|------------------------------------|
| DRAWING INDEX - GENERAL |  |  |  |  |  |  |  |  |  |   |   |   |            |                                    |
|                         |  |  |  |  |  |  |  |  |  | • | • | • | G001       | PROJECT INFO, SYMBOL & ABBRV INDEX |
|                         |  |  |  |  |  |  |  |  |  | • | • | • | G003 (NBC) | ACCESSIBILITY CODE SHEET           |
|                         |  |  |  |  |  |  |  |  |  | • | • | • | G004 (NBC) | TOILET STANDARDS                   |
|                         |  |  |  |  |  |  |  |  |  | • | • | • | G006       | SHEET SPECIFICATIONS               |
|                         |  |  |  |  |  |  |  |  |  | • | • | • | G007       | SHEET SPECIFICATIONS               |
|                         |  |  |  |  |  |  |  |  |  | • | • | • | AD103      | LEVEL 03 DEMOLITION PLAN           |

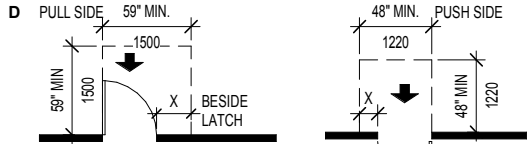
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|-------------------------------|--|--|--|--|--|--|--|--|--|---|---|---|------|---|
| DRAWING INDEX - ARCHITECTURAL |  |  |  |  |  |  |  |  |  |   |   |   |      |   |
|                               |  |  |  |  |  |  |  |  |  | • | • | • | A429 | LEVEL 03 ENLARGED PLANS AND ELEVATIONS  |
|                               |  |  |  |  |  |  |  |  |  | • | • | • | A430 | LEVEL 03 ENLARGED PLANS AND ELEVATIONS  |
|                               |  |  |  |  |  |  |  |  |  | • | • | • | A431 | LEVEL 03 ENLARGED PLANS AND ELEVATIONS  |
|                               |  |  |  |  |  |  |  |  |  | • | • | • | A432 | LEVEL 03 ENLARGED PLANS AND ELEVATIONS  |
|                               |  |  |  |  |  |  |  |  |  | • | • | • | A433 | LEVEL 03 ENLARGED PLANS AND ELEVATIONS  |
|                               |  |  |  |  |  |  |  |  |  | • | • | • | A434 | LEVEL 03 ENLARGED PLANS AND ELEVATIONS  |
|                               |  |  |  |  |  |  |  |  |  | • | • | • | A435 | LEVEL 03 ENLARGED PLANS AND ELEVATIONS  |
|                               |  |  |  |  |  |  |  |  |  | • | • | • | A530 | MILLWORK SECTIONS                       |
|                               |  |  |  |  |  |  |  |  |  | • | • | • | A601 | PARTITION TYPES                         |
|                               |  |  |  |  |  |  |  |  |  | • |   |   | A602 | DOOR ELEVATIONS & DOOR & FRAME SCHEDULE |
|                               |  |  |  |  |  |  |  |  |  | • | • | • | A604 | FINISH & WASHROOM ACCESSORY SCHEDULE    |
|                               |  |  |  |  |  |  |  |  |  | • |   |   | A605 | PLUMBING AND LIGHTING FIXTURE SCHEDULE  |

|                            |  |  |  |  |  |  |  |  |  |   |   |   |      |                        |
|----------------------------|--|--|--|--|--|--|--|--|--|---|---|---|------|------------------------|
| DRAWING INDEX - MECHANICAL |  |  |  |  |  |  |  |  |  |   |   |   |      |                        |
|                            |  |  |  |  |  |  |  |  |  | • | • | • | M102 | MECHANICAL NOTES LVL 3 |

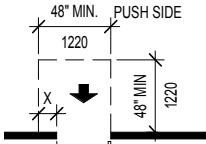
| <p style="font-size: 24pt; font-weight: bold; margin: 0;">powers<br/>brown<br/>archit<br/>ecture</p>  | <p style="font-size: 12pt; margin: 0;">Architectural Consultant:<br/>Powers Brown Architecture<br/>354 Water St., Suite 212<br/>St. John's, NL A1C 1C4<br/>709.726.3941</p> <p style="font-size: 12pt; margin: 0; text-align: right;">www.powersbrown.com</p> |                         |          |   |            |                         |   |            |                        |   |            |                   |   |            |                         |   |            |                       |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |             |                     |   |  |
|---|---|-------------------------|----------|---|------------|-------------------------|---|------------|------------------------|---|------------|-------------------|---|------------|-------------------------|---|------------|-----------------------|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|-------------|---------------------|---|--|
| <b>PROJECT TITLE</b>  |   |                         |          |   |            |                         |   |            |                        |   |            |                   |   |            |                         |   |            |                       |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |             |                     |   |  |
| <p style="font-size: 24pt; font-weight: bold; margin: 0;">WORKPLACENL<br/>WASHROOMS</p> <p style="font-size: 14pt; margin: 0;">148 FOREST ROAD,<br/>ST. JOHN'S, NL, A1A 1E6</p> <hr style="width: 50%; margin: 20px auto;"/> <p style="font-size: 14pt; margin: 0;">A PROJECT FOR<br/><b>WORKPLACE NL</b></p>   |   |                         |          |   |            |                         |   |            |                        |   |            |                   |   |            |                         |   |            |                       |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |             |                     |   |  |
| <b>GENERAL NOTES</b>  |   |                         |          |   |            |                         |   |            |                        |   |            |                   |   |            |                         |   |            |                       |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |             |                     |   |  |
| <p>A. ALL MATERIALS ON JOB TO COMPLY WITH FEDERAL AND PROVINCIAL VOC/AIM REGULATIONS.</p> <p>B. ALL CONSTRUCTION TO COMPLY WITH FEDERAL CSA STANDARDS, CURRENT ENERGY CODE AND LOCAL AMENDMENTS OR REQUIREMENTS.</p> <p>C. ALL FIRE WALL PENETRATIONS SHALL BE SEALED WITH FIRE RATED FOAM SEALANT (BOTH SIDES OF WALL). SEALANT TYPE SHALL BE A COMPATIBLE RATING TO THE WALL SYSTEMS.</p> <p>D. MAXIMUM CLEAR SPAN HEIGHTS FOR INTERIOR METAL STUDS SHALL BE SUCH THAT DEFLECTION SHALL NOT EXCEED L/360 UNDER A 5 PSF LOAD (CERAMIC TILE FINISHES AND/OR WALLS TO DECK) AND L/120 AT ALL OTHER AREAS.</p> <p>E. WHERE REQUIRED BY CODE ALUMINUM VERTICAL MULLIONS TO RECEIVE STEEL STIFFENER TO ACHIEVE WIND LOAD CAPACITY.</p> <p>F. ALL WOOD FRAMING, BLOCKING, SHEATHING OR BRACING SHALL BE FIRE RETARDANT TREATED.</p> <p>G. DO NOT SCALE THESE DRAWINGS FOR DIMENSIONAL INFORMATION. REFER TO DIMENSIONS ON THE FLOOR PLANS AND ENLARGED PLANS. IF THERE IS A CONFLICT WITH THE PLAN DIMENSIONS OR AN EXISTING FIELD CONDITION, CONTACT THE ARCHITECT. DIMENSIONS ARE GIVEN TO FACE OF FINISH, UNO.</p> <p>H. REFER TO BUILDING ELEVATION DRAWINGS FOR FINISH MATERIAL CALL OUTS AND PAINT REQUIREMENTS. VERIFY COLOR OF MATERIALS NOT SHOWN ON THE DRAWINGS WITH THE ARCHITECT.</p> <p>I. ALL GYPSUM BOARD THROUGHOUT THE PROJECT SHALL BE 5/8" THICK, UNO. (TYPE 'X' IF REQUIRED) USE WATER RESISTANT GYPSUM BOARD AT ALL WET LOCATIONS AND 5/8" FIBER REINFORCED CEMENT BOARD BEHIND ALL WALL TILE.</p> <p>J. GALVANIZE ALL EXPOSED EXTERIOR STEEL.</p> |   |                         |          |   |            |                         |   |            |                        |   |            |                   |   |            |                         |   |            |                       |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |             |                     |   |  |
| <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th style="width: 10%; text-align: center;">△</th> <th style="width: 40%; text-align: center;">DATE</th> <th style="width: 50%; text-align: center;">REVISION</th> </tr> <tr> <td style="text-align: center;">1</td> <td style="text-align: center;">2019-07-30</td> <td style="text-align: center;">Issue for Client Review</td> </tr> <tr> <td style="text-align: center;">2</td> <td style="text-align: center;">2019-10-23</td> <td style="text-align: center;">Phase 2- For Approvals</td> </tr> <tr> <td style="text-align: center;">3</td> <td style="text-align: center;">2019-11-15</td> <td style="text-align: center;">Issued for Tender</td> </tr> <tr> <td style="text-align: center;">4</td> <td style="text-align: center;">2019-11-25</td> <td style="text-align: center;">Re-Issued for Approvals</td> </tr> <tr> <td style="text-align: center;">5</td> <td style="text-align: center;">2019-12-02</td> <td style="text-align: center;">Issued for Addendum 1</td> </tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> </table>   | △   | DATE                    | REVISION | 1 | 2019-07-30 | Issue for Client Review | 2 | 2019-10-23 | Phase 2- For Approvals | 3 | 2019-11-15 | Issued for Tender | 4 | 2019-11-25 | Re-Issued for Approvals | 5 | 2019-12-02 | Issued for Addendum 1 |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  | <p><b>PROJECT NO:</b> 193036</p> <p><b>DRAWN BY:</b> ZL</p> <p><b>CHECKED BY:</b> PJ</p> <p style="font-weight: bold; font-size: 14pt;">SHEET TITLE</p> <p style="font-size: 24pt; font-weight: bold; text-align: center; margin: 10px 0;">PROJECT INFO, SYMBOL<br/>&amp; ABBRV INDEX</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 40%; padding: 5px;"><b>SEAL</b></td> <td style="width: 60%; padding: 5px;"><b>SHEET NUMBER</b></td> </tr> <tr> <td style="padding: 10px; vertical-align: bottom;">  </td> <td style="padding: 10px; vertical-align: bottom; text-align: center;"> <p style="font-size: 48pt; font-weight: bold; margin: 0;">G001</p> </td> </tr> </table> |  | <b>SEAL</b> | <b>SHEET NUMBER</b> |  | <p style="font-size: 48pt; font-weight: bold; margin: 0;">G001</p> |
| △   | DATE  | REVISION                |          |   |            |                         |   |            |                        |   |            |                   |   |            |                         |   |            |                       |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |             |                     |   |  |
| 1   | 2019-07-30  | Issue for Client Review |          |   |            |                         |   |            |                        |   |            |                   |   |            |                         |   |            |                       |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |             |                     |   |  |
| 2   | 2019-10-23  | Phase 2- For Approvals  |          |   |            |                         |   |            |                        |   |            |                   |   |            |                         |   |            |                       |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |             |                     |   |  |
| 3   | 2019-11-15  | Issued for Tender       |          |   |            |                         |   |            |                        |   |            |                   |   |            |                         |   |            |                       |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |             |                     |   |  |
| 4   | 2019-11-25  | Re-Issued for Approvals |          |   |            |                         |   |            |                        |   |            |                   |   |            |                         |   |            |                       |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |             |                     |   |  |
| 5   | 2019-12-02  | Issued for Addendum 1   |          |   |            |                         |   |            |                        |   |            |                   |   |            |                         |   |            |                       |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |             |                     |   |  |
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| <b>SEAL</b>   | <b>SHEET NUMBER</b>   |                         |          |   |            |                         |   |            |                        |   |            |                   |   |            |                         |   |            |                       |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |             |                     |   |  |
|    | <p style="font-size: 48pt; font-weight: bold; margin: 0;">G001</p>  |                         |          |   |            |                         |   |            |                        |   |            |                   |   |            |                         |   |            |                       |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |             |                     |   |  |



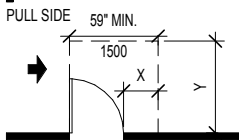
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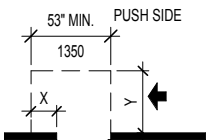
NOTE: X = 23 1/2" (600) MIN. BESIDE LATCH



NOTE: X = 12" (300) MIN. BESIDE LATCH

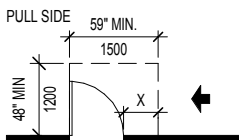


NOTE: X = 23 1/2" (600) MIN. BESIDE LATCH; Y = 59" (1500) MIN.

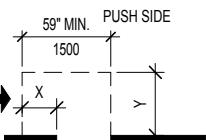


NOTE: X = 17 1/2" (450) MIN. BESIDE LATCH; Y = 42" (1050) MIN.

(B) HINGE SIDE APPROACHES - SWINGING DOORS

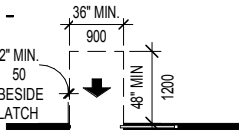


NOTE: X = 23 1/2" (600) MIN. BESIDE LATCH

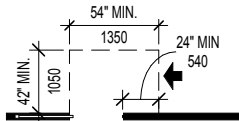


NOTE: X = 23 1/2" (600) MIN. BESIDE LATCH; Y = 42" (1050) MIN.

(C) LATCH SIDE APPROACHES - SWINGING DOORS



(D) FRONT APPROACH - SLIDING DRs & FOLDING DRs



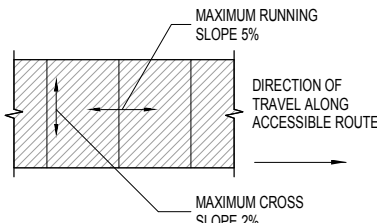
(E) SLIDE SIDE APPROACH - SLIDING DRs & FOLDING DRs

NOTE: ALL DOORS IN ALCOVES SHALL COMPLY WITH THE CLEARANCES FOR FRONT APPROACHES

(F) LATCH SIDE APPROACH - SLIDING DRs & FOLDING DRs

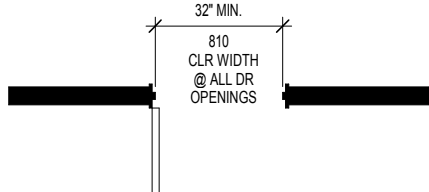
DOOR CLEARANCES

SCALE: 3/16" = 1'-0"



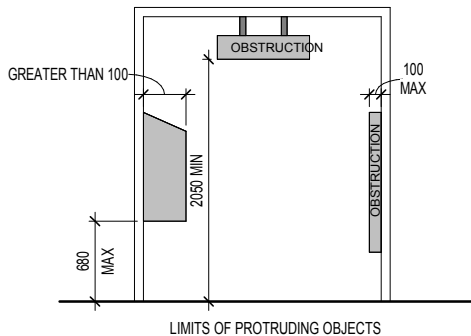
ACCESSIBLE ROUTES

SCALE: 3/8" = 1'-0"



DOOR - CLEAR WIDTH

SCALE: 1/2" = 1'-0"



PROTRUDING OBJECTS

SCALE: 3/8" = 1'-0"

ACCESSIBLE DOOR SHALL COMPLY WITH THE FOLLOWING:

1. THRESHOLD SHALL BE A MAXIMUM 1/2" (13mm) IN HEIGHT.
2. RAISED THRESHOLDS AND FLOOR LEVEL CHANGES AT ACCESSIBLE DOORWAYS SHALL BE BEVELED WITH A SLOPE OF NO MORE THAN 1:2.
3. MAXIMUM DOOR OPENING FORCE SHALL NOT EXCEED 8.5 POUNDS (38N) FOR EXTERIOR HINGED DOOR, 5 POUNDS (22N) FOR SLIDING, 5 POUNDS (22N) FOR INTERIOR DOOR.
4. DOOR HARDWARE SHALL BE LEVER HANDLE OR EQUIVALENT AND MOUNTED BETWEEN 35" (900mm) - 43" (1100mm) ABOVE FINISH FLOOR.
5. DOOR CLOSERS, WHERE PROVIDED, SHALL BE ADJUSTED TO CLOSE FROM 90 DEGREES TO 12 DEGREES WITHIN 3 SECONDS OR MORE.
6. ALL DOORS SHALL BE CAPABLE OF OPENING SO THAT THE CLEAR WIDTH OF THE OPENING IS NOT LESS THAN 32" (810mm).

LAVATORIES & ASSOCIATED MIRRORS TO BE INSTALLED AS SHOWN:

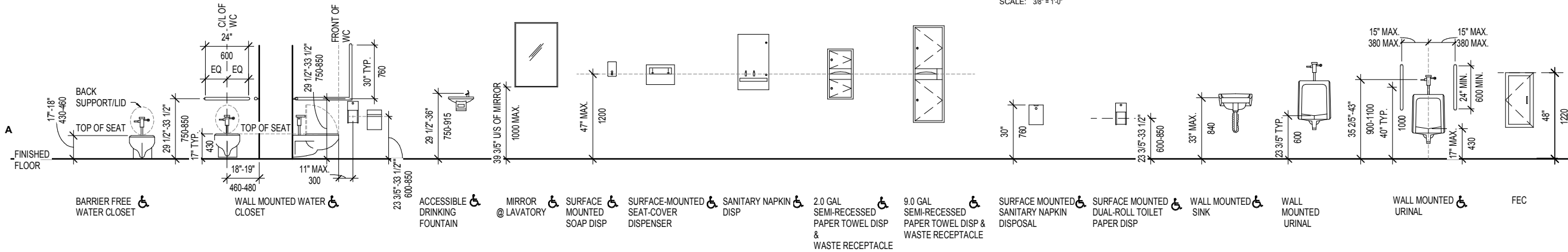
1. HEIGHT: LAVATORIES AND SINKS SHALL BE MOUNTED WITH THE RIM OF THE COUNTER SURFACE NO HIGHER THAN 34" (864mm) ABOVE FINISH FLOOR. THE TOTAL DEPTH OF CLEAR SPACE BENEATH THE LAVATORY SHALL NOT BE MORE THAN 19" (480mm) KNEE CLEARANCE SHALL BE AT LEAST 30" (750mm) W X 8" (200mm) D X 27" (685mm) H WITH AN ADDITIONAL TOE CLEARANCE AT LEAST 30" (750mm) W X 9" (230mm) D X 9" (230) H.
2. EXPOSED PIPES AND SURFACES: ALL PIPES UNDER LAVATORIES AND SINKS SHALL BE INSULATED OR OTHERWISE COVERED. THERE SHALL BE NO SHARP OR ABRASIVE SURFACE UNDER LAVATORIES OR SINKS.
3. FAUCETS: LEVER-OPERATED FAUCET CONTROL HANDLES SHALL BE LOCATED IN KITCHENS AND JANITORS CLOSETS NOT MORE THAN 17" (432mm) FROM THE FRONT EDGE OF THE LAVATORY, SINK, OR COUNTER. SELF CLOSING VALVES SHALL REMAIN OPEN FOR AT LEAST 10 SECONDS PER OPERATION.
4. MIRRORS SHALL BE MOUNTED WITH THE BOTTOM EDGE 39" (1000 mm) MAXIMUM ABOVE THE FINISH FLOOR OR GROUND.

CONTROLS & OPERATING MECHANISMS SHALL COMPLY WITH THE FOLLOWING:

1. CLEAR FLOOR SPACE: CLEAR FLOOR SPACE COMPLYING WITH NBC/CSA/ LOCATION REGULATION THAT ALLOWS A FORWARD OR PARALLEL APPROACH BY A PERSON USING A WHEELCHAIR SHALL BE PROVIDED AT CONTROLS, DISPENSERS, RECEPTACLES, AND THER OPERABLE EQUIPMENT.
2. HEIGHT: THE HEIGHTS OPERABLE PART OF CONTROLS, DISPENSERS, RECEPTACLES, AND OTHER EQUIPMENT SHALL BE LACED AT LEAST ON TO THE REACH RANGES 16" (400mm)- 47" (1200mm). ELECTRICAL AND COMMUNICATIONS SYSTEMS RECEPTACLES ON WALLS SHALL BE MOUNTED NO LESS THAN 15" (400mm) AFF. LL BE BEVELED WITH A SLOPE OF NO MORE THAN 1:2.
3. OPERATION: CONTROLS AND OPERATING MECHANISMS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE CONTROLS SHALL BE NO GREATER THAN 5 LBS (22N).

SIGNAGE SHALL COMPLY WITH THE FOLLOWING:

1. CHARACTER PROPORTION: LETTERS AND NUMBERS ON SIGNS SHALL HAVE A WIDTH TO HEIGHT RATIO BETWEEN 3:5 AND 1:1 AND STROKE TO HEIGHT RATIO BETWEEN 1:5 AND 1:10.
2. CHARACTER HEIGHT: MINIMUM CHARACTER HEIGHT SHALL BE RELATIVE TO THE INTENDED VIEWING DISTANCE IN COMPLIANCE TO NBC/CSA.
3. RAISED AND BRAILLED CHARACTER AND PICTORIAL SYMBOLS: LETTERS AND NUMERALS SHALL BE RAISED BETWEEN 0.8mm 1.5mm. UPPER CASE SANS SERIF TYPE SHALL BE ACCOMPANIED WITH GRADE 1 BRAILLE. RAISED CHARACTERS SHALL BE 3/5" (16mm) - 2" (50mm) IN HEIGHT. PICTOGRAM SHALL BE AT LEAST 6" (150mm) IN HIGH. COLOUR CONTRAST WITH THEIR BACKGROUND BY AT LEAST 70%.
4. FINISH AND CONTRAST: THE CHARACTERS AND BACKGROUND OF SIGNS SHALL BE EGGSHELL, MATTE, OR OTHER NON-GLARE FINISH. CHARACTERS AND SYMBOLS SHALL CONTRAST WITH THEIR BACKGROUND: EITHER LIGHT CHARACTERS ON A DARK BACKGROUND OR DARK CHARACTERS ON A LIGHT BACKGROUND.
5. MOUNTING LOCATION AND HEIGHT: MOUNTING LOCATION AND HEIGHT: IF USED TO IDENTIFY A DOOR, BE MOUNTED ON THE WALL ADJACENT TO THE LATCH SIDE OF THE DOOR, OR NEAREST ADJACENT WALL. LEADING VERTICAL EDGE 150 +/- 10mm FROM THE DOOR JAMB. BE MOUNTED WITH THE HORIZONTAL CENTRELINE 60" (1500 +/- 25mm) FROM THE FLOOR. MOUNTING LOCATION FOR SUCH SIGNAGE SHALL BE SO THAT A PERSON MAY APPROACH WITHIN 4" (100mm) OF SIGNAGE WITHOUT ENCOUNTERING PROTRUDING OBJECTS OR STANDING IN THE SWING OF THE DOOR. PROVIDE A CLEAR WALL AREA AROUND THE SIGN AT LEAST 3" (75mm) WIDE.



ACCESSORY MOUNTING HEIGHTS - TYP.

SCALE: 3/8" = 1'-0"

powers  
brown  
archit  
ecture

Architectural Consultant:  
Powers Brown Architecture  
354 Water St., Suite 212  
St. John's, NL A1C 1C4  
709.726.3941

www.powersbrown.com

PROJECT TITLE

WORKPLACENL  
WASHROOMS

148 FOREST ROAD,  
ST. JOHN'S, NL, A1A 1E6

A PROJECT FOR  
WORKPLACE NL

GENERAL NOTES

| △ | DATE       | REVISION                |
|---|------------|-------------------------|
| 1 | 2019-07-30 | Issue for Client Review |
| 2 | 2019-10-23 | Phase 2- For Approvals  |
| 3 | 2019-11-15 | Issued for Tender       |
| 4 | 2019-11-25 | Re-Issued for Approvals |
| 5 | 2019-12-02 | Issued for Addendum 1   |
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PROJECT NO: 193036

DRAWN BY: PBA

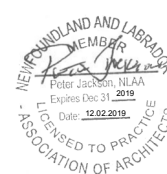
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SHEET TITLE

ACCESSIBILITY CODE  
SHEET

SEAL

SHEET NUMBER



G003  
(NBC)











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## SPECIFICATIONS

### DIVISION 10 SPECIALTIES

10 1400 SIGNAGE

SUMMARY:  
INTERIOR DOOR AND ROOM SIGNS TO COMPLY WITH CSA AND APPLICABLE CODES.

SUBMITTALS:  
SUBMIT PRODUCT DATA AND SAMPLES FOR APPROVAL.

PRODUCTS:  
ACRYLIC PLASTIC PANEL WITH TEXT IN CONTRASTING COLOR, 3 INCHES HIGH. USE HELVETICA FONT. PROVIDE GRAPHICS FOR TOILET ROOMS AND OTHER PUBLIC SPACES. SIGNS SHALL COMPLY WITH ADA REQUIREMENTS FOR SIZE AND PLACEMENT.

EXECUTION:  
INSTALL SIGNS USING PERMANENT TAPE ADHESIVE. COMPLY WITH MANUFACTURER'S INSTRUCTIONS.

10 4400 FIRE PROTECTION SPECIALTIES

SUMMARY:  
FIRE EXTINGUISHERS AND CABINETS TO COMPLY WITH CODE REQUIREMENTS.

SUBMITTALS:  
SUBMIT PRODUCT DATA.

PRODUCTS:  
COMPLY WITH NFPA 10 AND UL RATED. DRY CHEMICAL TYPE FIRE EXTINGUISHERS, CLASS A, B, C, SIZE 10 PAINTED RED COLOR. CABINETS SHALL BE RECESSED TRIMLESS TYPE. DOOR GLAZING SHALL BE CLEAR GLASS WITH "FIRE EXTINGUISHER" ON THE FACE. CABINET INTERIOR SHALL BE WHITE ENAMEL; EXTERIOR SHALL BE FIELD FINISHED.

EXECUTION:  
INSTALL WHERE REQUIRED BY CODE. SECURE RIGIDLY IN PLACE AND IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.

### DIVISION 11 DOOR HARDWARE

11 1400 DOOR OPERATORS

SUMMARY:  
POWER OPERATED PEDESTRIAN DOORS TO COMPLY WITH ANSIBHMA A156.10. DESIGN INTENT AND FUNCTION OF OPENING AS INDICATED IN HARDWARE GROUPS. SUPPLIER TO INCLUDE ADDITIONAL COMPONENTS AND POWER SUPPLIES REQUIRED TO PROPERLY OPERATE ALL HARDWARE DEVICES, DOOR CONTROL DEVICES, REMOTE CONTROL DEVICES, COMPLETE WITH ANY SPECIAL CABLES OR WIRINGS TO CONNECT ALL PARTS.

SUBMITTALS:  
SUBMIT PRODUCT DATA.

PRODUCTS: COMPLETE WITH ALL COMPONENTS INCLUDING OPERATOR HOUSING, POWER OPERATOR, ELECTRONIC CONTROL, SOFT START, SWITCHING NETWORKS, AND ALL CONNECTING HARDWARE. OPERATOR HOUSING SHALL BE COMPLETE WITH FINISHED END CAPS PREPARED FOR MOUNTING TO DOOR FRAME. OPERATOR HOUSING SHALL BE FACTORY ASSEMBLED WITH ALL NECESSARY COMPONENTS FOR PROPER OPERATION AND SWITCHING. RELAYS, WIRING HARNESS AND OTHER COMPONENTS SHALL BE PLUG-IN TYPE.

EXECUTION: INSTALLATION OF OPERATORS SHALL BE CARRIED OUT BY MANUFACTURER'S CERTIFIED AND AUTHORIZED PERSONNEL.

11 4401 DOOR CLOSERS AND ACCESSORIES

SUMMARY: DOOR CONTROLS (CLOSERS) TO COMPLY WITH ANSI/BHMA A156.4, DESIGNATED BY LETTER C AND NUMERAL IDENTIFIERS LISTED IN HARDWARE SCHEDULE, SIZE IN ACCORDANCE WITH ANSI/BHMA A156.4, TABLE A1.

SUBMITTALS:  
SUBMIT PRODUCT DATA.

PRODUCTS: CLOSERS OF NARROW, SLIM LINE DESIGN COMPLETE WITH BACKCHECK, RACK AND PINION HYDRAULIC ACTION. CLOSERS EQUIPPED WITH FULL COVER, AS NOTED IN HARDWARE GROUPS. COMPLETE WITH SECURE AND CONCEALED MOUNTING SCREWS. ADAPTER PLATES FOR ADDED REINFORCING SHALL BE ADDED TO ANY OPENING IF REQUIRED TO SUIT FIELD CONDITIONS OR DOOR DESIGN. CLOSERS SHALL INCLUDE ALL NECESSARY ARM BRACKETS, CUSH ARM SUPPORTS AND BLADE STOP SPACERS TO SUIT DOOR SWING, FRAME REVEALS OR STOP CONDITIONS.

EXECUTION: INSTALLATION OF OPERATORS SHALL BE CARRIED OUT BY MANUFACTURER'S CERTIFIED AND AUTHORIZED PERSONNEL. FINISH AS INDICATED IN HARDWARE GROUPS.

|   |              |                         |
|---|--------------|-------------------------|
| <div><div>powersbrownarchitecture</div><div>Architectural Consultant:<br/>Powers Brown Architecture<br/>354 Water St., Suite 212<br/>St. John's, NL A1C 1C4<br/>709.726.3941<br/><a href="http://www.powersbrown.com">www.powersbrown.com</a></div></div> |              |                         |
| PROJECT TITLE   |              |                         |
| WORKPLACENL<br>WASHROOMS<br>148 FOREST ROAD,<br>ST. JOHN'S, NL, A1A 1E6   |              |                         |
| A PROJECT FOR<br>WORKPLACE NL   |              |                         |
| GENERAL NOTES   |              |                         |
|   |              |                         |
| <div><div></div><div>1</div></div>  | DATE         | REVISION                |
| <div><div></div><div>2</div></div>  | 2019-07-30   | Issue for Client Review |
| <div><div></div><div>3</div></div>  | 2019-10-23   | Phase 2- For Approvals  |
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| <div><div></div><div>5</div></div>  | 2019-11-25   | Re-Issued for Approvals |
| <div><div></div><div>6</div></div>  | 2019-12-02   | Issued for Addendum 1   |
| <div><div></div><div>7</div></div>  |              |                         |
| <div><div></div><div>8</div></div>  |              |                         |
| <div><div></div><div>9</div></div>  |              |                         |
| <div><div></div><div>10</div></div>   |              |                         |
| PROJECT NO: 193036  |              |                         |
| DRAWN BY: PBA   |              |                         |
| CHECKED BY: PJ  |              |                         |
| SHEET TITLE   |              |                         |
| SHEET SPECIFICATIONS  |              |                         |
| SEAL  | SHEET NUMBER |                         |
| <div><div>NEWFOUNDLAND AND LABRADOR<br/>MEMBER<br/>Peter Jacobson, NLAA<br/>Expires Dec 31, 2019<br/>Date 12.02.2019<br/>LICENSED TO PRACTICE<br/>ASSOCIATION OF ARCHITECTS</div></div>   | G007         |                         |

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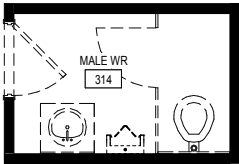
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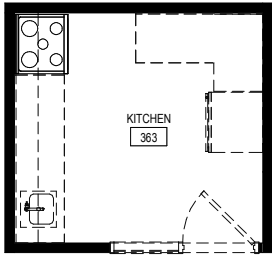
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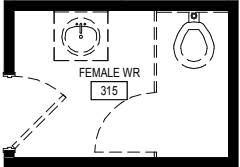
**A4** LEVEL 03 MALE HEALTHCARE WR- DEMO  
SCALE: 1/4" = 1'-0"



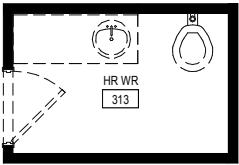
**A3** LEVEL 03 KITCHENETTE WITH STOVE- DEMO  
SCALE: 1/4" = 1'-0"



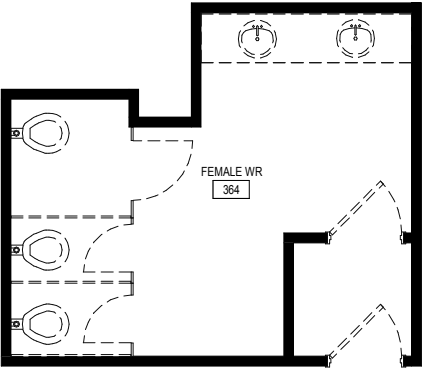
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SCALE: 1/4" = 1'-0"



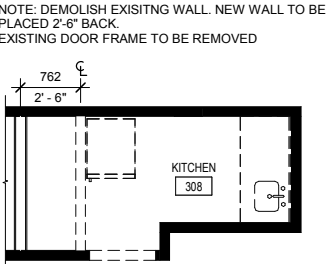
**A2** LEVEL 03 HR WR- DEMO  
SCALE: 1/4" = 1'-0"



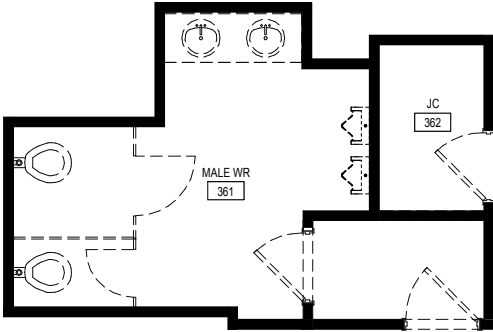
**B2** LEVEL 03 WOMANS WR-DEMO  
SCALE: 1/4" = 1'-0"



**A1** LEVEL 03 HR KITCHENETTE- DEMO  
SCALE: 1/4" = 1'-0"



**B1** LEVEL 03 MALE WR & JANITORS CLOSET- DEMO  
SCALE: 1/4" = 1'-0"



NOTE: DEMOLISH EXISITNG WALL. NEW WALL TO BE PLACED 2'-6" BACK.  
EXISTING DOOR FRAME TO BE REMOVED

## ARCHITECTURAL DEMOLITION NOTES

- THE INTENT OF THE DEMOLITION DRAWINGS IS TO PROVIDE A GUIDE FOR DEMOLITION WORK IN THE AREA OF WORK. GENERAL CONTRACTOR SHALL PROCEED WITH CAUTION AND INVESTIGATE EXISTING CONDITIONS THROUGHLY BEFORE PROCEEDING WITH ANY WORK.
- IF THE DEMOLITION WORK REVEALS CONDITIONS THAT CONFLICT WITH THE PROPOSED NEW WORK, THE GENERAL CONTRACTOR SHALL IMMEDIATELY BRING SUCH MATTERS TO THE ARCHITECTS/INTERIOR DESIGNER'S ATTENTION FOR RESOLUTION BEFORE PROCEEDING WITH NEW WORK.
- GENERAL CONTRACTOR IS TO PROTECT ALL EXISTING CONSTRUCTION TO REMAIN. ANY DAMAGE TO EXISTING ITEMS TO BE REPAIRED AT NO ADDITIONAL COST TO THE TENANT TO LIKE NEW CONDITION. IN ALL AREAS WITH NEW MATERIALS, PARTITIONS, OR PRODUCTS ARE INSTALLED, THE GENERAL CONTRACTOR SHALL PATCH AND FINISH WALLS, FLOORS, CEILINGS, AND AFFECTED AREAS AS REQUIRED.
- REMOVE WALLS SHOWN AS DASHED (TYP.)
- ALL EXISTING FINISHED WITHIN AREA OF WORK TO BE REMOVED AS PER MANUFACTURER'S RECOMMENDATIONS. EXISTING WALLS AND FLOORING TO REMAIN WHERE INDICATED SHALL BE PATCHED TO ACHIEVE A SMOOTH TRANSITION. SEE FINISH PLAN FOR NEW WORK.
- PATCH AND REPAIR ALL EXISTING EXTERIOR AND CORE WALLS FOR A 'LIKE NEW' APPEARANCE.
- ALL EXISTING EQUIPMENT, WIRING, PIPING, DUCTWORK, AND DEVICES ABOVE THE CEILING THAT ARE NOT REQUIRED FOR NEW WORK SHALL BE REMOVED BACK TO THE SOURCE.
- PATCH ALL FLOOR PENETRATIONS WITH FIRE RATED CONCRETE AS REQUIRED. PREP SLAB FOR NEW FINISHES.
- ALL DOORS, FRAMES AND ASSOCIATED HARDWARE SHOW AS DASHED ARE TO BE REMOVED. UNO. ALL DOORS, FRAMES AND HARDWARE THAT ARE IN GOOD CONDITION TO BE RETURNED TO BLDG STORAGE
- DEMOLISH ALL EXISTING WALL MOUNTED RECESSED PAPER TOWEL DISPENSERS/WASTE DISPOSALS.

powers  
brown  
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ecture

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Powers Brown Architecture  
354 Water St., Suite 212  
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www.powersbrown.com

## PROJECT TITLE

WORKPLACENL  
WASHROOMS  
148 FOREST ROAD,  
ST. JOHN'S, NL, A1A 1E6

A PROJECT FOR  
WORKPLACE NL

## GENERAL NOTES

REFER TO SHEET G001 FOR ADDITIONAL PLAN SYMBOLS

- EXISTING MILLWORK TO REMAIN
- INDICATES MILLWORK TO BE DEMOLISHED
- EXISTING CONSTRUCTION TO REMAIN
- EXISTING CONSTRUCTION TO BE DEMOLISHED
- EXISTING DOOR TO REMAIN
- EXISTING DOOR TO BE REMOVED

## NOTES:

- CONTRACTOR TO OBTAIN AND PAY FOR ALL PERMITS AND FEES REQUIRED TO CARRY OUT AND COMPLETE THE WORK.
- CONTRACTOR MUST GUARANTEE ALL WORK FOR A PERIOD OF ONE (1) YEAR AFTER DATE OF COMPLETION
- ANY RECESSED EQUIPMENT TO BE REMOVED AND INFILL WALL TO MATCH EXISTING CONSTRUCTION.

| △ | DATE       | REVISION                |
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PROJECT NO: 193036

DRAWN BY: Z.L.

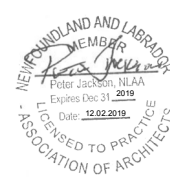
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## SHEET TITLE

LEVEL 03 DEMOLITION  
PLAN

SEAL

SHEET NUMBER

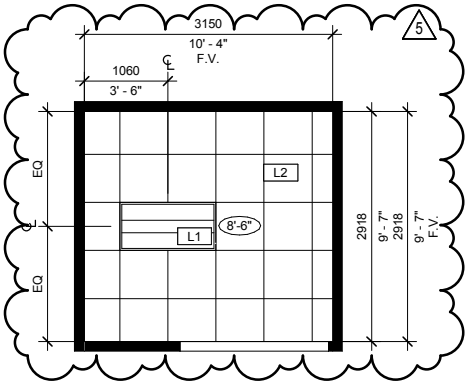


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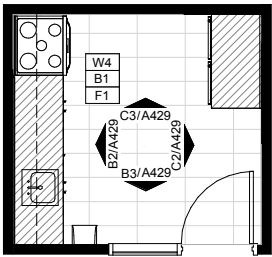
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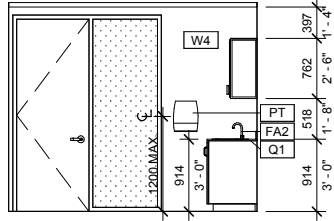
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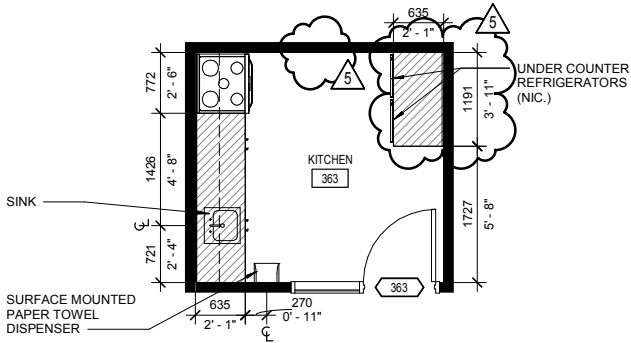
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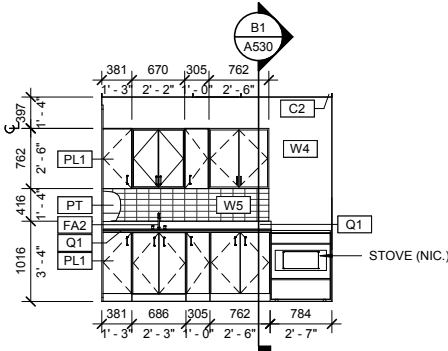
**B3** LEVEL 03 KITCHENETTE WITH STOVE- SOUTH  
SCALE: 1/4" = 1'-0"



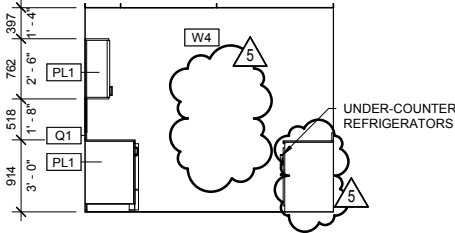
**A2** LEVEL 03 KITCHENETTE WITH STOVE- PLAN  
SCALE: 1/4" = 1'-0"



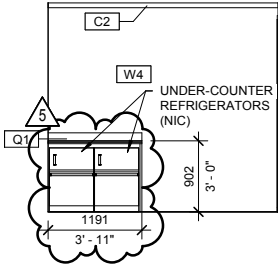
**B2** LEVEL 03 KITCHENETTE WITH STOVE- WEST  
SCALE: 1/4" = 1'-0"



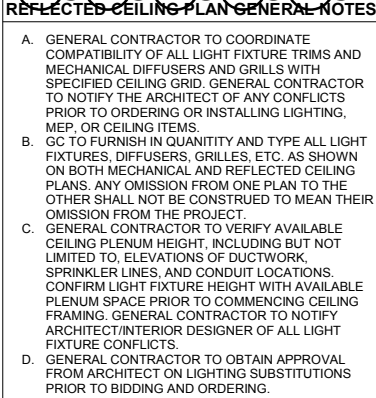
**C3** LEVEL 03 KITCHENETTE WITH STOVE- NORTH  
SCALE: 1/4" = 1'-0"



**C2** LEVEL 03 KITCHENETTE WITH STOVE- EAST  
SCALE: 1/4" = 1'-0"



**A2** LEVEL 03 KITCHENETTE WITH STOVE- PLAN  
SCALE: 1/4" = 1'-0"



REFLECTED CEILING PLAN GENERAL NOTES

- A. GENERAL CONTRACTOR TO COORDINATE COMPATIBILITY OF ALL LIGHT FIXTURE TRIMS AND MECHANICAL DIFFUSERS AND GRILLS WITH SPECIFIED CEILING GRID. GENERAL CONTRACTOR TO NOTIFY THE ARCHITECT OF ANY CONFLICTS PRIOR TO ORDERING OR INSTALLING LIGHTING, MEP, OR CEILING ITEMS.
- B. GC TO FURNISH IN QUANTITY AND TYPE ALL LIGHT FIXTURES, DIFFUSERS, GRILLES, ETC. AS SHOWN ON BOTH MECHANICAL AND REFLECTED CEILING PLANS. ANY OMISSION FROM ONE PLAN TO THE OTHER SHALL NOT BE CONSTRUED TO MEAN THEIR OMISSION FROM THE PROJECT.
- C. GENERAL CONTRACTOR TO VERIFY AVAILABLE CEILING PLENUM HEIGHT, INCLUDING BUT NOT LIMITED TO, ELEVATIONS OF DUCTWORK, SPRINKLER LINES, AND CONDUIT LOCATIONS. CONFIRM LIGHT FIXTURE HEIGHT WITH AVAILABLE PLENUM SPACE PRIOR TO COMMENCING CEILING FRAMING. GENERAL CONTRACTOR TO NOTIFY ARCHITECT/INTERIOR DESIGNER OF ALL LIGHT FIXTURE CONFLICTS.
- D. GENERAL CONTRACTOR TO OBTAIN APPROVAL FROM ARCHITECT ON LIGHTING SUBSTITUTIONS PRIOR TO BIDDING AND ORDERING.

FINISH PLAN GENERAL NOTES

- A. ALL FLOORING TO BE TYPE F1, UNLESS NOTED OTHERWISE.
- B. ALL BASE TO BE TYPE B1, UNLESS NOTED OTHERWISE.
- C. ALL WALLS WITHIN THE AREA OF WORK INCLUDING EXISTING WALLS, TO BE TAPED, FLOATED, AND SKIMMED FOR SMOOTH APPLICATION OF FINISHES.
- D. ALL WALLS TO BE PAINTED WITH (1) PRIMER COAT PLUS (2) FINISH COATS MINIMUM. UNO.
- E. ALL FLOORING TRANSITIONS SHALL OCCUR AT THE CENTER OF DOORWAYS, UNLESS NOTED OTHERWISE. PROVIDE TRANSITION STRIP AT CENTERLINE FOR DOORWAYS OR CASED OPENINGS BETWEEN FLOORING TRANSITIONS.
- F. GENERAL CONTRACTOR TO FLOAT WALL ALL THE WAY TO FLOOR AS PREP FOR NEW BASE INSTALLATION.
- G. ALL GROUT LINES SHALL BE NO GREATER THAN 1/16" WIDE. GROUT ALL LOCATIONS. IF MANUFACTURER RECOMMENDS LARGER GROUT SIZE, NOTIFY ARCHITECT FOR APPROVAL PRIOR TO INSTALLING.
- H. GENERAL CONTRACTOR TO PREPARE EXISTING SLAB FOR INSTALLATION OF NEW FINISHES PER MANUFACTURER'S RECOMMENDATIONS. GENERAL CONTRACTOR TO REMOVE ALL FOREIGN MATTER INCLUDING DIRT, GREASE, WAX, OIL AND/OR PAINT. CRACKS, HOLES, AND DEPRESSIONS SHALL BE FILLED WITH QUALITY GRADE FLASHING.
- I. GC TO VERIFY WITH MANUFACTURER REQUIRED FINISH/SEALANT AND FLOOR LEVELING FOR ALL FLOORING PRIOR TO ORDERING.
- J. ALL RUBBER BASE TO BE 1/8" THICKNESS.
- K. ALL EXISTING DOORS TO BE PAINTED U.N.O.
- L. FLOOR TILES TO MATCH WITH WALL TILES IN.
- M. SECURITY KEYS TO REMAIN. WALLS TO BE PROTECTED.
- N. WALL TILES TO RUN TO UNDERSIDE OF CEILING WHERE APPLICABLE.

ARCHITECTURAL PLAN NOTES

- A. ALL ALTERATIONS TO MEET CURRENT LOCAL ACCESSIBILITY CODES AND CURRENT MUNICIPALITY REQUIREMENTS.
- B. THE ARCHITECT/INTERIOR DESIGNER IS NOT RESPONSIBLE FOR ANY ALTERATIONS MADE WITHOUT PRIOR APPROVAL FROM THE GOVERNING AUTHORITY.
- C. GENERAL CONTRACTOR TO DETERMINE FIRE RATING OF EXISTING COMPONENTS AND MATCH FIRE RATING AS REQUIRED FOR ANY NEW WORK, WHICH INCLUDES REPAIR OR REPLACEMENT OF FIRE RATED WALLS, OR FOR ANY NEW PENETRATIONS IN FIRE RATED COMPONENTS. GENERAL CONTRACTOR SHOULD NOTIFY THE ARCHITECT/INTERIOR DESIGNER IMMEDIATELY IF ANY FIRE RATED COMPONENTS ARE UNCOVERED DURING DEMOLITION THAT WERE NOT IDENTIFIED ON THE CONSTRUCTION DOCUMENTS.
- D. GENERAL CONTRACTOR IS RESPONSIBLE FOR PATCHING AND REPAIRING ANY SPRAY-APPLIED FIRE PROOFING THAT IS ON EXISTING STRUCTURAL ELEMENTS IF IT IS DISTURBED OR DAMAGED DURING CONSTRUCTION. REPAIR MUST BE DONE TO COMPLY WITH ULC LISTING REQUIREMENTS FOR THE SYSTEM AND MUST ALSO COMPLY WITH EXISTING FIRE RATINGS.
- E. PATCH AND REPAIR ALL EXISTING WALLS AS REQUIRED IN PREPARATION FOR NEW FINISH.
- F. GENERAL CONTRACTOR TO PROVIDE SUBMITTAL MATERIALS, TO INCLUDE PRODUCT DATA, CUT SHEETS, AND FINISH SAMPLES, TO ARCHITECT/INTERIOR DESIGNER AND ENGINEERS FOR FORMAL REVIEW PRIOR TO ORDERING ANY MATERIALS FOR THE PROPOSED WORK.
- G. GENERAL CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR ALL MILLWORK, INCLUDING SECTIONS, CONSTRUCTION DETAILS, DIMENSIONS, AND ALL PROPOSED FINISHES AND MATERIALS LISTED FOR TENANT AND ARCHITECT/INTERIOR DESIGNER APPROVAL PRIOR TO CONSTRUCTION OF MILLWORK.
- H. PROVIDE MOISTURE RESISTANT TYPE X GYPSUM BOARD AT ANY WALLS IN WET AREAS, INCLUDING WALLS OF LAVATORIES, SINKS, DRINKING FOUNTAINS, BREAK ROOMS, MOP SINKS, ETC THAT ARE NOT TO RECEIVE TILE. ANY WALLS IN WET AREAS TO RECEIVE TILE TO HAVE CEMENTITIOUS BACKER BOARD BEHIND TILE IN ALL LOCATIONS.
- I. PROVIDE POWER ASSISTED DOOR CONTROL FOR EACH WASHROOM.
- J. ALL NEW LAVATORIES, SOAP DISPENSERS AND PAPER TOWEL DISPENSERS TO BE AUTOMATIC U.N.O.
- K. ALL NEW TOILETS TO BE WALL MOUNTED REFER TO SHEET A04 FOR INTERIOR FINISH SCHEDULE.
- M. EXISTING EMERGENCY LIGHTS TO REMAIN.

PROJECT NO: 193036

DRAWN BY: Z.L.

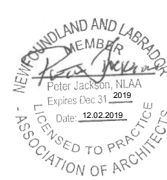
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SHEET TITLE

LEVEL 03 ENLARGED  
PLANS AND ELEVATIONS

SEAL

SHEET NUMBER



A429

**powers brown architecture**

Architectural Consultant:  
Powers Brown Architecture  
354 Water St., Suite 212  
St. John's, NL A1C 1C4  
709.726.3941  
www.powersbrown.com

PROJECT TITLE

WORKPLACENL  
WASHROOMS  
148 FOREST ROAD,  
ST. JOHN'S, NL, A1A 1E6

A PROJECT FOR  
WORKPLACE NL

GENERAL NOTES

- SUSPENDED 2' X 2' CEILING
- GYP BD CEILING
- 2' X 4' DIRECT/INDIRECT FIXTURE
- 4" ROUND DOWNLIGHT FIXTURE

NOTES:

- A. CONTRACTOR TO OBTAIN AND PAY FOR ALL PERMITS AND FEES REQUIRED TO CARRY OUT AND COMPLETE THE WORK.
- B. CONTRACTOR MUST GUARANTEE ALL WORK FOR A PERIOD OF ONE YEAR AFTER DATE OF COMPLETION.
- C. EQUIPMENT FOR POWER OPERATORS REQUIRED ON ALL WASHROOM DOORS. POWER OPERATORS LOCATED AND INSTALLED TO MEET CSA REQUIREMENTS.
- D. ALL DOOR SIZES TO BE VERIFIED ON-SITE TO CONFIRM EXISTING OPENINGS.

F.V. = FIELD VERIFY

- EXISTING CONSTRUCTION
- NEW CONSTRUCTION
- EXISTING DOOR

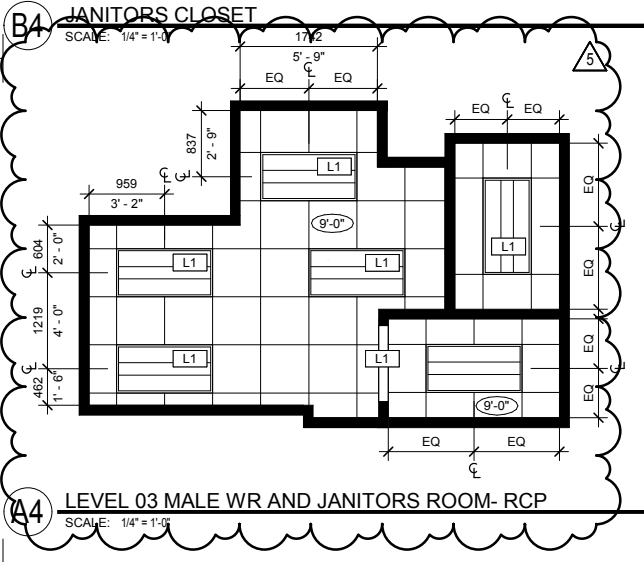


D

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B

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**ARCHITECTURAL PLAN NOTES**

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E. PATCH AND REPAIR ALL EXISTING WALLS AS REQUIRED IN PREPARATION FOR NEW FINISH.

F. GENERAL CONTRACTOR TO PROVIDE SUBMITTAL MATERIALS, TO INCLUDE PRODUCT DATA, CUT SHEETS, AND FINISH SAMPLES, TO ARCHITECT/INTERIOR DESIGNER AND ENGINEERS FOR FORMAL REVIEW PRIOR TO ORDERING ANY MATERIALS FOR THE PROPOSED WORK.

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I. PROVIDE POWER ASSISTED DOOR CONTROL FOR EACH WASHROOM

J. ALL NEW LAVATORIES, SOAP DISPENSERS AND PAPER TOWEL DISPENSERS TO BE AUTOMATIC U.N.O.

K. ALL NEW TOILETS TO BE WALL MOUNTED REFER TO SHEET 360 FOR INTERIOR FINISH SCHEDULE.

M. EXISTING EMERGENCY LIGHTS TO REMAIN

**FINISH PLAN GENERAL NOTES**

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J. ALL RUBBER BASE TO BE 1/8" THICKNESS.

K. ALL EXISTING DOORS TO BE PAINTED U.N.O.

L. FLOOR TILES TO ALIGN WITH WALL TILES WHERE SECURITY KEYS TO REMAIN, WALLS TO BE PROTECTED.

N. WALL TILES TO RUN TO UNDERSIDE OF CEILING WHERE APPLICABLE

**REFLECTED CEILING PLAN GENERAL NOTES**

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D. GENERAL CONTRACTOR TO OBTAIN APPROVAL FROM ARCHITECT ON LIGHTING SUBSTITUTIONS PRIOR TO BIDDING AND ORDERING.

**GENERAL NOTES**

SUSPENDED 2' X 2' CEILING

GYP BD CEILING

2' X 4' DIRECT/INDIRECT FIXTURE

4" ROUND DOWNLIGHT FIXTURE

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F.V. = FIELD VERIFY

EXISTING CONSTRUCTION

NEW CONSTRUCTION

EXISTING DOOR

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**PROJECT NO:** 193036

**DRAWN BY:** Z.L.

**CHECKED BY:** P.J.

**SHEET TITLE**

**LEVEL 03 ENLARGED PLANS AND ELEVATIONS**

| SEAL | SHEET NUMBER |
|------|--------------|
|      | <b>A430</b>  |

**powers brown architecture**

Architectural Consultant:  
Powers Brown Architecture  
354 Water St., Suite 212  
St. John's, NL A1C 1C4  
709.726.3941  
www.powersbrown.com

**PROJECT TITLE**

**WORKPLACENL WASHROOMS**  
148 FOREST ROAD,  
ST. JOHN'S, NL, A1A 1E6

**A PROJECT FOR**  
**WORKPLACE NL**

**GENERAL NOTES**

SUSPENDED 2' X 2' CEILING

GYP BD CEILING

2' X 4' DIRECT/INDIRECT FIXTURE

4" ROUND DOWNLIGHT FIXTURE

NOTES:

A. CONTRACTOR TO OBTAIN AND PAY FOR ALL PERMITS AND FEES REQUIRED TO CARRY OUT AND COMPLETE THE WORK

B. CONTRACTOR MUST GUARANTEE ALL WORK FOR A PERIOD OF ONE (1) YEAR AFTER DATE OF COMPLETION

C. EQUIPMENT FOR POWER OPERATORS REQUIRED ON ALL WASHROOM DOORS. POWER OPERATORS LOCATED AND INSTALLED TO MEET CSA REQUIREMENTS.

D. ALL DOOR SIZES TO BE VERIFIED ON-SITE TO CONFIRM EXISTING OPENINGS

F.V. = FIELD VERIFY

EXISTING CONSTRUCTION

NEW CONSTRUCTION

EXISTING DOOR

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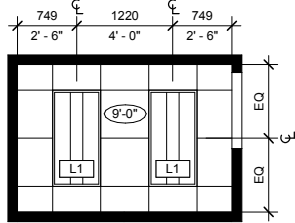
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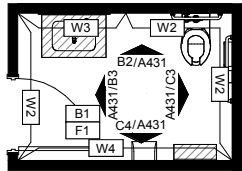
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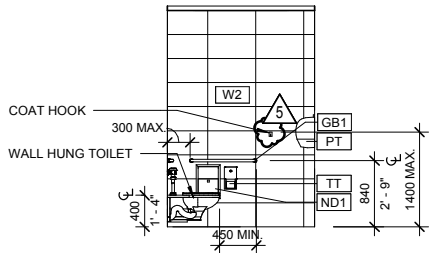
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SCALE: 1/4" = 1'-0"



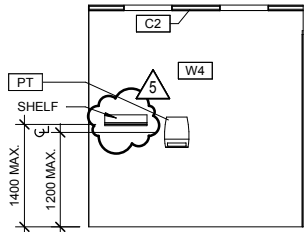
**A3** LEVEL 03 FEMALE HEALTHCARE WR- PLAN  
SCALE: 1/4" = 1'-0"



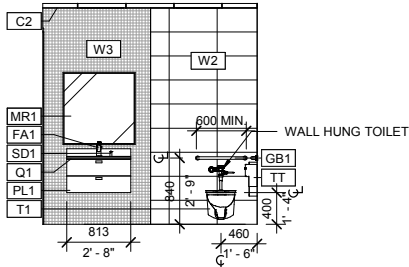
**C3** FEMALE HEALTHCARE WR- NORTH  
SCALE: 1/4" = 1'-0"



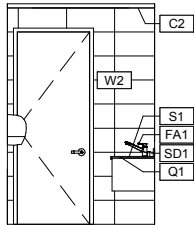
**C4** FEMALE HEALTHCARE WR- EAST  
SCALE: 1/4" = 1'-0"



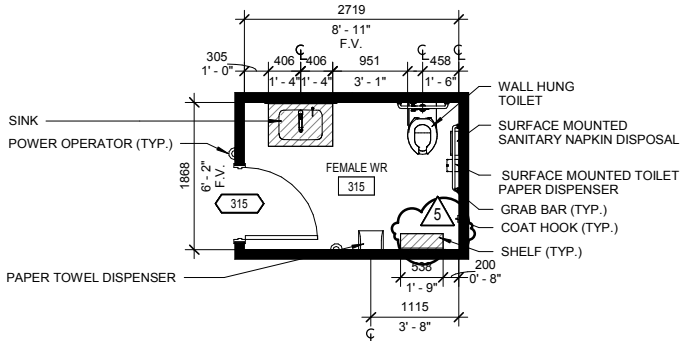
**B2** FEMALE HEALTHCARE WR- WEST  
SCALE: 1/4" = 1'-0"



**B3** FEMALE HEALTHCARE WR- SOUTH  
SCALE: 1/4" = 1'-0"



**A2** LEVEL 03 FEMALE HEALTHCARE WR- PLAN  
SCALE: 1/4" = 1'-0"



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## ARCHITECTURAL PLAN NOTES

- ALL ALTERATIONS TO MEET CURRENT LOCAL ACCESSIBILITY CODES AND CURRENT MUNICIPALITY REQUIREMENTS.
- THE ARCHITECT/INTERIOR DESIGNER IS NOT RESPONSIBLE FOR ANY ALTERATIONS MADE WITHOUT PRIOR APPROVAL FROM THE GOVERNING AUTHORITY.
- GENERAL CONTRACTOR TO DETERMINE FIRE RATING OF EXISTING COMPONENTS AND MATCH FIRE RATING AS REQUIRED FOR ANY NEW WORK, WHICH INCLUDES REPAIR OR REPLACEMENT OF FIRE RATED WALLS, OR FOR ANY NEW PENETRATIONS IN FIRE RATED COMPONENTS. GENERAL CONTRACTOR SHOULD NOTIFY THE ARCHITECT/INTERIOR DESIGNER IMMEDIATELY IF ANY FIRE RATED COMPONENTS ARE UNCOVERED DURING DEMOLITION THAT WERE NOT IDENTIFIED ON THE CONSTRUCTION DOCUMENTS.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR PATCHING AND REPAIRING ANY SPRAY-APPLIED FIRE PROOFING THAT IS ON EXISTING STRUCTURAL ELEMENTS IF IT IS DISTURBED OR DAMAGED DURING CONSTRUCTION. REPAIR MUST BE DONE TO COMPLY WITH ULC LISTING REQUIREMENTS FOR THE SYSTEM AND MUST ALSO COMPLY WITH EXISTING FIRE RATINGS.
- PATCH AND REPAIR ALL EXISTING WALLS AS REQUIRED IN PREPARATION FOR NEW FINISH.
- GENERAL CONTRACTOR TO PROVIDE SUBMITTAL MATERIALS, TO INCLUDE PRODUCT DATA, CUT SHEETS, AND FINISH SAMPLES, TO ARCHITECT/INTERIOR DESIGNER AND ENGINEERS FOR FORMAL REVIEW PRIOR TO ORDERING ANY MATERIALS FOR THE PROPOSED WORK.
- GENERAL CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR ALL MILLWORK, INCLUDING SECTIONS, CONSTRUCTION DETAILS, DIMENSIONS, AND ALL PROPOSED FINISHES AND MATERIALS LISTED FOR TENANT AND ARCHITECT/INTERIOR DESIGNER APPROVAL PRIOR TO CONSTRUCTION OF MILLWORK.
- PROVIDE MOISTURE RESISTANT TYPE X GYPSUM BOARD AT ANY WALLS IN WET AREAS, INCLUDING WALLS OF LAVATORIES, SINKS, DRINKING FOUNTAINS, BREAK ROOMS, MOP SINKS, ETC THAT ARE NOT TO RECEIVE TILE. ANY WALLS IN WET AREAS TO RECEIVE TILE TO HAVE CEMENTITIOUS BACKER BOARD BEHIND TILE IN ALL LOCATIONS.
- PROVIDE POWER ASSISTED DOOR CONTROL FOR EACH WASHROOM.
- ALL NEW LAVATORIES, SOAP DISPENSERS AND PAPER TOWEL DISPENSERS TO BE AUTOMATIC U.N.O.
- ALL NEW TOILETS TO BE WALL MOUNTED.
- REFER TO SHEET A431 FOR INTERIOR FINISH SCHEDULE.
- EXISTING EMERGENCY LIGHTS TO REMAIN.

## FINISH PLAN GENERAL NOTES

- ALL FLOORING TO BE TYPE F1, UNLESS NOTED OTHERWISE.
- ALL BASE TO BE TYPE B1, UNLESS NOTED OTHERWISE.
- ALL WALLS WITHIN THE AREA OF WORK INCLUDING EXISTING WALLS, TO BE TAPED, FLOATED, AND SKIMMED FOR SMOOTH APPLICATION OF FINISHES.
- ALL WALLS TO BE PAINTED WITH (1) PRIMER COAT PLUS (2) FINISH COATS MINIMUM. UNO.
- ALL FLOORING TRANSITIONS SHALL OCCUR AT THE CENTER OF DOORWAYS, UNLESS NOTED OTHERWISE. PROVIDE TRANSITION STRIP AT CENTERLINE FOR DOORWAYS OR CASED OPENINGS BETWEEN FLOORING TRANSITIONS.
- GENERAL CONTRACTOR TO FLOAT WALL ALL THE WAY TO FLOOR AS PREP FOR NEW BASE INSTALLATION.
- ALL GROUT LINES SHALL BE NO GREATER THAN 1/16" WIDE. GROUT ALL LOCATIONS. IF MANUFACTURER RECOMMENDS LARGER GROUT SIZE, NOTIFY ARCHITECT FOR APPROVAL PRIOR TO INSTALLING.
- GENERAL CONTRACTOR TO PREPARE EXISTING SLAB FOR INSTALLATION OF NEW FINISHES PER MANUFACTURER'S RECOMMENDATIONS. GENERAL CONTRACTOR TO REMOVE ALL FOREIGN MATTER INCLUDING DIRT, GREASE, WAX, OIL AND/OR PAINT. CRACKS, HOLES, AND DEPRESSIONS SHALL BE FILLED WITH QUALITY GRADE FLASHING.
- GC TO VERIFY WITH MANUFACTURER REQUIRED FINISH/SEALANT AND FLOOR LEVELING FOR ALL FLOORING PRIOR TO ORDERING.
- ALL RUBBER BASE TO BE 1/8" THICKNESS.
- ALL EXISTING DOORS TO BE PAINTED U.N.O.
- FLOOR TILES TO BE LAYED WITH 1/8" TILE VS.
- SECURITY KEYS TO REMAIN, WALLS TO BE PROTECTED.
- WALL TILES TO RUN TO UNDERSIDE OF CEILING WHERE APPLICABLE.

## REFLECTED CEILING PLAN GENERAL NOTES

- GENERAL CONTRACTOR TO COORDINATE COMPATIBILITY OF ALL LIGHT FIXTURE TRIMS AND MECHANICAL DIFFUSERS AND GRILLS WITH SPECIFIED CEILING GRID. GENERAL CONTRACTOR TO NOTIFY THE ARCHITECT OF ANY CONFLICTS PRIOR TO ORDERING OR INSTALLING LIGHTING, MEP, OR CEILING ITEMS.
- GC TO FURNISH IN QUANTITY AND TYPE ALL LIGHT FIXTURES, DIFFUSERS, GRILLES, ETC. AS SHOWN ON BOTH MECHANICAL AND REFLECTED CEILING PLANS. ANY OMISSION FROM ONE PLAN TO THE OTHER SHALL NOT BE CONSTRUED TO MEAN THEIR OMISSION FROM THE PROJECT.
- GENERAL CONTRACTOR TO VERIFY AVAILABLE CEILING PLENUM HEIGHT, INCLUDING BUT NOT LIMITED TO, ELEVATIONS OF DUCTWORK, SPRINKLER LINES, AND CONDUIT LOCATIONS. CONFIRM LIGHT FIXTURE HEIGHT WITH AVAILABLE PLENUM SPACE PRIOR TO COMMENCING CEILING FRAMING. GENERAL CONTRACTOR TO NOTIFY ARCHITECT/INTERIOR DESIGNER OF ALL LIGHT FIXTURE CONFLICTS.
- GENERAL CONTRACTOR TO OBTAIN APPROVAL FROM ARCHITECT ON LIGHTING SUBSTITUTIONS PRIOR TO BIDDING AND ORDERING.

powers  
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ecture

Architectural Consultant:  
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## PROJECT TITLE

WORKPLACENL  
WASHROOMS  
148 FOREST ROAD,  
ST. JOHN'S, NL, A1A 1E6

A PROJECT FOR  
WORKPLACE NL

## GENERAL NOTES

- SUSPENDED 2' X 2' CEILING
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PROJECT NO: 193036

DRAWN BY: Z.L.

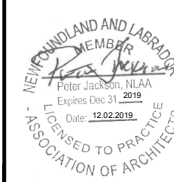
CHECKED BY: P.J.

SHEET TITLE

LEVEL 03 ENLARGED  
PLANS AND ELEVATIONS

SEAL

SHEET NUMBER



A431







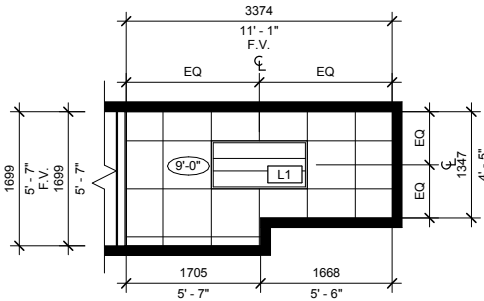
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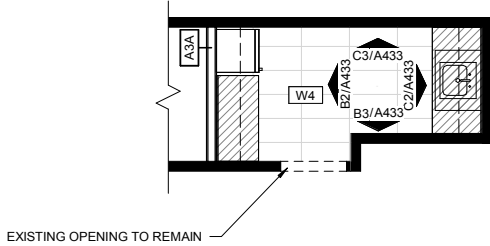
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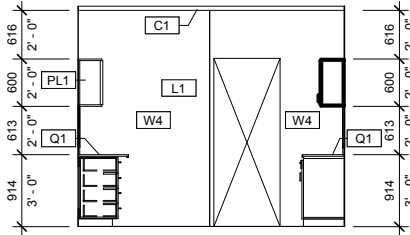
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SCALE: 1/4" = 1'-0"



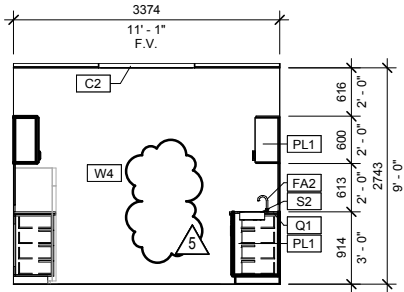
**A3** LEVEL 03 HR KITCHENETTE- FINISH  
SCALE: 1/4" = 1'-0"



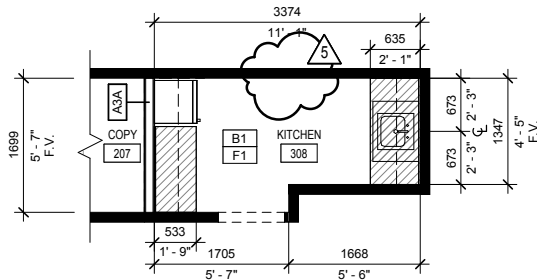
**B3** LEVEL 03 HR KITCHENETTE- SOUTH  
SCALE: 1/4" = 1'-0"



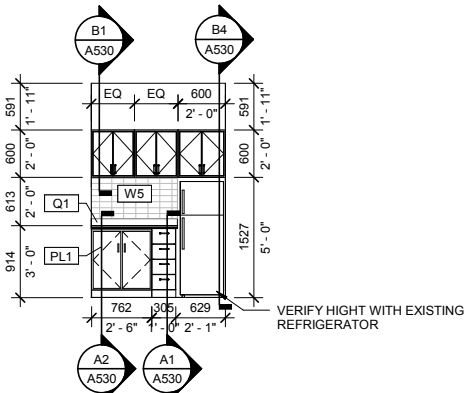
**C3** LEVEL 03 HR KITCHENETTE- NORTH  
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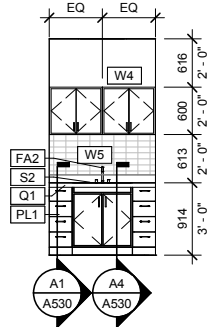
**A2** LEVEL 03 HR KITCHENETTE- PLAN  
SCALE: 1/4" = 1'-0"



**B2** LEVEL 03 HR KITCHENETTE- WEST  
SCALE: 1/4" = 1'-0"



**C2** LEVEL 03 HR KITCHENETTE- EAST  
SCALE: 1/4" = 1'-0"

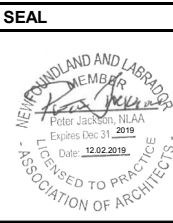


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  - ALL NEW TOILETS TO BE WALL MOUNTED REFER TO SHEET 200 FOR INTERIOR FINISH SCHEDULE.
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  - GO TO FURNISH IN QUANTITY AND TYPE ALL LIGHT FIXTURES, DIFFUSERS, GRILLES, ETC. AS SHOWN ON BOTH MECHANICAL AND REFLECTED CEILING PLANS. ANY OMISSION FROM ONE PLAN TO THE OTHER SHALL NOT BE CONSTRUED TO MEAN THEIR OMISSION FROM THE PROJECT.
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DRAWN BY: Z.L.

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GENERAL NOTES

PROJECT TITLE

powers  
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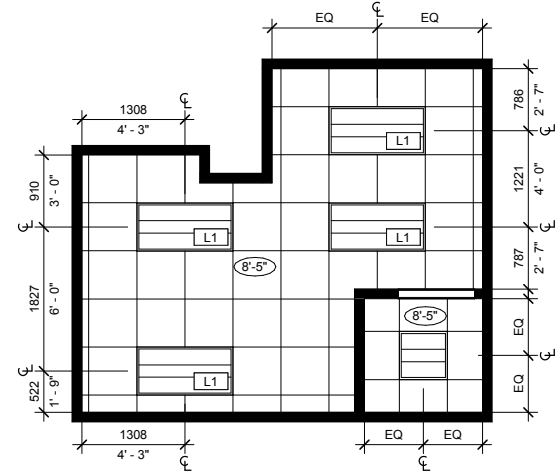
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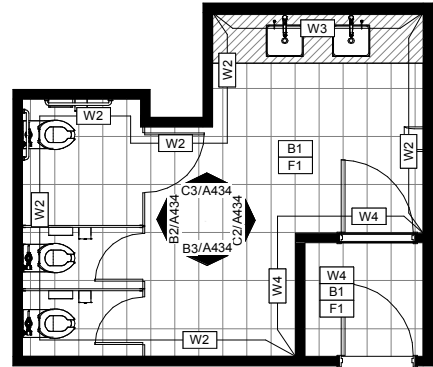
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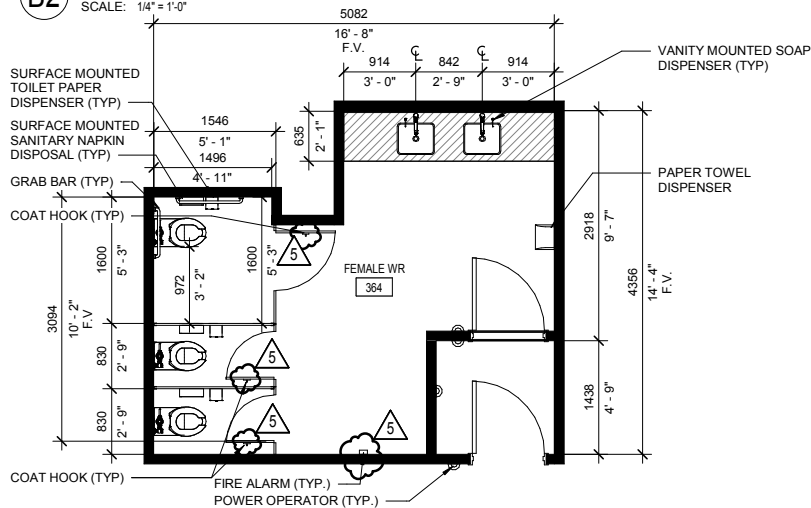
**A4** LEVEL 03 FEMALE WR- RCP  
SCALE: 1/4" = 1'-0"



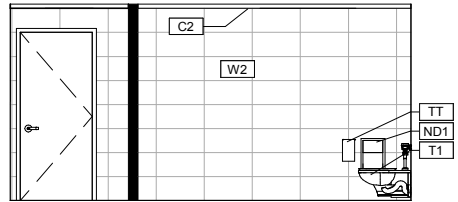
**A3** LEVEL 03 FEMALE WR- FINISH  
SCALE: 1/4" = 1'-0"



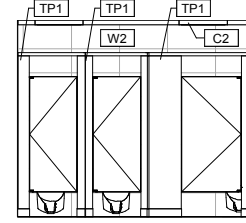
**A2** LEVEL 03 FEMALE WR- PLAN  
SCALE: 1/4" = 1'-0"



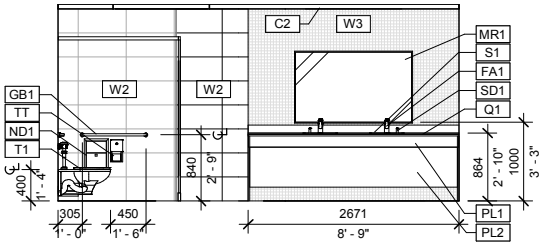
**B3** LEVEL 03 FEMALE WR- SOUTH  
SCALE: 1/4" = 1'-0"



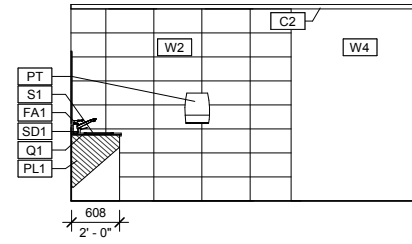
**B2** LEVEL 03 FEMALE WR- WEST  
SCALE: 1/4" = 1'-0"



**C3** LEVEL 03 FEMALE WR- NORTH  
SCALE: 1/4" = 1'-0"



**C2** LEVEL 03 FEMALE WR- EAST  
SCALE: 1/4" = 1'-0"



**ARCHITECTURAL PLAN NOTES**

A. ALL ALTERATIONS TO MEET CURRENT LOCAL ACCESSIBILITY CODES AND CURRENT MUNICIPALITY REQUIREMENTS.

B. THE ARCHITECT/INTERIOR DESIGNER IS NOT RESPONSIBLE FOR ANY ALTERATIONS MADE WITHOUT PRIOR APPROVAL FROM THE GOVERNING AUTHORITY.

C. GENERAL CONTRACTOR TO DETERMINE FIRE RATING OF EXISTING COMPONENTS AND MATCH FIRE RATING AS REQUIRED FOR ANY NEW WORK, WHICH INCLUDES REPAIR OR REPLACEMENT OF FIRE RATED WALLS, OR FOR ANY NEW PENETRATIONS IN FIRE RATED COMPONENTS. GENERAL CONTRACTOR SHOULD NOTIFY THE ARCHITECT/INTERIOR DESIGNER IMMEDIATELY IF ANY FIRE RATED COMPONENTS ARE UNCOVERED DURING DEMOLITION THAT WERE NOT IDENTIFIED ON THE CONSTRUCTION DOCUMENTS.

D. GENERAL CONTRACTOR IS RESPONSIBLE FOR PATCHING AND REPAIRING ANY SPRAY-APPLIED FIRE PROOFING THAT IS ON EXISTING STRUCTURAL ELEMENTS IF IT IS DISTURBED OR DAMAGED DURING CONSTRUCTION. REPAIR MUST BE DONE TO COMPLY WITH ULC LISTING REQUIREMENTS FOR THE SYSTEM AND MUST ALSO COMPLY WITH EXISTING FIRE RATINGS. PATCH AND REPAIR ALL EXISTING WALLS AS REQUIRED IN PREPARATION FOR NEW FINISH.

F. GENERAL CONTRACTOR TO PROVIDE SUBMITTAL MATERIALS, TO INCLUDE PRODUCT DATA, CUT SHEETS, AND FINISH SAMPLES, TO ARCHITECT/INTERIOR DESIGNER AND ENGINEERS FOR FORMAL REVIEW PRIOR TO ORDERING ANY MATERIALS FOR THE PROPOSED WORK.

G. GENERAL CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR ALL MILLWORK, INCLUDING SECTIONS, CONSTRUCTION DETAILS, DIMENSIONS, AND ALL PROPOSED FINISHES AND MATERIALS LISTED FOR TENANT AND ARCHITECT/INTERIOR DESIGNER APPROVAL PRIOR TO CONSTRUCTION OF MILLWORK.

H. PROVIDE MOISTURE RESISTANT TYPE X GYPSUM BOARD AT ANY WALLS IN WET AREAS, INCLUDING WALLS OF LAVATORIES, SINKS, DRINKING FOUNTAINS, BREAK ROOMS, MOP SINKS, ETC THAT ARE NOT TO RECEIVE TILE. ANY WALLS IN WET AREAS TO RECEIVE TILE TO HAVE CEMENTitious BACKER BOARD BEHIND TILE IN ALL LOCATIONS.

I. PROVIDE POWER ASSISTED DOOR CONTROL FOR EACH WASHROOM

J. ALL NEW LAVATORIES, SOAP DISPENSERS AND PAPER TOWEL DISPENSERS TO BE AUTOMATIC U.N.O.

K. ALL NEW TOILETS TO BE WALL MOUNTED REFER TO SHEET 1004 FOR INTERIOR FINISH SCHEDULE.

M. EXISTING EMERGENCY LIGHTS TO REMAIN

**FINISH PLAN GENERAL NOTES**

A. ALL FLOORING TO BE TYPE F1, UNLESS NOTED OTHERWISE.

B. ALL BASE TO BE TYPE B1, UNLESS NOTED OTHERWISE.

C. ALL WALLS WITHIN THE AREA OF WORK INCLUDING EXISTING WALLS, TO BE TAPED, FLOATED, AND SKIMMED FOR SMOOTH APPLICATION OF FINISHES.

D. ALL WALLS TO BE PAINTED WITH (1) PRIMER COAT PLUS (2) FINISH COATS MINIMUM, UNO.

E. ALL FLOORING TRANSITIONS SHALL OCCUR AT THE CENTER OF DOORWAYS, UNLESS NOTED OTHERWISE. PROVIDE TRANSITION STRIP AT CENTERLINE FOR DOORWAYS OR CASED OPENINGS BETWEEN FLOORING TRANSITIONS.

F. GENERAL CONTRACTOR TO FLOAT WALL ALL THE WAY TO FLOOR AS PREP FOR NEW BASE INSTALLATION.

G. ALL GROUT LINES SHALL BE NO GREATER THAN 1/16" WIDE. GROUT ALL LOCATIONS. IF MANUFACTURER RECOMMENDS LARGER GROUT SIZE, NOTIFY ARCHITECT FOR APPROVAL PRIOR TO INSTALLING.

H. GENERAL CONTRACTOR TO PREPARE EXISTING SLAB FOR INSTALLATION OF NEW FINISHES PER MANUFACTURER'S RECOMMENDATIONS. GENERAL CONTRACTOR TO REMOVE ALL FOREIGN MATTER INCLUDING DIRT, GREASE, WAX, OIL AND/OR PAINT. CRACKS, HOLES, AND DEPRESSIONS SHALL BE FILLED WITH QUALITY GRADE FLASHING.

I. GO TO VERIFY WITH MANUFACTURER REQUIRED FINISH/SEALANT AND FLOOR LEVELING FOR ALL FLOORING PRIOR TO ORDERING.

J. ALL RUBBER BASE TO BE 1/8" THICKNESS.

K. ALL EXISTING DOORS TO BE PAINTED U.N.O.

L. FLOOR TILES TO MATCH WITH WALL TILES WS.

M. SECURITY KEYS TO REMAIN. WALLS TO BE PROTECTED.

N. WALL TILES TO RUN TO UNDERSIDE OF CEILING WHERE APPLICABLE

**REFLECTED CEILING PLAN GENERAL NOTES**

A. GENERAL CONTRACTOR TO COORDINATE COMPATIBILITY OF ALL LIGHT FIXTURE TRIMS AND MECHANICAL DIFFUSERS AND GRILLS WITH SPECIFIED CEILING GRID. GENERAL CONTRACTOR TO NOTIFY THE ARCHITECT OF ANY CONFLICTS PRIOR TO ORDERING OR INSTALLING LIGHTING, MEP, OR CEILING ITEMS.

B. GO TO FURNISH IN QUANTITY AND TYPE ALL LIGHT FIXTURES, DIFFUSERS, GRILLS, ETC. AS SHOWN ON BOTH MECHANICAL AND REFLECTED CEILING PLANS. ANY OMISSION FROM ONE PLAN TO THE OTHER SHALL NOT BE CONSTRUED TO MEAN THEIR OMISSION FROM THE PROJECT.

C. GENERAL CONTRACTOR TO VERIFY AVAILABLE CEILING PLENUM HEIGHT, INCLUDING BUT NOT LIMITED TO, ELEVATIONS OF DUCTWORK, SPRINKLER LINES, AND CONDUIT LOCATIONS. CONFIRM LIGHT FIXTURE HEIGHT WITH AVAILABLE PLENUM SPACE PRIOR TO COMMENCING CEILING FRAMING. GENERAL CONTRACTOR TO NOTIFY ARCHITECT/INTERIOR DESIGNER OF ALL LIGHT FIXTURE CONFLICTS.

D. GENERAL CONTRACTOR TO OBTAIN APPROVAL FROM ARCHITECT ON LIGHTING SUBSTITUTIONS PRIOR TO BIDDING AND ORDERING.

**PROJECT TITLE**

**WORKPLACENL WASHROOMS**  
148 FOREST ROAD,  
ST. JOHN'S, NL, A1A 1E6

**A PROJECT FOR**  
**WORKPLACE NL**

**GENERAL NOTES**

SUSPENDED 2' X 2' CEILING

GYP BD CEILING

2' X 4' DIRECT/INDIRECT FIXTURE

4" ROUND DOWNLIGHT FIXTURE

NOTES:

A. CONTRACTOR TO OBTAIN AND PAY FOR ALL PERMITS AND FEES REQUIRED TO CARRY OUT AND COMPLETE THE WORK

B. CONTRACTOR MUST GUARANTEE ALL WORK FOR A PERIOD OF ONE YEAR AFTER DATE OF COMPLETION

C. EQUIPMENT FOR POWER OPERATORS REQUIRED ON ALL WASHROOM DOORS. POWER OPERATORS LOCATED AND INSTALLED TO MEET CSA REQUIREMENTS.

D. ALL DOOR SIZES TO BE VERIFIED ON-SITE TO CONFIRM EXISTING OPENINGS

F.V. = FIELD VERIFY

EXISTING CONSTRUCTION

NEW CONSTRUCTION

EXISTING DOOR

| △ | DATE       | REVISION                |
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| 5 | 2019-12-02 | Issued for Addendum 1   |
|   |            |                         |
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**PROJECT NO:** 193036  
**DRAWN BY:** Z.L.  
**CHECKED BY:** P.J.  
**SHEET TITLE**

**LEVEL 03 ENLARGED PLANS AND ELEVATIONS**

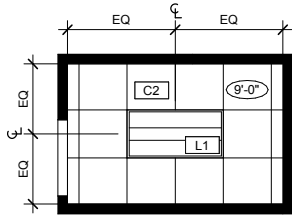
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**SHEET NUMBER**

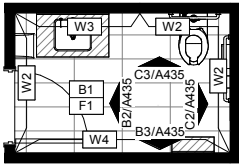
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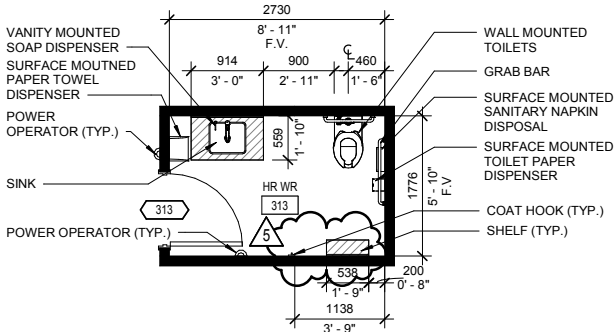
**A4** LEVEL 03 HR WASHROOM- RCP  
SCALE: 1/4" = 1'-0"



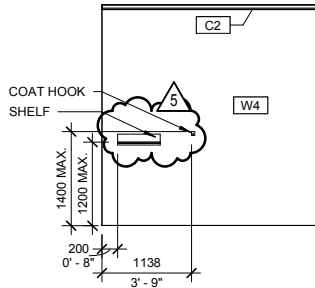
**A3** LEVEL 03 HR WASHROOM- FINISH  
SCALE: 1/4" = 1'-0"



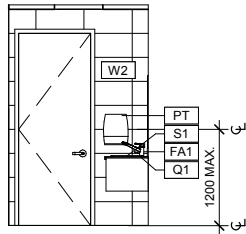
**A2** LEVEL 03 HR WASHROOM- PLAN  
SCALE: 1/4" = 1'-0"



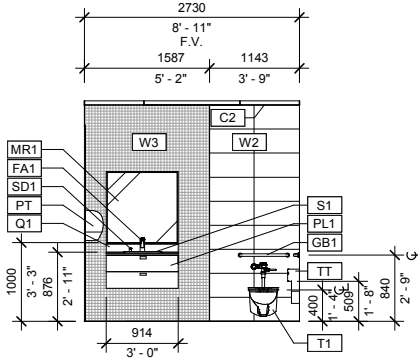
**B3** LEVEL 03 HR WASHROOM- SOUTH  
SCALE: 1/4" = 1'-0"



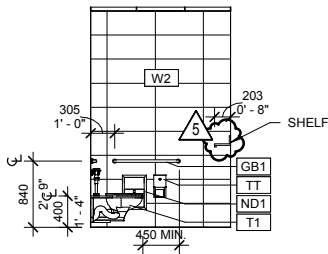
**B2** LEVEL 03 HR WASHROOM- WEST  
SCALE: 1/4" = 1'-0"



**C3** LEVEL 03 HR WASHROOM- NORTH  
SCALE: 1/4" = 1'-0"



**C2** LEVEL 03 HR WASHROOM- EAST  
SCALE: 1/4" = 1'-0"



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K. ALL NEW TOILETS TO BE WALL MOUNTED REFER TO SHEET 2003 FOR INTERIOR FINISH SCHEDULE.

M. EXISTING EMERGENCY LIGHTS TO REMAIN

**FINISH PLAN GENERAL NOTES**

A. ALL FLOORING TO BE TYPE F1, UNLESS NOTED OTHERWISE.

B. ALL BASE TO BE TYPE B1, UNLESS NOTED OTHERWISE.

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K. ALL EXISTING DOORS TO BE PAINTED U.N.O.

L. SECURITY KEYS TO REMAIN, WALLS TO BE PROTECTED

N. WALL TILES TO RUN TO UNDERSIDE OF CEILING WHERE APPLICABLE

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D. GENERAL CONTRACTOR TO OBTAIN APPROVAL FROM ARCHITECT ON LIGHTING SUBSTITUTIONS PRIOR TO BIDDING AND ORDERING.

**powers brown architecture**

Architectural Consultant:  
Powers Brown Architecture  
354 Water St., Suite 212  
St. John's, NL A1C 1C4  
709.726.3941  
www.powersbrown.com

**PROJECT TITLE**

**WORKPLACENL WASHROOMS**  
148 FOREST ROAD,  
ST. JOHN'S, NL, A1A 1E6

**A PROJECT FOR**  
**WORKPLACE NL**

**GENERAL NOTES**

SUSPENDED 2' X 2' CEILING

GYP BD CEILING

2' X 4' DIRECT/INDIRECT FIXTURE

4" ROUND DOWNLIGHT FIXTURE

**NOTES:**

A. CONTRACTOR TO OBTAIN AND PAY FOR ALL PERMITS AND FEES REQUIRED TO CARRY OUT AND COMPLETE THE WORK

B. CONTRACTOR MUST GUARANTEE ALL WORK FOR A PERIOD OF ONE YEAR AFTER DATE OF COMPLETION

C. EQUIPMENT FOR POWER OPERATORS REQUIRED ON ALL WASHROOM DOORS. POWER OPERATORS LOCATED AND INSTALLED TO MEET CSA REQUIREMENTS.

D. ALL DOOR SIZES TO BE VERIFIED ON-SITE TO CONFIRM EXISTING OPENINGS

F.V. = FIELD VERIFY

EXISTING CONSTRUCTION

NEW CONSTRUCTION

EXISTING DOOR

| △ | DATE       | REVISION                |
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|   |            |                         |
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**PROJECT NO:** 193036  
**DRAWN BY:** Z.L.  
**CHECKED BY:** P.J.  
**SHEET TITLE**

**LEVEL 03 ENLARGED PLANS AND ELEVATIONS**

**SEAL** **SHEET NUMBER**

**A435**



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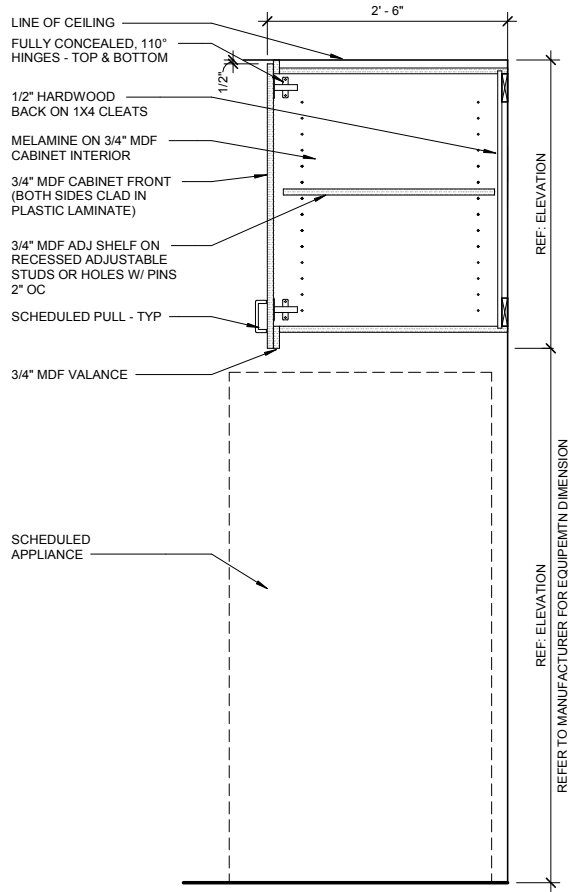
D

C

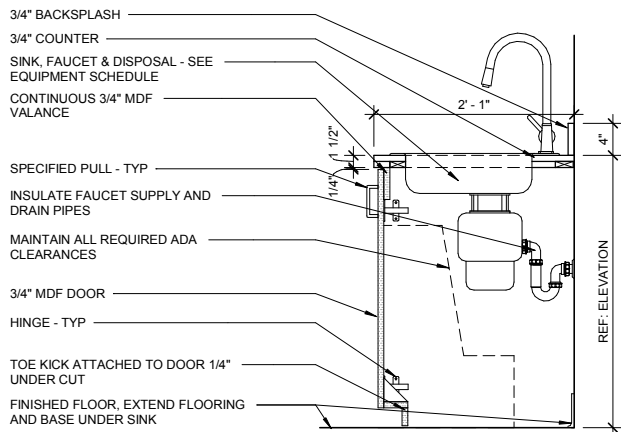
B

A

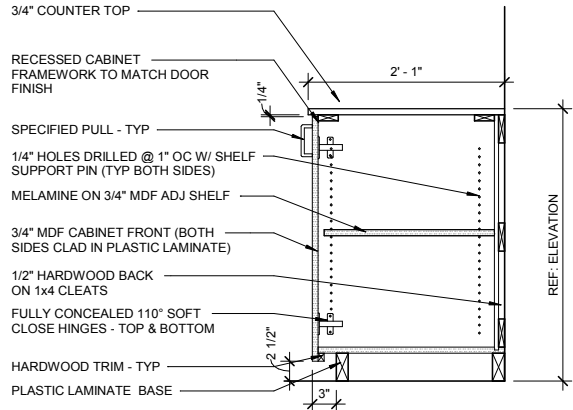
**B4 SECTION @ UPPER CABINET WITH REFRIGERATOR**  
SCALE: 1" = 1'-0"



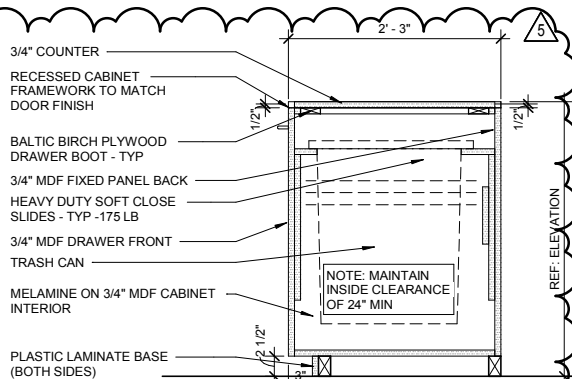
**A4 SECTION @ BASE CABINET @ SINK CSA**  
SCALE: 1" = 1'-0"



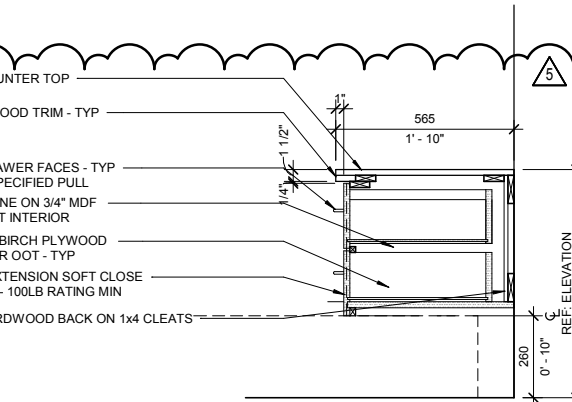
**A3 SECTION @ BASE CABINET - 4 DRAWERS W/PLAM TOP**  
SCALE: 1" = 1'-0"



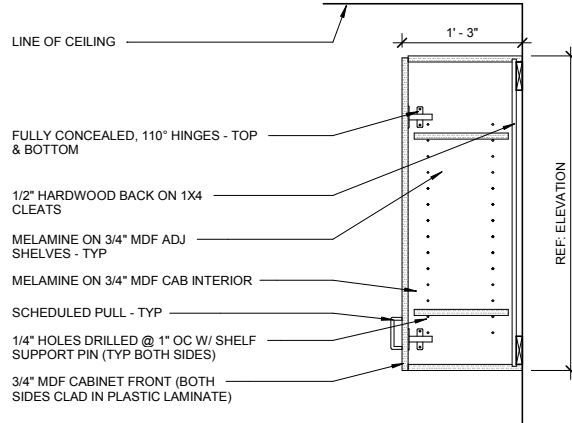
**A2 SECTION @ BASE CABINET W/ SINGLE TRASH**  
SCALE: 1" = 1'-0"



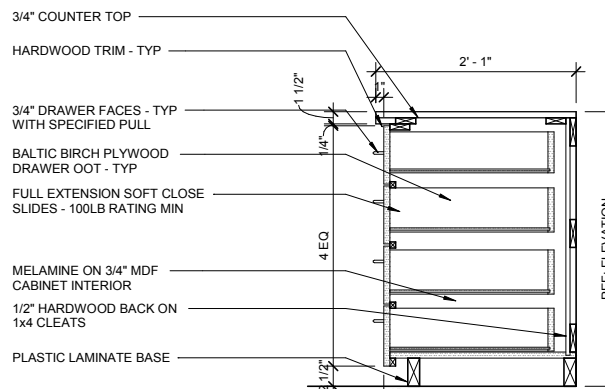
**B2 SECTION @ BASE CABINET - 4 DRAWERS W/PLAM TOP**  
SCALE: 1" = 1'-0"



**B1 SECTION @ UPPER CABINET W/O SOFFIT**  
SCALE: 1" = 1'-0"



**A1 SECTION @ BASE CABINET - 4 DRAWERS W/PLAM TOP**  
SCALE: 1" = 1'-0"



powers  
brown  
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ecture

Architectural Consultant:  
Powers Brown Architecture  
354 Water St., Suite 212  
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www.powersbrown.com

PROJECT TITLE

WORKPLACENL  
WASHROOMS  
148 FOREST ROAD,  
ST. JOHN'S, NL, A1A 1E6

A PROJECT FOR  
WORKPLACE NL

GENERAL NOTES

| △ | DATE       | REVISION                |
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|   |            |                         |
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|   |            |                         |

PROJECT NO: 193036

DRAWN BY: SMS/ZL

CHECKED BY: PJ

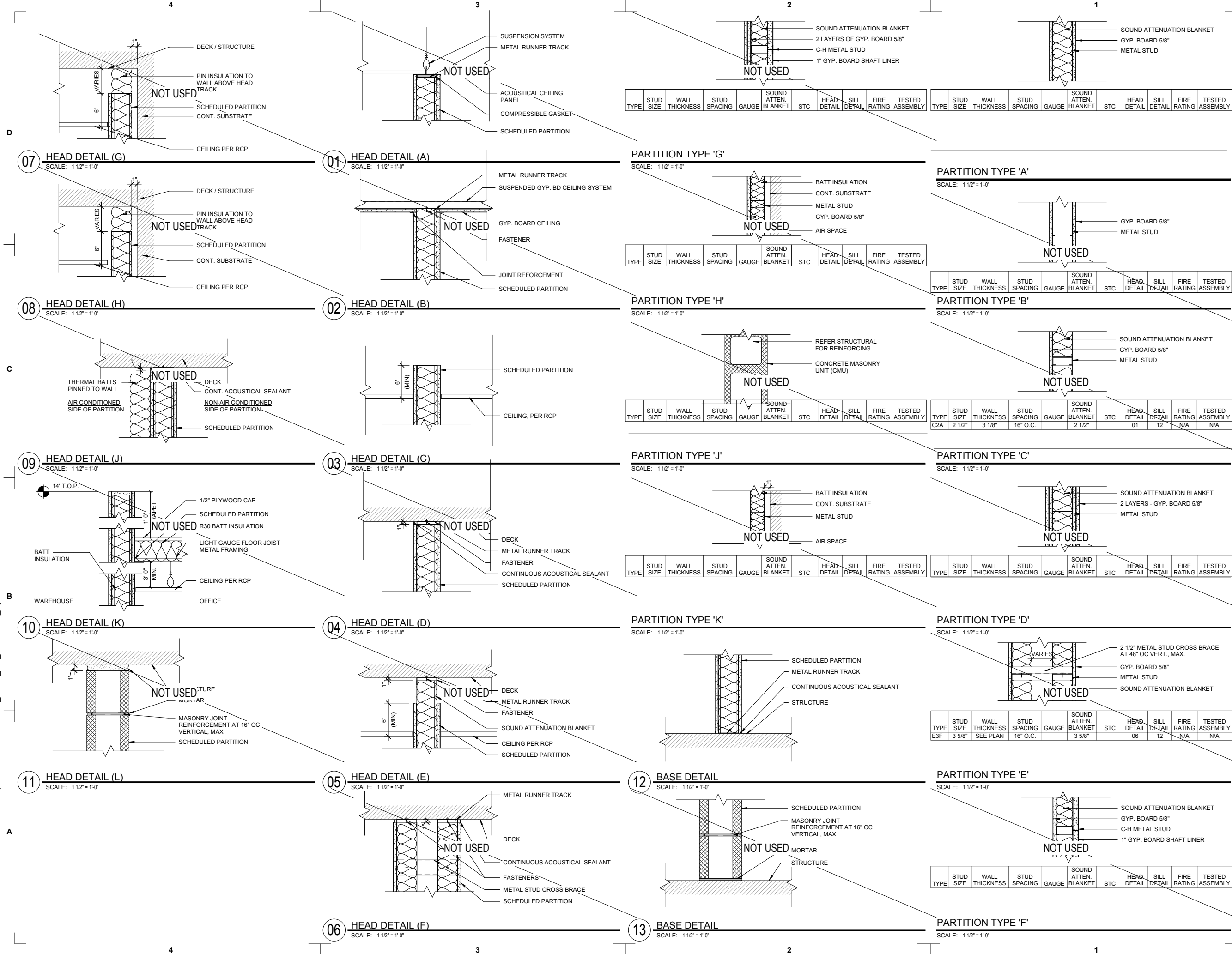
SHEET TITLE

MILLWORK SECTIONS

| SEAL | SHEET NUMBER |
|------|--------------|
|      | A530         |

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**powers brown architecture**

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**PROJECT TITLE**

**WORKPLACENL WASHROOMS**  
148 FOREST ROAD,  
ST. JOHN'S, NL, A1A 1E6

**A PROJECT FOR**  
**WORKPLACE NL**

**GENERAL NOTES**

A NOT ALL PARTITION TYPES SHOWN MAY BE USED; REFER TO PLANS FOR LOCATIONS AND EXTENT

B PROVIDE CEMENTITIOUS WALL BOARD IN LIEU OF 5/8" GYP BOARD AT ALL WALLS TO RECEIVE PORCELAIN TILE, STONE, CERAMIC TILE OR FRP

C WHERE U.L. ASSEMBLIES OR OTHER TESTED ASSEMBLIES ARE INDICATED, COMPLY WITH DETAILED REQUIREMENTS SHOWN ON U.L. ASSEMBLY SHEETS. U.L. ASSEMBLIES (OR OTHER TESTED ASSEMBLIES) REQUIREMENTS OVERRIDE THE PBA PARTITIONS REQUIREMENTS

D REFER TO FINISH SCHEDULE AND/OR FINISH PLAN FOR LOCATIONS OF SPECIAL FIRE-RESISTIVE WALLBOARD, FOIL-BACKED GYPSUM WALLBOARD, ABUSIVE-RESISTANT GYPSUM WALLBOARD, WATER-RESISTANT GYPSUM WALLBOARD, GLASS-MAT WATER-RESISTANT BACKING BOARD, OR CEMENTITIOUS BACKER UNITS THAT MAY BE REQUIRED IN PLACE OF GYPSUM WALLBOARD

E INSTALL CONTROL JOINTS AT LOCATIONS INDICATED. IF NOT INDICATED, DETERMINE LOCATIONS BY CONSULTING WITH ARCHITECT

F BATT INSULATION TO BE INSTALLED B/W STUD FRAMING INSIDE EXTERIOR WALL FURRING AND BETWEEN ALL ROOF FRAMING MEMEBERS. SECURE ROOF INSULATION BATTS IN PLACE WITH WIRE MESH ATTACHED TO FRAMING MEMEBERS

G INTERIOR ROOF BATT INSULATION TO MEET MINIMUM JURISDICTION PERFORMANCE REQUIREMENTS

H INSULATION ALONG EXTERIOR WALL FURRING AND ROOF SPACES TO BE INSTALLED WITHOUT GAPS OR VOIDS; DO NOT COMPRESS INSULATION. REFER TO R-VALUES ANNOTATED IN CODE SUMMARY FOR REQUIREMENTS.

J MAXIMUM CLEAR SPAN HEIGHTS FOR INTERIOR METAL STUDS SHALL BE SUCH THAT DEFLECTION SHALL NOT EXCEED L/360 UNDER A 5 PSF LOAD (CERAMIC TILE FINISHES AND/OR WALLS TO DECK) AND L/120 AT ALL OTHER AREAS.

| △ | DATE       | REVISION                |
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**PROJECT NO:** 193036

**DRAWN BY:** PBA

**CHECKED BY:** PJ

**SHEET TITLE**

**PARTITION TYPES**

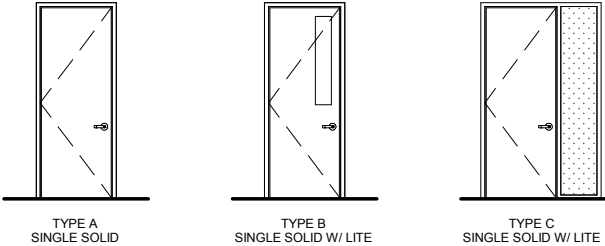
| SEAL | SHEET NUMBER |
|------|--------------|
|      | <b>A601</b>  |



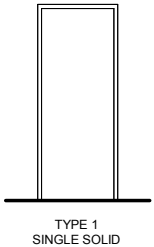
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## DOOR ELEVATIONS



## FRAME ELEVATIONS



## DOOR & FRAME SCHEDULE

|                 | DOOR ASSEMBLY |      | DOOR       |         |           |               |             | FRAME          |              | Side Lite Width | Hardware Set | Fire Rating | Comments                           |
|-----------------|---------------|------|------------|---------|-----------|---------------|-------------|----------------|--------------|-----------------|--------------|-------------|------------------------------------|
|                 |               |      | Dimensions |         |           |               |             |                |              |                 |              |             |                                    |
|                 |               |      | Width      | Height  | Thickness |               |             |                |              |                 |              |             |                                    |
| From Room: Name | Number        | Type |            |         |           | Door Material | Door Finish | Frame Material | Frame Finish |                 |              |             |                                    |
| HR WR           | 313           | A    | 3' - 0"    | 8' - 0" | 1 3/4"    | SCWD (BIRCH)  | PAINTED     | HM             | PAINTED      |                 | 02           |             |                                    |
| MALE WR         | 314           | A    | 3' - 0"    | 8' - 0" | 1 3/4"    | SCWD (BIRCH)  | PAINTED     | HM             | PAINTED      |                 | 01           |             | MALE HEALTHCARE WASHROOM           |
| FEMALE WR       | 315           | A    | 3' - 0"    | 8' - 0" | 1 3/4"    | SCWD (BIRCH)  | PAINTED     | HM             | PAINTED      |                 | 01           |             | FEMALE HEALTHCARE WASHROOM         |
| MALE WR         | 361           | B    | 3' - 0"    | 7' - 0" | 1 3/4"    | SCWD (BIRCH)  | PAINTED     | HM             | PAINTED      |                 | 01           | 45 MIN      | PUBLIC MALE WASHROOM               |
| MALE WR         | 361A          | A    | 3' - 0"    | 8' - 0" | 1 3/4"    | SCWD (BIRCH)  | PAINTED     | HM             | PAINTED      |                 | 01           |             | PUBLIC MALE WASHROOM @ VESTIBULE   |
| JC              | 362           | A    | 2' - 10"   | 7' - 0" | 1 3/4"    | SCWD (BIRCH)  | PAINTED     | HM             | PAINTED      |                 | 04           |             | JANITORS CLOSET                    |
| KITCHEN         | 363           | C    | 3' - 0"    | 8' - 0" | 1 3/4"    | SCWD (BIRCH)  | PAINTED     | HM             | PAINTED      | 1' - 6"         | 03           |             |                                    |
| FEMALE WR       | 364           | B    | 3' - 0"    | 7' - 0" | 1 3/4"    | SCWD (BIRCH)  | PAINTED     | HM             | PAINTED      |                 | 01           | 45 MIN      | PUBLIC FEMALE WASHROOM @ VESTIBULE |
| FEMALE WR       | 364A          | A    | 3' - 0"    | 8' - 0" | 1 3/4"    | SCWD (BIRCH)  | PAINTED     | HM             | PAINTED      |                 | 01           |             | PUBLIC FEMALE WASHROOM             |

## DOOR HARDWARE

### DOOR HARDWARE GROUP 01 (PUBLIC WASHROOMS)

|   |    |                  |                       |     |           |
|---|----|------------------|-----------------------|-----|-----------|
| 3 | EA | HINGE            | 5BB1HW 4.5 x 4        | 626 | IVE       |
| 1 | EA | PUSH PLATE       | 8200 4" x 16"         | 630 | IVE       |
| 1 | EA | PULL PLATE       | 8302 10" 4" x 16"     | 630 | IVE       |
| 1 | EA | SURFACE CLOSER   | 4040XP RW/PA          | 689 | LCN       |
| 1 | EA | AUTO OPERATOR    | 9542 MS               |     | ANCLR LCN |
| 1 | EA | PROTECTION PLATE | 8400 10" x 1 1/2" LDW | 630 | IVE       |
| 1 | EA | WALL STOP        | WS406/407             | 626 | IVE       |

MODE OF OPERATION: DOOR CAN BE OPENED BY PULLING ON PULL HANDLE OR BY PRESSING THE ACTUATOR BUTTON WHICH WILL AUTOMATICALLY OPEN THE DOORS FOR A PERIOD OF TIME.

### DOOR HARDWARE GROUP 02 (PRIVATE/INDIVIDUAL WASHROOMS)

|   |    |               |              |     |           |
|---|----|---------------|--------------|-----|-----------|
| 3 | EA | HINGE         | 5BB1 4.5 X 4 | 652 | IVE       |
| 1 | EA | PRIVACY LOCK  | ND40S SPA    | 626 | SCH       |
| 1 | EA | WALL STOP     | WS406/407    | 626 | IVE       |
| 1 | EA | AUTO OPERATOR | 9542 DD MS   |     | ANCLR LCN |
| 1 | EA | ACTUATOR      | 8310-853     | 630 | LCN       |
| 1 | EA | ACTUATOR      | 8310-855     | 630 | LCN       |

MODE OF OPERATION: DOOR CAN BE OPENED BY PULLING ON PULL HANDLE OR BY PRESSING THE ACTUATOR BUTTON WHICH WILL AUTOMATICALLY OPEN THE DOORS FOR A PERIOD OF TIME.

NOTE: DOOR LOCKS FROM INSIDE

### DOOR HARDWARE GROUP 03 - (KITCHEN)

|   |    |             |              |     |     |
|---|----|-------------|--------------|-----|-----|
| 3 | EA | HINGE       | 5BB1 4.5 X 4 | 652 | IVE |
| 1 | EA | PASSAGE SET | T101 QUA     | 626 | FAL |
| 1 | EA | WALL STOP   | WS406/407    | 623 | IVE |

NOTE: DOOR IS NOT LOCKABLE

### DOOR HARDWARE GROUP 04 - (JANITOR)

|   |    |                |  |     |     |
|---|----|----------------|--|-----|-----|
| 3 | EA | HINGE          | 5BB1 4.5 X 4                           | 652 | IVE |
| 1 | EA | STOREROOM      | ND80GD SPA                             | 626 | SCH |
| 1 | EA | SURFACE CLOSER | 1461 RW/PA                             | 686 | LCN |
| 1 | EA | WALL STOP      | WS406/407                              | 626 | IVE |
| 1 | EA | WEATHERSTRIP   | W-14 x by door width x (2) door height | 628 | KNC |

NOTE: KEY ACCESS REQUIRED

**powers brown architecture**

Architectural Consultant:  
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354 Water St., Suite 212  
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**PROJECT TITLE**

**WORKPLACENL WASHROOMS**  
148 FOREST ROAD,  
ST. JOHN'S, NL, A1A 1E6

A PROJECT FOR  
**WORKPLACE NL**

**GENERAL NOTES**

A: EQUIPMENT FOR POWER OPERATORS REQUIRED ON ALL WASHROOM DOORS. POWER OPERATORS LOCATED AND INSTALLED TO MEET CSA REQUIREMENTS.  
B: NEW DOORS TO MATCH EXISTING OPENINGS  
C: ALL NEW DOORS TO BE BIRCH WITH CLEAR SATIN FINISH U.N.O.

| △ | DATE       | REVISION                |
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| 4 | 2019-11-25 | Re-Issued for Approvals |
| 5 | 2019-12-02 | Issued for Addendum 1   |
|   |            |                         |
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**PROJECT NO:** 193036

**DRAWN BY:** ZL

**CHECKED BY:** PJ

**SHEET TITLE**

**DOOR ELEVATIONS & DOOR & FRAME SCHEDULE**

**SEAL**

NEWFOUNDLAND AND LABRADOR  
MEMBER  
Peter Jacobson, NLAA  
Expires Dec 31, 2019  
Date: 12.02.2019  
LICENSED TO PRACTICE  
ASSOCIATION OF ARCHITECTS

**SHEET NUMBER**

**A602**

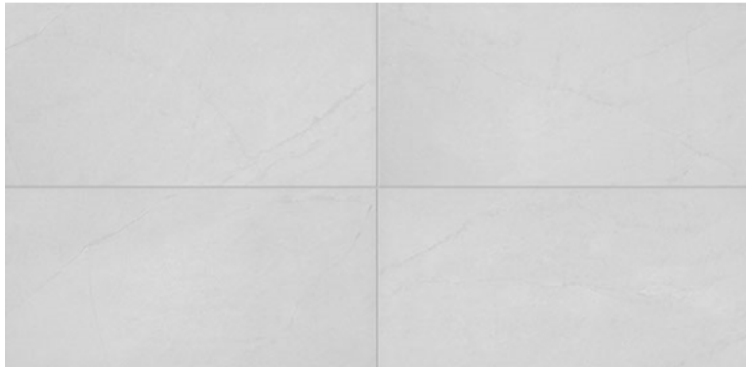
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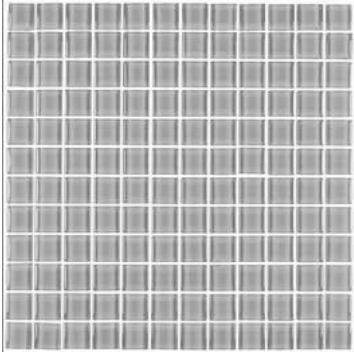
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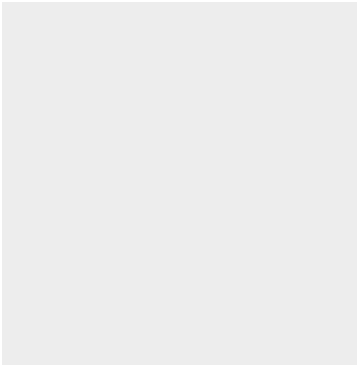
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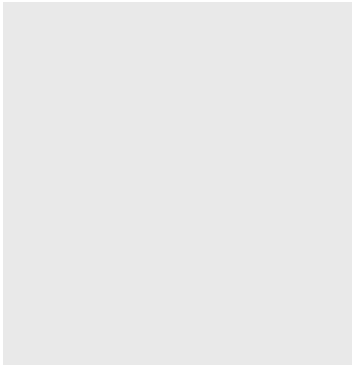
F1/B1/W2 - GLAZED CERAMIC TILE



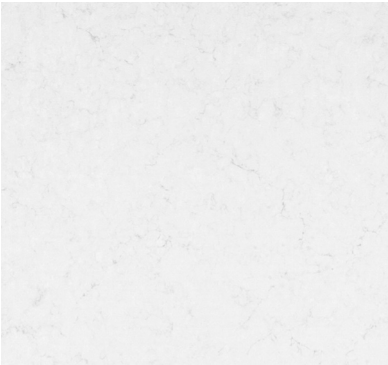
W3 - MOSAIC GLASS WALL TILE



W4 - PAINT



C1 - PAINT



Q1 - ENGINEERED QUARTZ COUNTERTOP



PL1 - PLASITC LAMINATE



PL2 - METAL LAMINATE

## SCHEDULES

### FINISH SCHEDULE - BLANK

| CODE     | MATERIAL                     | MANUFACTURER     | DESCRIPTION  | COLOR                   | DEALER | REP NAME | CONTACT NO | REMARKS                                 |
|----------|------------------------------|------------------|--|-------------------------|--------|----------|------------|---|
| FLOOR    |                              |                  |  |                         |        |          |            |   |
| F1       | 12 x 24 GLAZED CERAMIC TILE  | DALTILE          | Collection: Balans - 12 x 24 - Matte                               | White BA30              |        |          |            | 70/30 Offset. Typ @ Washroom Floor      |
| BASE     |                              |                  |  |                         |        |          |            |   |
| B1       | 4 x 12 TILE                  | DALTILE          | Collection: Balans - 4 x12 - Matte                                 | White BA30              |        |          |            | Typ @ all tile floors                   |
| WALL     |                              |                  |  |                         |        |          |            |   |
| W2       | 12 x 24 GLAZED CERAMIC TILE  | DALTILE          | Collection: Balans - 12 x 24 - Matte                               | White BA30              |        |          |            | Typ @ KITCHEN BACKSPLASH                |
| W3       | MOSAIC TILE                  | CENTURA          | 13 x 13 - GLASS  | LIGHT BLUE              |        |          |            | Typ @ Washroom Walls                    |
| W4       | PAINT                        | SHERWIN WILLIAMS | EGGSHELL OVER LEVEL IV FINISH; 1 COAT PRIMER, 2 LATEX FINISH COATS | SW 7006 - EXTRA WHITE   |        |          |            | Typ @ Lavatory Mirror Walls             |
| W5       | 3" x 6 " GLAZED CERAMIC TILE | DALTILE          | DALTILE; RETROSPACE; 3 x 6 STACK BOND INSTALLAION                  | RS30 MODERN WHITE       |        |          |            | Typ @ KITCHEN BACKSPLASH                |
| CEILING  |                              |                  |  |                         |        |          |            |   |
| C1       | 2'x4' MINERAL FIBER          | USG              | ACOUSTIC CEILING   | White                   |        |          |            | N/A For Level 03                        |
| C2       | 2'x2' MINERAL FIBER          | USG              | ACOUSTIC CEILING   | White                   |        |          |            | Typ @ Washrooms and Janitors Closets    |
| MILLWORK |                              |                  |  |                         |        |          |            |   |
| CP1      | CABINET PULLS                |                  |  |                         |        |          |            | TYPICAL @ MILLWORK                      |
| PL1      | PLASTIC LAMINATE             | FORMICA          | 8907- NG - Natural Grain - Matte                                   | FOX TEAKWOOD            |        |          |            | TYPICAL @ Cabinet Faces, Interior Doors |
| PL2      | METAL LAMINATE               | FORMICA          | Deco Metal Collection #M2032                                       | BRUSHED PEWTER ALUMINUM |        |          |            | TYPICAL @ Lavatory Accessible Skirt     |
| Q1       | ENGINEERED QUARTZ            | CAESARSTONE      | 2CM Quartz Countertop with Laminated Eased Edge                    | Frosty Carrina (5141)   |        |          |            | Typ @ Countertops                       |

### WASHROOM ACCESSORY SCHEDULE

| CODE                 | MATERIAL                 | MANUFACTURER | DESCRIPTION   | COLOR                     | DEALER | REP NAME | CONTACT NO | REMARKS                  |
|----------------------|--------------------------|--------------|---|---------------------------|--------|----------|------------|--------------------------|
| WASHROOM ACCESSORIES |                          |              |   |                           |        |          |            |                          |
| GB1                  | HORIZONTAL GRAB BAR      | BOBRICK      | 1/4" DIAMETER STAINLESS STEEL GRAB BAR WITH SNAP FLANGE   | SATIN STAINLESS STEEL     |        |          |            | TYPICAL @ RESTROOMS      |
| GB2                  | L-SHAPED GRAB BAR        | BOBRICK      | 1/4" DIAMETER STAINLESS STEEL GRAB BAR WITH SNAP FLANGE   | SATIN STAINLESS STEEL     |        |          |            | TYPICAL @ RESTROOMS      |
| GB3                  | VERTICAL GRAB BAR        | BOBRICK      | 1/4" DIAMETER STAINLESS STEEL GRAB BAR WITH SNAP FLANGE   | SATIN STAINLESS STEEL     |        |          |            | TYPICAL @ RESTROOMS      |
| MR1                  | VANITY MIRROR            | TRANSOLID    | MODEL #TLMF3522 SINGLE FRAMELESS LED MIRROR 22 x 36   | SILVER                    |        |          |            | TYPICAL @ RESTROOMS      |
| MR2                  | VANITY MIRROR            | AVANITY      | MODEL # LED-M59-09 LED WALL MIRROR 59 x 27.5  | STEEL                     |        |          |            | TYPICAL @DOUBLE VANITIES |
| ND1                  | SANITARY NAPKIN DISPOSAL | BOBRICK      | MODEL # B-254 - SANITARY NAPKIN DISPOSAL  | SATIN STAINLESS STEEL     |        |          |            |                          |
| PS                   | TOILET PARTITIONS        | N/A          | PRIVACY SCREEN  | EMBOSSSED STAINLESS STEEL |        |          |            | TYPICAL @ RESTROOMS      |
| PT                   | PAPER TOWEL DISPENSER    | BOBRICK      | MODEL B-72974 PLASTIC AUTOMATIC ROLL TOWEL DISPENSER  | TRANSLUCENT SMOKE/GRAY    |        |          |            | TYPICAL @ RESTROOMS      |
| SD1                  | SOAP DISPENSER           | ASI          | MODEL # 10-0391-1AC VANITY MOUNTED AUTOMATIC SOAP DISPENSER                                     | N/A                       |        |          |            | TYPICAL @ RESTROOM LAV   |
| TP1                  | TOILET PARTITIONS        | HADRIAN      | NO-SIGHTLINE SOLUTION WITH EMBOSSSED STAINLESS STEEL FINISH - FULL HEIGHT FLOOR-CEILING MOUNTED | EMBOSSSED STAINLESS STEEL |        |          |            | TYPICAL @ RESTROOMS      |
| TT                   | TOILET TISSUE DISPENSER  | BOBRICK      | MODEL # B-4288 - SURFACE MOUNTED MULTI-ROLL TOILET TISSUE DISPENSER                             | SATIN STAINLESS STEEL     |        |          |            | TYPICAL @ RESTROOMS      |

## FINISH SAMPLES

**powers brown architecture**

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**PROJECT TITLE**

**WORKPLACENL WASHROOMS**  
148 FOREST ROAD,  
ST. JOHN'S, NL, A1A 1E6

A PROJECT FOR  
**WORKPLACE NL**

**GENERAL NOTES**

NOTES:  
A: ALL EXISTING DOORS REMAINING IN PLACE TO BE PAINTED.  
B: EXISTING DOORS BEING REMOVED ARE TO BE PAINTED AND REUSED WHERE DOOR LOCATIONS HAVE CHANGED.

| △ | DATE       | REVISION                |
|---|------------|-------------------------|
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|   |            |                         |
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**PROJECT NO:** 193036

**DRAWN BY:** AK/ZL

**CHECKED BY:** JH

**SHEET TITLE**

**FINISH & WASHROOM ACCESSORY SCHEDULE**

**SEAL**

**SHEET NUMBER**

**A604**

NEWFOUNDLAND AND LABRADOR  
MEMBER  
Peter Jacobson, NLAA  
Expires Dec 31, 2019  
Date: 12.02.2019  
LICENSED TO PRACTICE  
ASSOCIATION OF ARCHITECTS

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C

B

A

D

| PLUMBING FIXTURE SCHEDULE |                                |              |   |                  |   |
|---------------------------|--------------------------------|--------------|---|------------------|---|
| CODE                      | MATERIAL                       | MANUFACTURER | DESCRIPTION   | FINISH           | REMARKS                                 |
| FIXTURES                  |                                |              |   |                  |   |
| T1                        | WALL MOUNTED TOILET            | TOTO / SLOAN | BOWL: CT708UG VC ELONGATED SIPHON JET WALL MOUNTED, SEAT: OLSONITE NO.95<br>OPEN FRONT SEAT, FLUSHOMETER: SLOAN AUTOMATIC FLUSH VALVE | PORCELIN - WHITE | CSA COMPLIANT, TYP. @ RESTROOMS         |
| U1                        | WALL MOUNTED URINAL            | SLOAN        | URINAL MODEL # SU-1009, 0.125 GPF, FLUSHOMETER: SLOAN AUTOMATIC FLUSH VALVE,<br>MODEL # 186SS HARDWIRED 1.0 GPF - DFB - HW            | PORCELIN - WHITE | TYPICAL @ Cabinet Faces, Interior Doors |
| WASHROOM ACCESSORIES      |                                |              |   |                  |   |
| FA1                       | AUTOMATIC BATHROOM SINK FAUCET | SLOAN        | OPTIMA HARDWIRED-POWERED DECK MOUNTED MID BODY, SENSOR FAUCET 0.35 GPM,<br>MODEL # EAF-200  | POLISHED CHROME  | CSA COMPLIANT, TYP. @ RESTROOMS         |
| FA2                       | MANUAL KITCHEN SINK FAUCET     | GLACIER BAY  | UPSON SINGLE HANDLE PULL-DOWN KITCHEN FAUCET, ONE HOLE  | CHROME           | TYP. @ KITCHENS                         |
| FA3                       | MANUAL JANITORS SINK FAUCET    | WALTEC       | METAL 2 KNOB HANDLE 2-HOLE WALL MOUNTED LAUNDRY FAUCET, MODEL # 29W721  | CHROME           | TYP @ JANITORS CLOSETS                  |
| S1                        | UNDERMOUNTED VANITY SINK       | KOHLER       | MODEL # 0391-(N) - VANITY MOUNTED AUTOMATIC SOAP DISPENSER  | VITREOUS CHINA   | TYPICAL @ RESTROOMS                     |
| S2                        | STAINLESS STEEL                | KOHLER       | 20x23 UNDERMOUNT SINGLE BOWL KITCHEN SINK, MODEL # K-80170-3-NA   | N/A              | TYPICAL @ KITCHENS                      |
| S3                        | JANITORS SINK                  | E.L. MUSTEE  | 18F UTILATUB FIBREGLASS 1-BOWL PREMIER LAUNDRY/UTILITY TUB 24x20x34, MODEL #<br>MUS18F  | WHITE FIBREGLASS |   |

| LIGHTING FIXTURE SCHEDULE |                 |              |  |                |  |
|---------------------------|-----------------|--------------|--|----------------|--|
| CODE                      | TYPE            | MANUFACTURER | DESCRIPTION                              | COLOR          | REMARKS  |
| LIGHTING                  |                 |              |  |                |  |
| L1                        | 2x4' LED PANELS | STANDARD     | 100-347V LED, 5877 LUMENS, MODEL # 67218 | WHITE ALUMINUM | TYPICAL @ RESTROOMS, KITCHENS AND JANITORS CLOSETS |
| L2                        | 2x2' LED PANELS | STANDARD     | 100-347V LED, 5026 LUMENS, MODEL # 67216 | WHITE          | TYPICAL @ VESTIBULES                               |

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PROJECT TITLE

WORKPLACENL  
WASHROOMS

148 FOREST ROAD,  
ST. JOHN'S, NL, A1A 1E6

A PROJECT FOR  
WORKPLACE NL

GENERAL NOTES

|   |            |                         |
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PROJECT NO: 193036

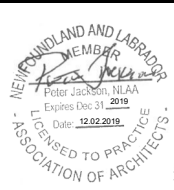
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CHECKED BY: PJ

SHEET TITLE

PLUMBING AND  
LIGHTING FIXTURE  
SCHEDULE

SEAL



SHEET NUMBER

A605

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## MECHANICAL NOTES

### Level 3 – Kitchenette with Stove

## Ventilation

- With the renovated ceiling plan, maintain locations and sizes of existing air supply grilles.
- Ensure that the entrance door from the corridor has a grille for ventilation air flow out from air supply grilles and / or diffusers. Grille should be aluminum louvered face, fixed louvers 45° 13 mm blade spacing (E.H. Price, Model 10" x 6' / 735 / N / L / A). Place one (1) grille on each side of the door, aligned such that both louvers point down.
- Clean, vacuum out any dust / debris in the supply ducts and ceiling diffusers or grilles.
- If room is equipped with a ceiling exhaust fan, replace the kitchen exhaust fan in the ceiling with a Broan AE5011ODCL, Flex DC™ Series Bathroom Exhaust Fan with LED Light and selectable CFM Settings or equal.

## Plumbing

- All plumbing works must meet National Plumbing Code 2015 requirements.
- Hydration Station (HS) to have 10 mm water line with an isolation valve, and a 50 mm drain pipe and trap. Confirm that drain pipe is within 2 meters from the closest vent pipe.
- In any fixture drain rework, use a 50 mm (2") minimum drain pipe size. Anything found with a 38 mm (1-1/2") drain pipe diameter should be upgraded to a 50 mm (2") minimum pipe size.
- Upon demolition and fixture relocation/replacement, confirm that vent pipes can be extended / relocated to maintain the venting function of the plumbing system.
- Replace or move existing fixtures as per Architectural Plans.

### Level 3 – Male Washrooms and Janitors Closet

## Ventilation

- With the renovated ceiling plan, maintain locations and sizes of existing air supply grilles.
- Ensure that the entrance doors from the corridor have grilles for ventilation air flow out from air supply grilles and / or diffusers. Grilles should be aluminum louvered face, fixed louvers 45° 13 mm blade spacing (E.H. Price, Model 10" x 6" / 735 / N / L A). Place one (1) grille on each side of the door, aligned such that both louvers point down.
- Clean, vacuum out any dust / debris in the supply ducts and ceiling diffusers or grilles.

## Plumbing

- All plumbing works must meet National Plumbing Code 2015 requirements.
- In any future drain rework, use a 50 mm (2") minimum drain pipe size. Anything found with a 38 mm (1-1/2") drain pipe diameter should be upgraded to a 50 mm (2" minimum pipe size).
- Upon demolition and fixture relocation/replacement, confirm that vent pipes can be extended / relocated to maintain the venting function of the plumbing system.
- Replace or move existing fixtures as per Architectural Plans.

### Level 3 – Female Healthcare Washroom

## Ventilation

- With the renovated ceiling plan, maintain locations and sizes of existing air supply grilles.
- Ensure that the entrance doors from the corridor has grilles for ventilation air flow out from air supply grilles and / or diffusers. Grilles should be aluminium louvered face, fixed louvers 45° 13 mm blade spacing (E.H. Price, Model 10" x 6" / 735 / N / L / A). Place one (1) grille on each side of the door, aligned such that both louvers point down.
- Clean, vacuum out any dust / debris in the supply ducts and ceiling diffusers or grilles.

## Plumbing

- All plumbing works must meet National Plumbing Code 2015 requirements.
- In any fixture drain rework, use a 50 mm (2") minimum drain pipe size. Anything found with a 38 mm (1-1/2") drain pipe diameter should be upgraded to a 50 mm (2") minimum pipe size.
- Upon demolition and fixture relocation/replacement, confirm that vent pipes can be extended / relocated to maintain the venting function of the plumbing system.

Replace or move existing fixtures as per Architectural Plans

### Level 3 – Male Healthcare Washroom

## Ventilation

- With the renovated ceiling plan, maintain locations and sizes of existing air supply grilles.
- Ensure that the entrance doors from the corridor has grilles for ventilation air flow from air supply grilles and / or diffusers. Grilles should be aluminium louvered face, fixed louvers 45° 13 mm blade spacing (E.H. Price, Model 10" x 6" / 735 / N / L / A). Place one (1) grille on each side of the door, aligned such that both louvers point down.
- Clean, vacuum out any dust / debris in the supply ducts and ceiling diffusers or grilles.

**A**

## Plumbing

- All plumbing works must meet National Plumbing Code 2015 requirements.
- In any fixture drain rework, use a 50 mm (2") minimum drain pipe size. Anything found with a 38 mm (1-1/2") drain pipe diameter should be upgraded to a 50 mm (2") minimum pipe size.
- Upon demolition and fixture relocation/replacement, confirm that vent pipes can be extended / relocated to maintain the venting function of the plumbing system.
- Replace or move existing fixtures as per Architectural Plans.

### Level 3 – HR Kitchenette

## Ventilation

- With the renovated ceiling plan, maintain locations and sizes of existing air supply grilles.
- Ensure that the entrance door from the corridor has a grille for ventilation air flow out from air supply grilles and / or diffusers. Grille should be aluminium louvered face, fixed louvers 45° 13 mm blade spacing (E.H. Price, Model 10" x 6" 735 / N / L / A). Place one (1) grille on each side of the door, aligned such that both louvers point down.
- Clean, vacuum out any dust / debris in the supply ducts and ceiling diffusers or grilles.
- If room is equipped with a ceiling exhaust fan, replace the kitchen exhaust fan in the ceiling with a Broan AE5011ODCL, Flex DCM™ Series Bathroom Exhaust Fan with LED Light and selectable CFM Settings or equal.

## Plumbing

- All plumbing works must meet National Plumbing Code 2015 requirements.
- Hydration Station (HS) to have 10 mm water line with an isolation valve, and a 50 mm drain pipe and trap. Confirm that drain pipe is within 2 meters from the closest vent pipe.
- In any fixture drain rework, use a 50 mm (2") minimum drain pipe size. Anything found with a 38 mm (1-1/2") drain pipe diameter should be upgraded to a 50 mm (2") minimum pipe size.
- Upon demolition and fixture relocation/replacement, confirm that vent pipes can be extended / relocated to maintain the venting function of the plumbing system.
- Replace or move existing fixtures as per Architectural Plans.

### Level 3 – Female Washrooms

## Ventilation

- With the renovated ceiling plan, maintain locations and sizes of existing air supply grilles.
- Ensure that the entrance doors from the corridor and through the vestibule have grilles for ventilation air flow out from air supply grilles and / or diffusers. Grille should be aluminium louvered face, fixed louvers 45° 13 mm blade spacing (E.H. Price, Model 10" x 6" / 735 / N / L / A). Place one (1) grille on each side of the door, aligned such that both louvers point down.
- Clean, vacuum out any dust / debris in the supply ducts and ceiling diffusers or grilles.

## Plumbing

- All plumbing works must meet National Plumbing Code 2015 requirements.
- In any fixture drain rework, use a 50 mm (2") minimum drain pipe size. Anything found with a 38 mm (1-1/2") drain pipe diameter should be upgraded to a 50 mm (2") minimum pipe size.
- Upon demolition and fixture relocation/replacement, confirm that vent pipes can be extended / relocated to maintain the venting function of the plumbing system.
- Replace or move existing fixtures as per Architectural Plans.

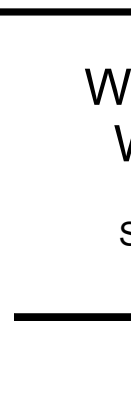

### Level 3 – HR Washroom

## Ventilation

- With the renovated ceiling plan, maintain locations and sizes of existing air supply grilles.
- Ensure that the entrance door from the corridor has a grille for ventilation air flow out from air supply grilles and / or diffusers. Grille should be aluminium louvered face, fixed louvers 45° 13 mm blade spacing (E.H. Price, Model 10" x 6" / 735 / N / L / A). Place one (1) grille on each side of the door, aligned such that both louvers point down.
- Clean, vacuum out any dust / debris in the supply ducts and ceiling diffusers or grilles.
- If room is equipped with a ceiling exhaust fan, replace the kitchen exhaust fan in the ceiling with a Broan ASES0110DCL, Flex DC™ Series Bathroom Exhaust Fan with LED Light and selectable CFM Settings or equal.

## Plumbing

- All plumbing works must meet National Plumbing Code 2015 requirements.
- In any fixture drain rework, use a 50 mm (2") minimum drain pipe size. Anything found with a 38 mm (1-1/2") drain pipe diameter should be upgraded to a 50 mm (2") minimum pipe size.
- Upon demolition and fixture relocation/replacement, confirm that vent pipes can be extended / relocated to maintain the venting function of the plumbing system.
- Replace or move existing fixtures as per Architectural Plans.

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| <div style="display: flex; justify-content: space-between; align-items: center;"><div style="width: 40%;"><p><b>powers<br/>brown<br/>archi<br/>tecture</b></p></div><div style="width: 55%; text-align: right;"><p>Architectural Consultant:<br/>Powers Brown Architecture<br/>354 Water St., Suite 212<br/>St. John's, NL A1C 1C4<br/>709.726.3941</p><p><a href="http://www.powersbrown.com">www.powersbrown.com</a></p></div></div> |                     |                   |
| <b>PROJECT TITLE</b>  |                     |                   |
| <p><b>WORKPLACE NL<br/>WASHROOMS</b></p> <p>148 FOREST ROAD<br/>ST. JOHN'S, NL A1A 1E6</p> <hr style="width: 30%; margin: 20px auto;"/> <p>A PROJECT FOR</p> <p><b>WORKPLACE NL</b></p>   |                     |                   |
| <b>MECHANICAL CONSULTANT:</b>   |                     |                   |
| <div style="display: flex; justify-content: space-between; align-items: center;"><div style="width: 30%;"></div><div style="width: 65%; text-align: right;"><p><b>Innovative Development<br/>&amp; Design Engineers Ltd.</b></p><p>Anderson House, 42 Power's Court<br/>St. John's, NL A1A 1B6<br/>Tel: (709) 368-8870<br/><a href="http://www.iddel.ca">www.iddel.ca</a></p></div></div>  |                     |                   |
| <b>GENERAL NOTES</b>  |                     |                   |
|   |                     |                   |
| $\triangle$   | <b>DATE</b>         | <b>REVISION</b>   |
| 1   | 2019.11.15          | Issued for Tender |
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| <b>PROJECT NO:</b> 193036   |                     |                   |
| <b>DRAWN BY:</b> D.R  |                     |                   |
| <b>CHECKED BY:</b> H.A  |                     |                   |
| <b>SHEET TITLE</b>  |                     |                   |
| <p><b>MECHANICAL NOTES</b></p> <p><b>LVL 3</b></p>  |                     |                   |
| <b>SEAL</b>   | <b>SHEET NUMBER</b> |                   |
|   | <p><b>M102</b></p>  |                   |